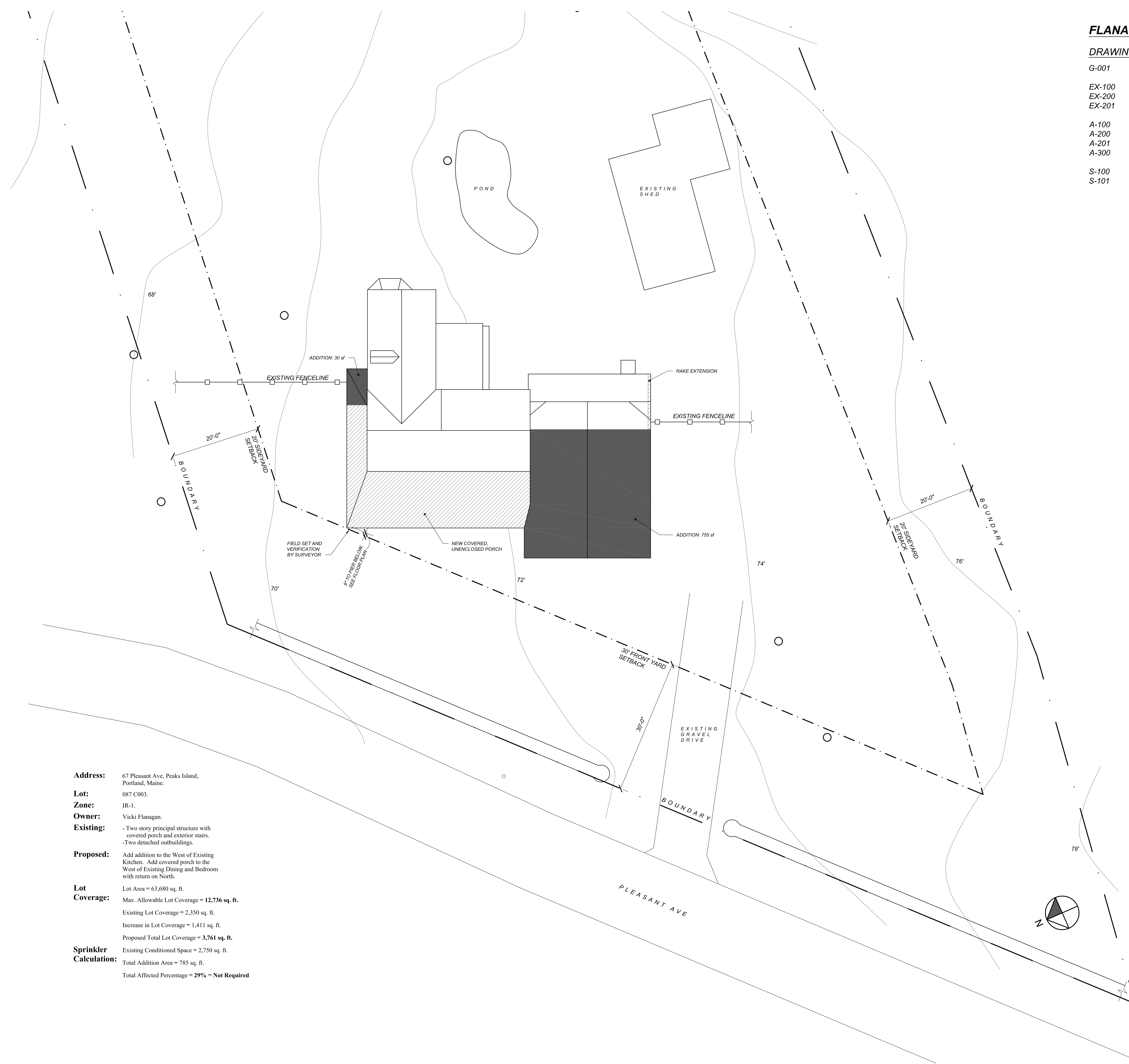


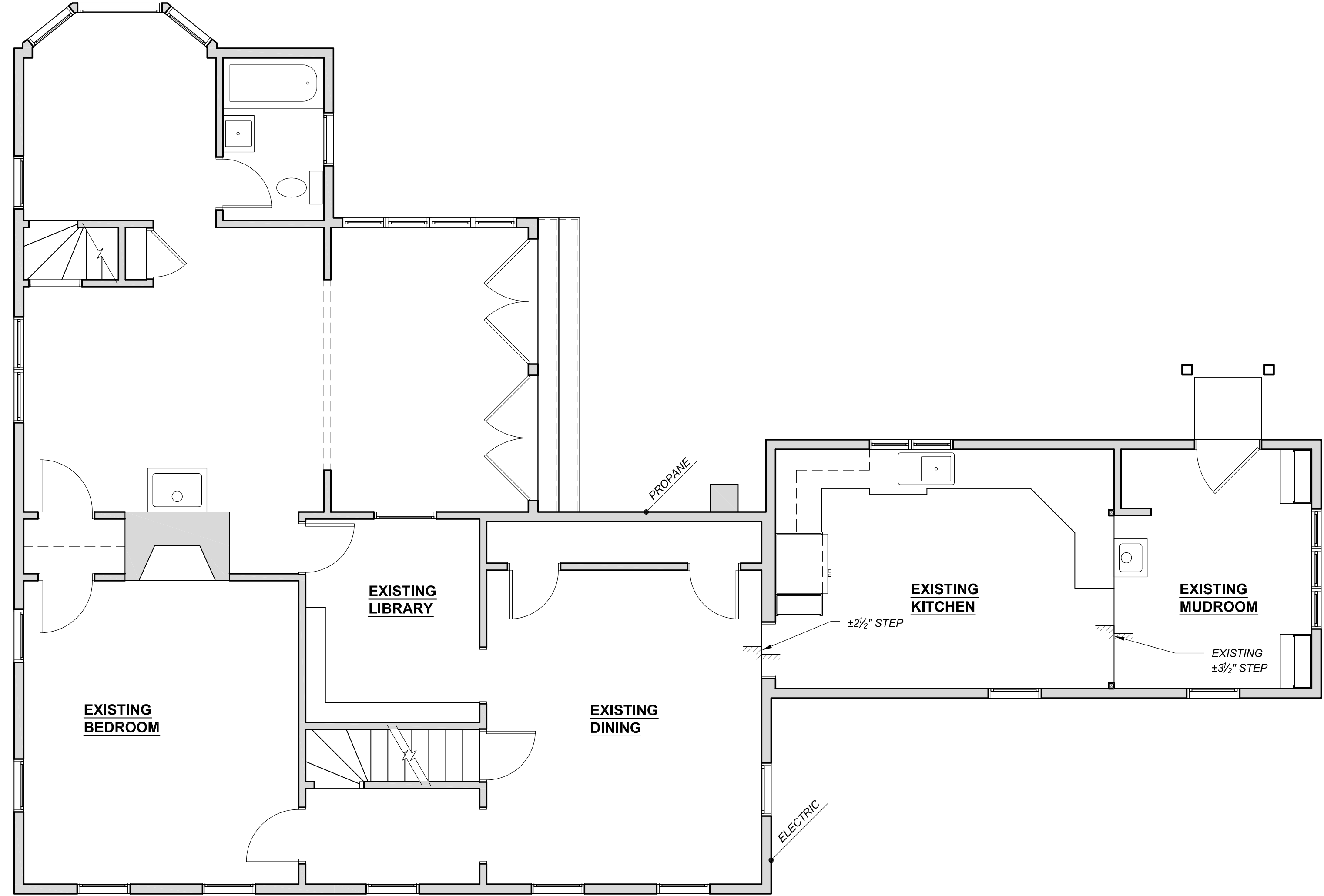
**FLANAGAN RESIDENCE - PERMIT SET**

**DRAWING INDEX**

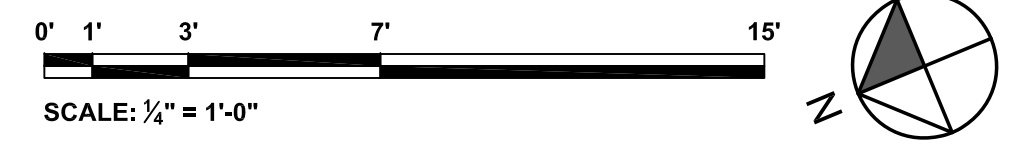
G-001	COVER SHEET AND SITE PLAN
EX-100	EXISTING PLAN
EX-200	EXISTING ELEVATIONS
EX-201	EXISTING ELEVATIONS
A-100	FLOOR PLAN
A-200	ELEVATIONS
A-201	ELEVATIONS
A-300	SECTIONS
S-100	FRAMING AND FOUNDATION PLANS
S-101	ROOF FRAMING PLANS



**Address:** 67 Pleasant Ave, Peaks Island, Portland, Maine.  
**Lot:** 087 C003.  
**Zone:** IR-1.  
**Owner:** Vicki Flanagan.  
**Existing:** - Two story principal structure with covered porch and exterior stairs.  
 - Two detached outbuildings.  
**Proposed:** Add addition to the West of Existing Kitchen. Add covered porch to the West of Existing Dining and Bedroom with return on North.  
**Lot Coverage:** Lot Area = 63,680 sq. ft.  
 Max. Allowable Lot Coverage = 12,736 sq. ft.  
 Existing Lot Coverage = 2,350 sq. ft.  
 Increase in Lot Coverage = 1,411 sq. ft.  
 Proposed Total Lot Coverage = 3,761 sq. ft.  
**Sprinkler Calculation:** Existing Conditioned Space = 2,750 sq. ft.  
 Total Addition Area = 785 sq. ft.  
 Total Affected Percentage = 29% = **Not Required**

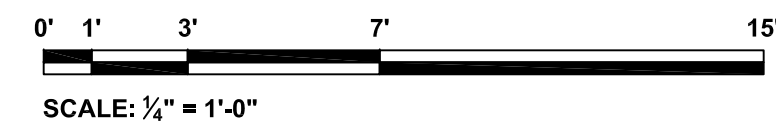


EXISTING FIRST FLOOR PLAN





WEST ELEVATION



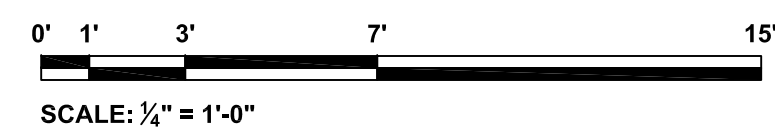
WEST EXTERIOR



WEST EXTERIOR

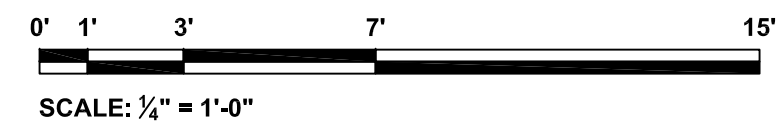


EAST ELEVATION

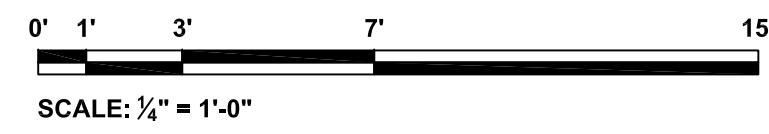


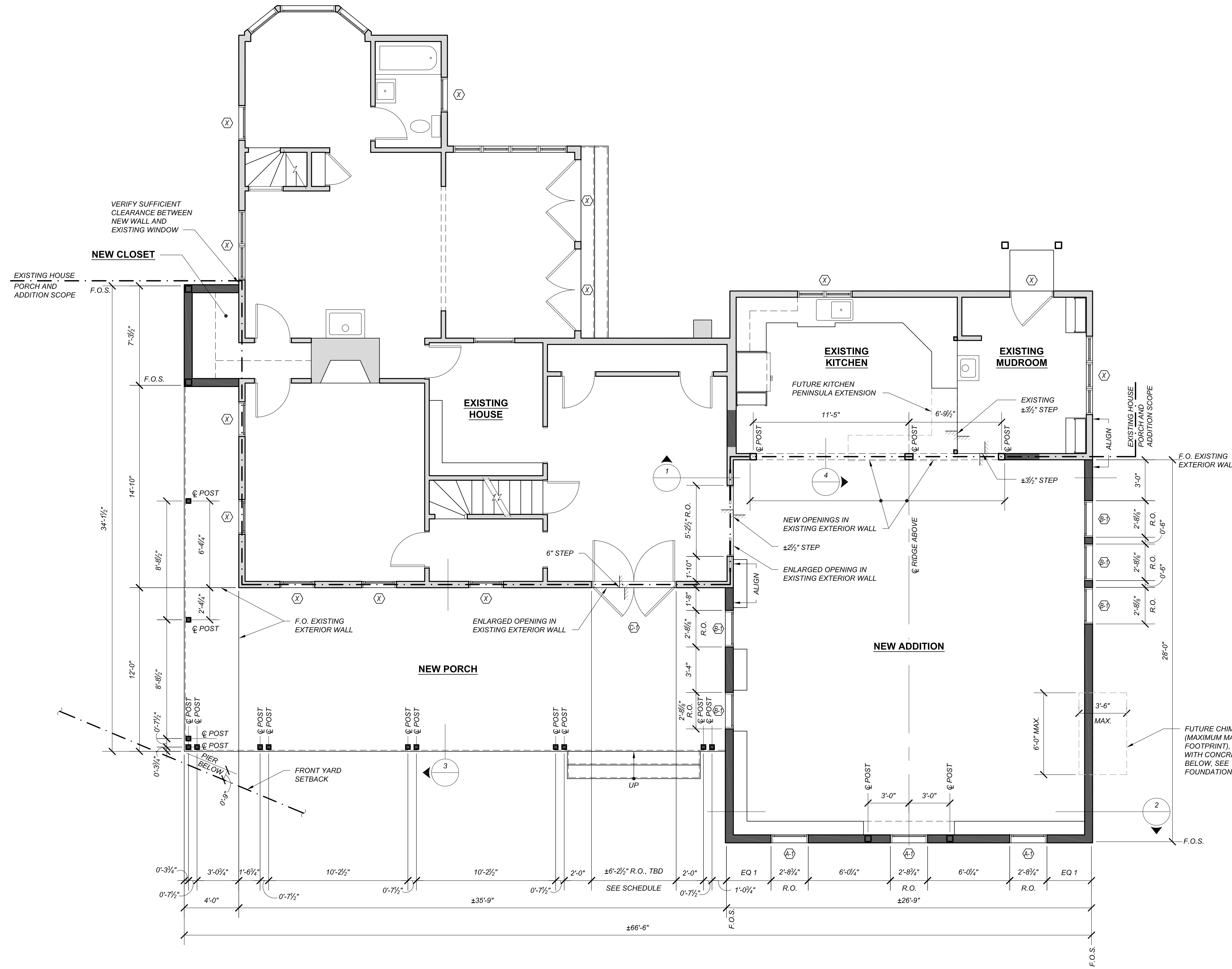


SOUTH ELEVATION



NORTH ELEVATION





- PLAN NOTES:**
1. [Symbol] INDICATES EXISTING WALL.
  2. [Symbol] INDICATES NEW WALL OR INFILL OF EXISTING OPENING.
  3. [Symbol] WINDOW MARK, SEE SCHEDULE.
  4. DIMENSIONS GIVEN ARE TO FRAMING UNLESS OTHERWISE NOTED.
  5. F.O.S. FACE OF STUD.

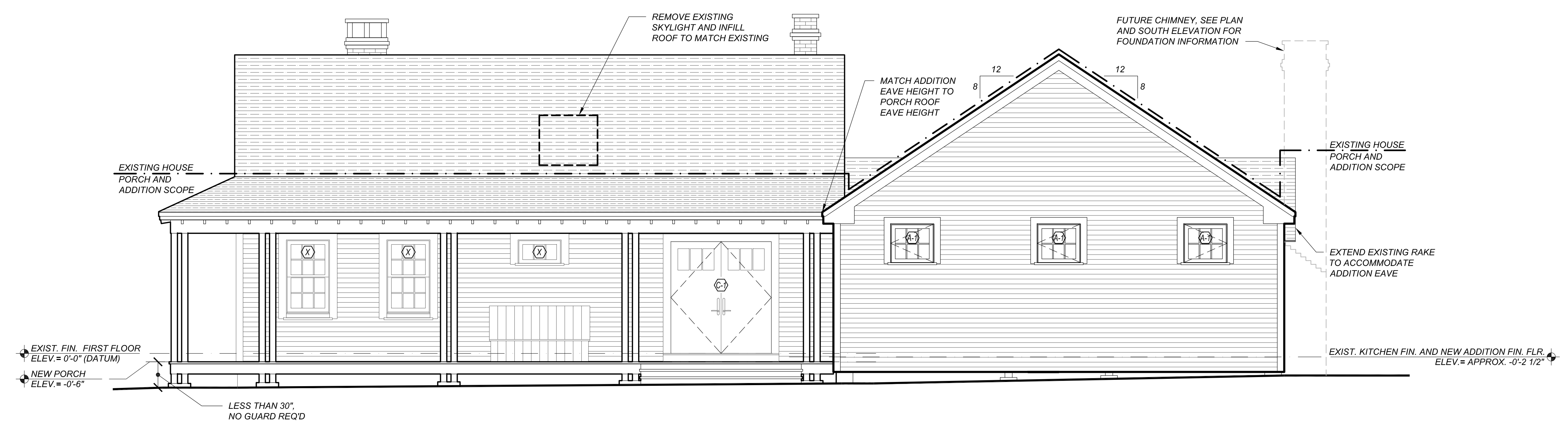
EXTERIOR WINDOW AND DOOR SCHEDULE						
PLAN MARK	UNIT STYLE	MANUFACTURER/ NUMBER	RGH OPG WIDTH	RGH OPG HEIGHT	B.O. HEADER HEIGHT FROM SUBFLOOR	LITE PATTERN
(X)	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
(A)	CASEMENT	JELD-WEN/ECC3228	32 3/4"	28 3/4"	8'-0"	6-LITE
(B)	CASEMENT	JELD-WEN/ECC3228	32 3/4"	28 3/4"	SEE ELEVATION	6-LITE
(C)	DOUBLE-HUNG	JELD-WEN/EC3156	32 3/4"	56 3/4"	SEE NOTE 3	6/6
(D)	ENTRY DOOR	TBD BY OWNER	TBD	TBD	TBD	TBD

- \* SEE ELEVATIONS FOR LOCATION INFORMATION.
- WINDOW SCHEDULE NOTES:**
1. VERIFY ALL WINDOW SELECTIONS, QUANTITIES, AND LOCATIONS WITH OWNER.
  2. FINISHES, OPTIONS, AND ACCESSORIES NOT INDICATED TO BE SELECTED BY OWNER.
  3. HEAD HEIGHT TO MATCH HEAD HEIGHT OF EXISTING DOUBLE HUNG WINDOWS TO REMAIN AT WEST ELEVATION OF EXISTING MAIN HOUSE.

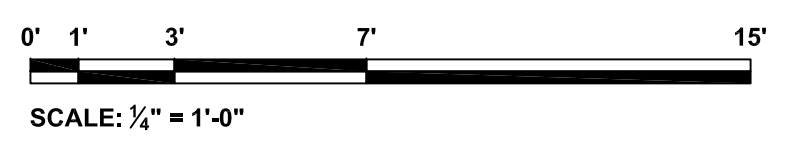
**FIRST FLOOR PLAN**

0' 1' 3' 7' 15'

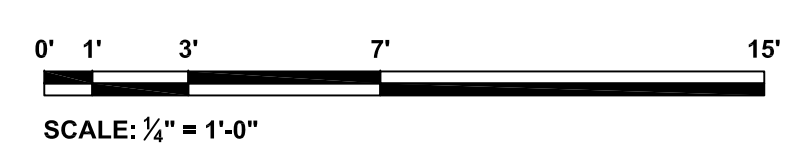
SCALE: 1/4" = 1'-0"

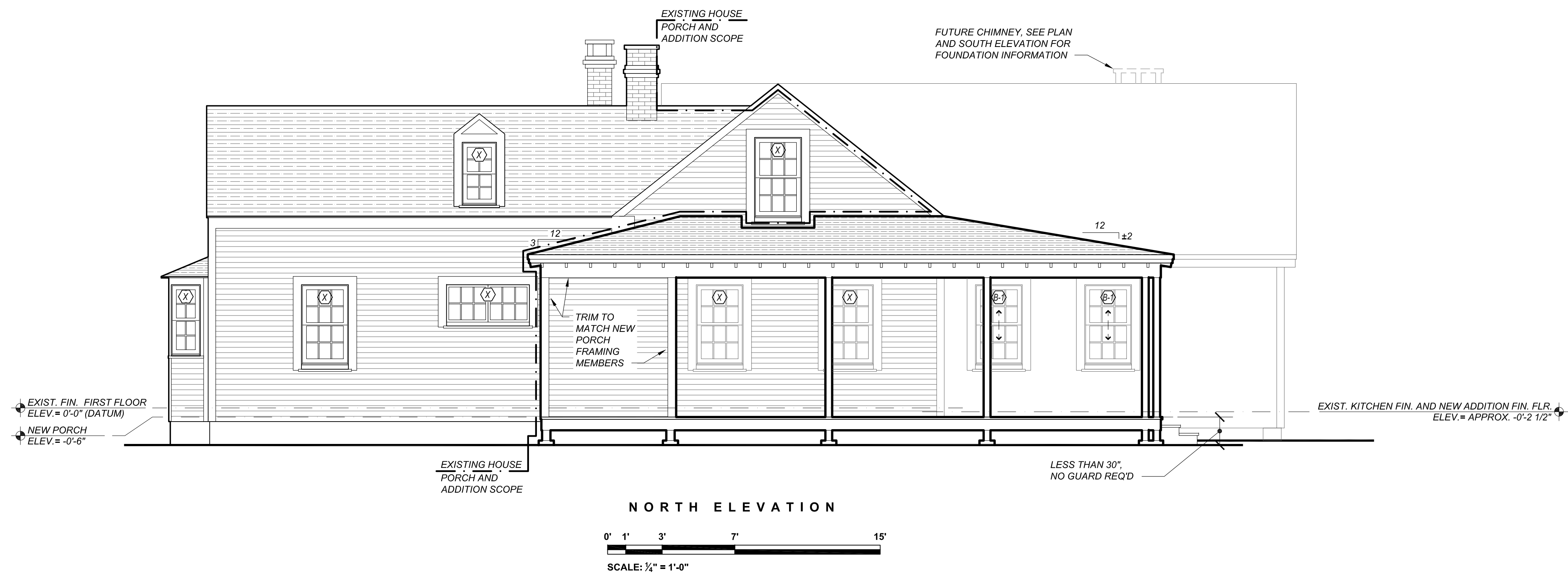
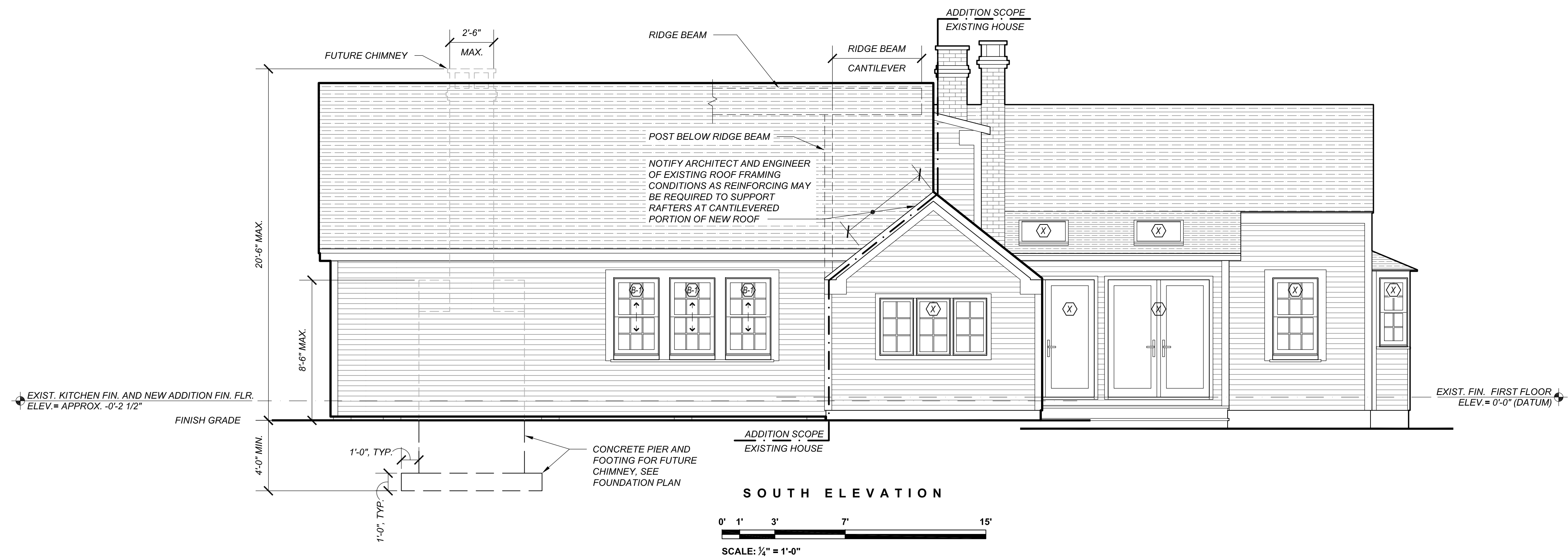


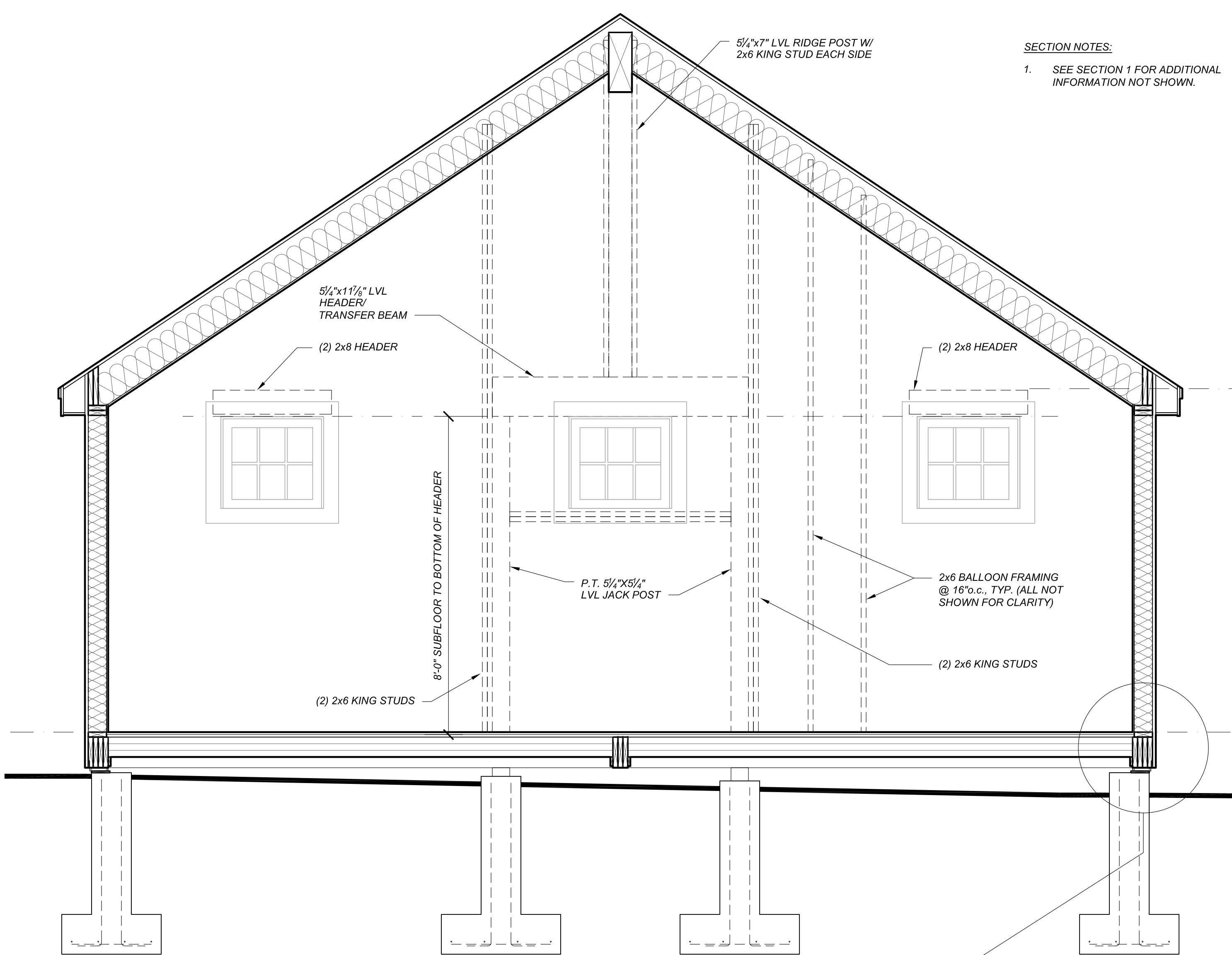
WEST ELEVATION



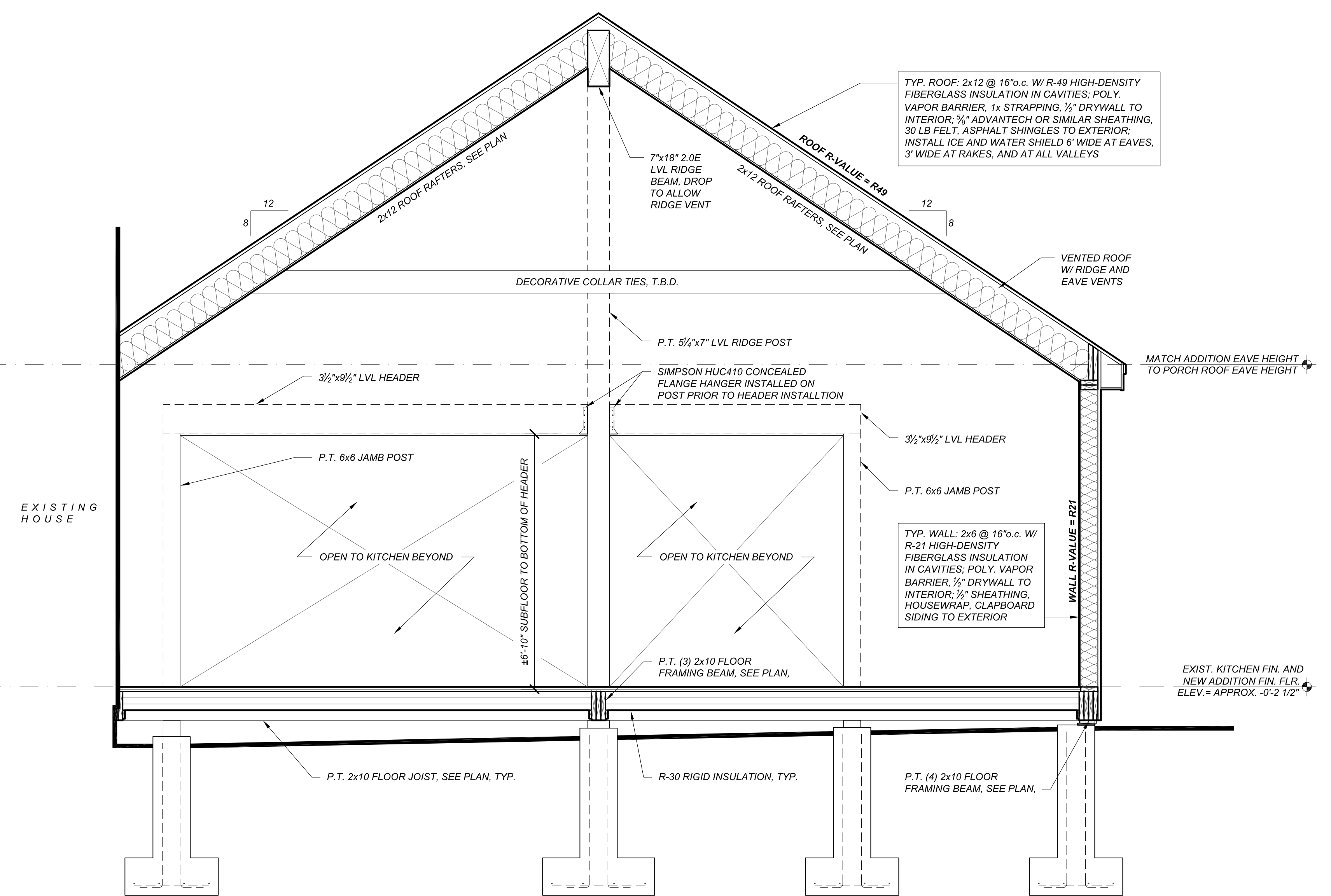
EAST ELEVATION



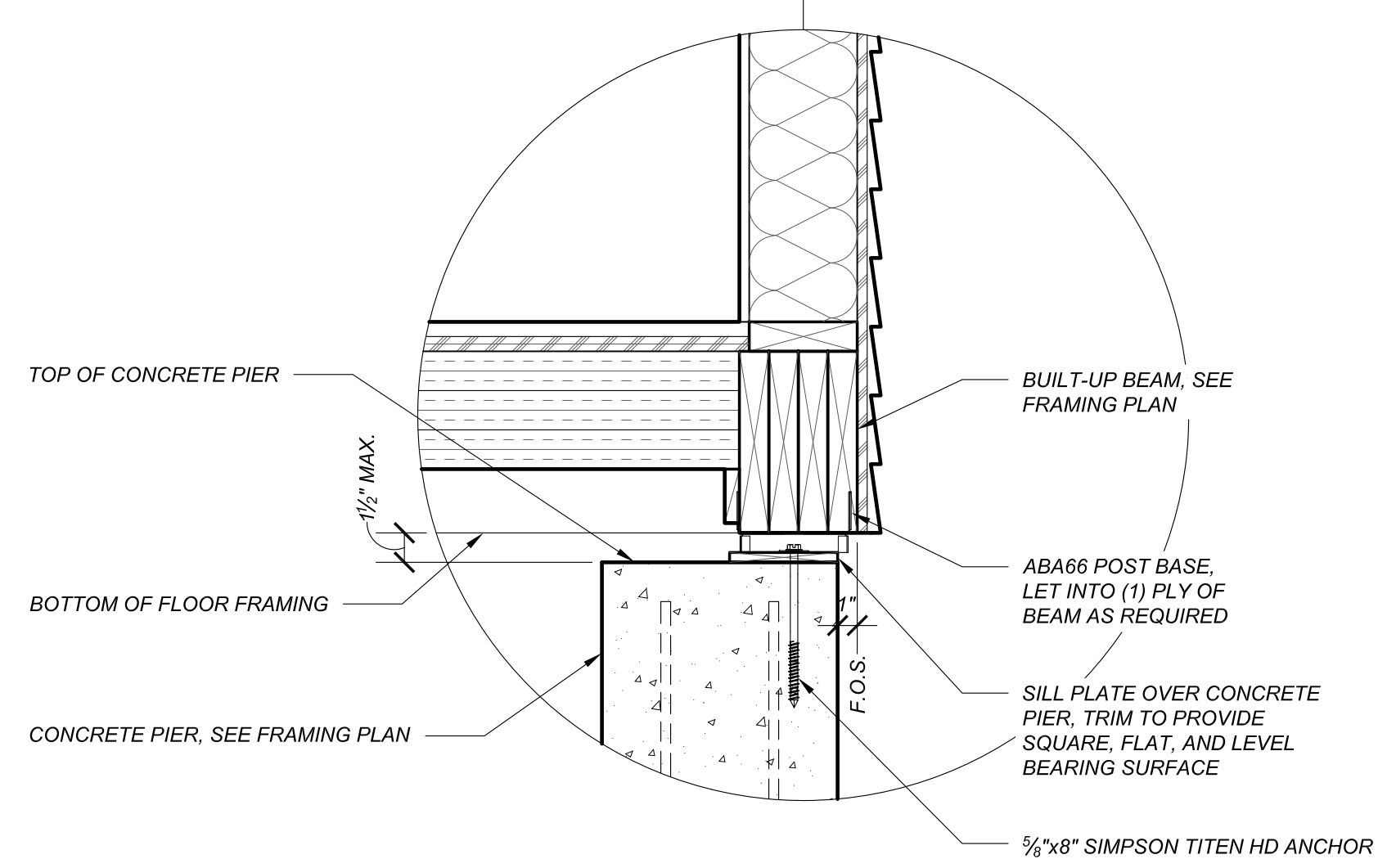




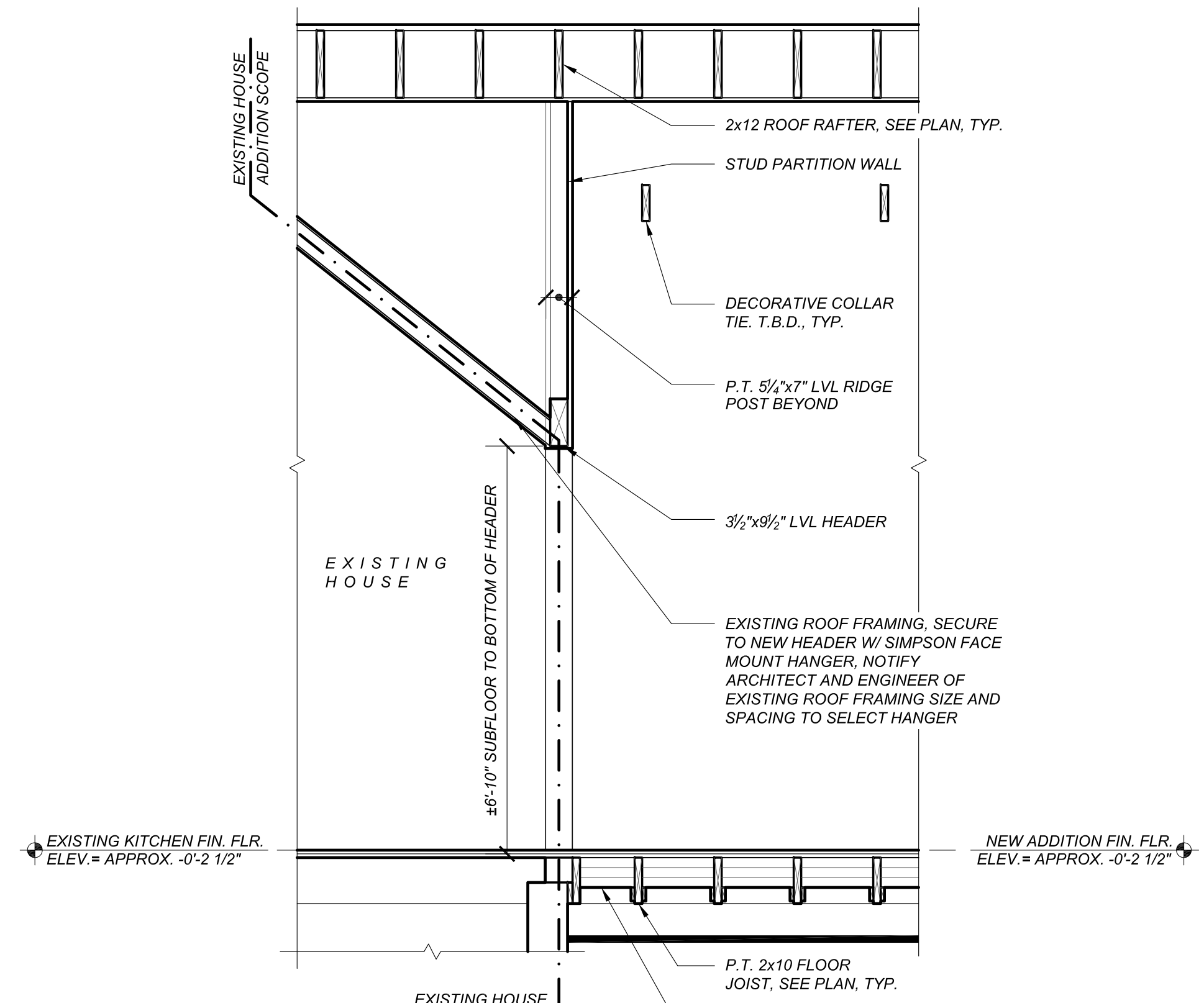
TRANSVERSE SECTION AT ADDITION - 2  
0' 0'-6" 1'-6" 3'-6" 7'-6"



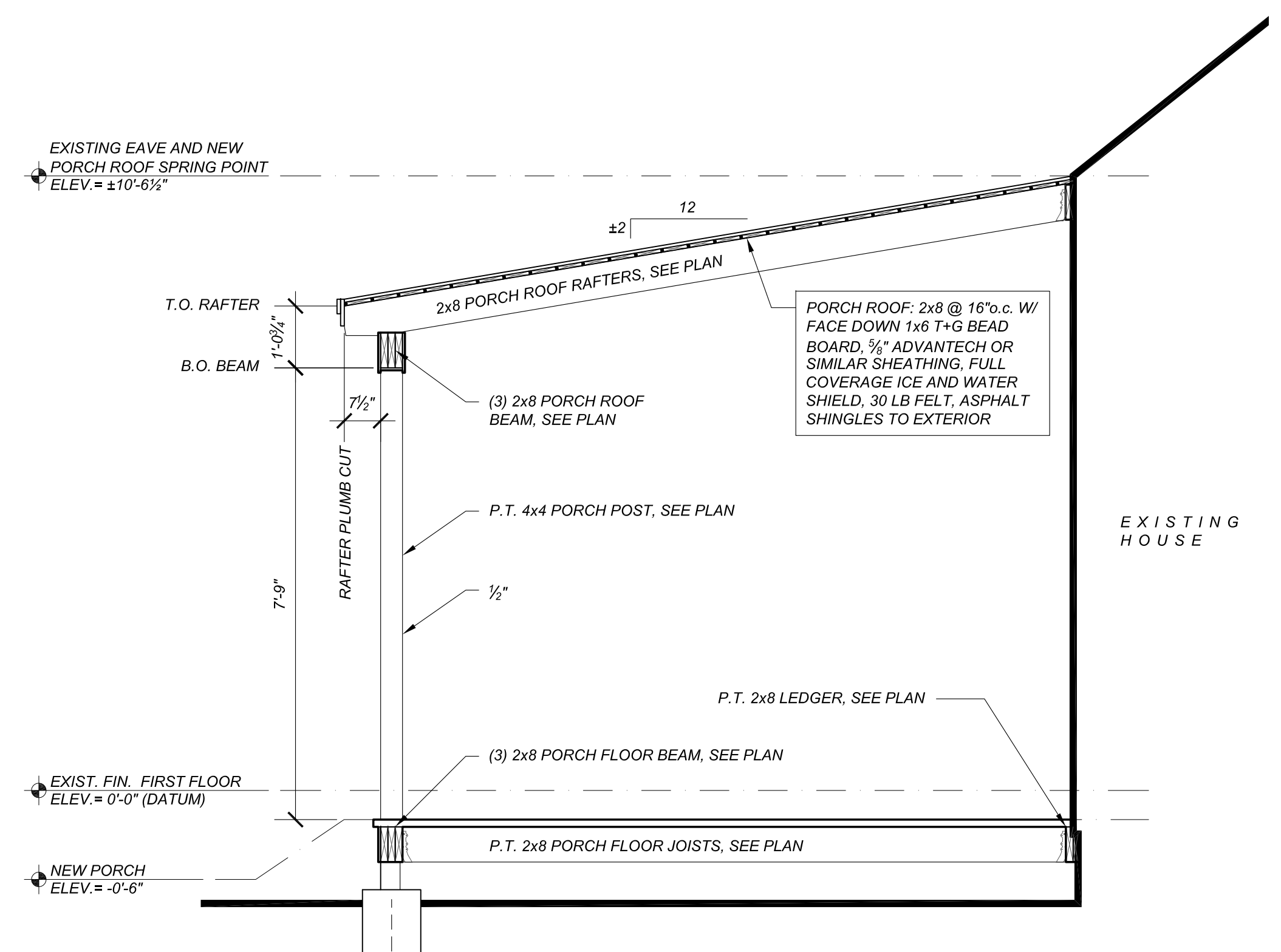
TRANSVERSE SECTION AT ADDITION - 1  
0' 0'-6" 1'-6" 3'-6" 7'-6"



TYPICAL FLOOR BEAM TO PIER CONNECTION

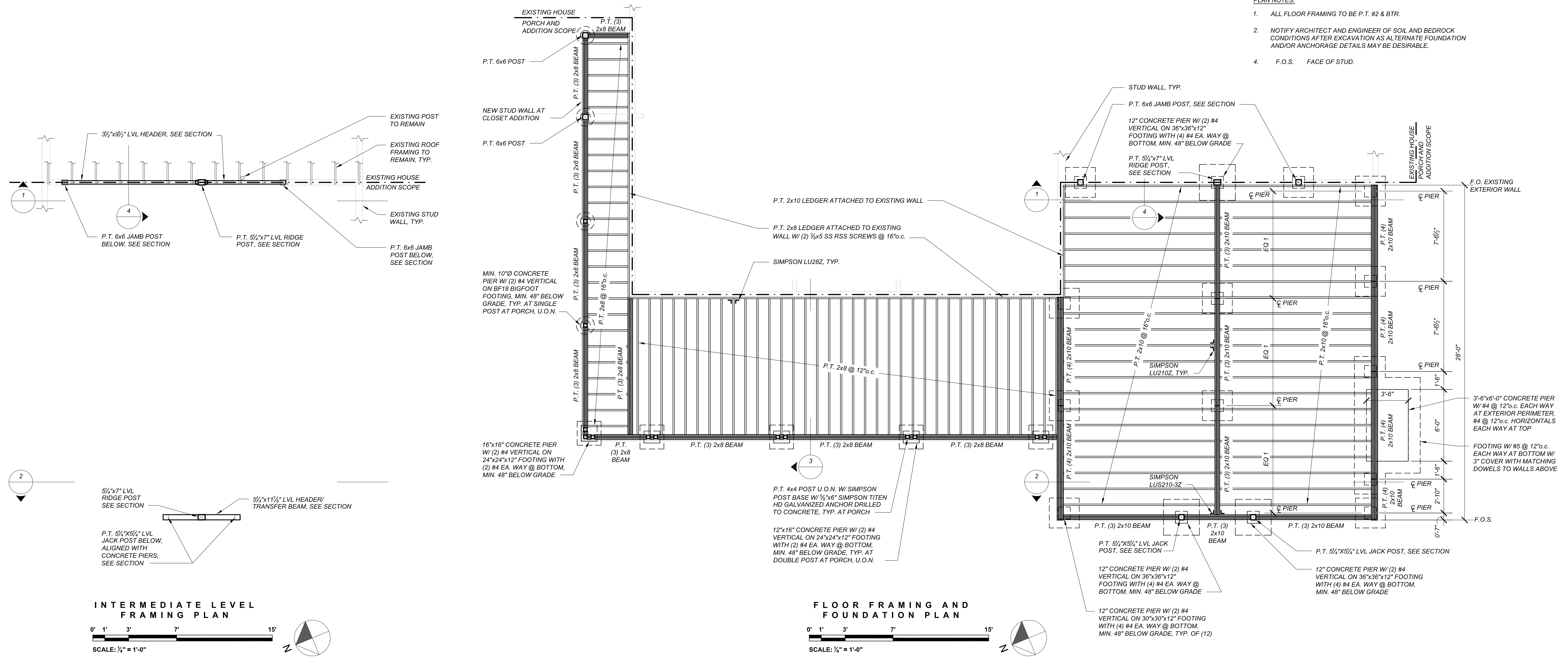


SECTION AT EXISTING KITCHEN - 4  
0' 0'-6" 1'-6" 3'-6" 7'-6"  
SCALE: 1/2" = 1'-0"



TRANSVERSE SECTION AT PORCH - 3  
0' 0'-6" 1'-6" 3'-6" 7'-6"  
SCALE: 1/2" = 1'-0"





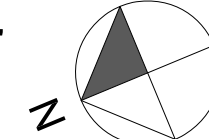
**PLAN NOTES:**

- ALL FLOOR FRAMING TO BE P.T. #2 & BTR.
- NOTIFY ARCHITECT AND ENGINEER OF SOIL AND BEDROCK CONDITIONS AFTER EXCAVATION AS ALTERNATE FOUNDATION AND/OR ANCHORAGE DETAILS MAY BE DESIRABLE.
- F.O.S. FACE OF STUD.

**INTERMEDIATE LEVEL FRAMING PLAN**

0' 1' 3' 7' 15'

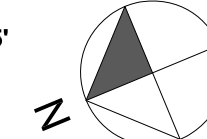
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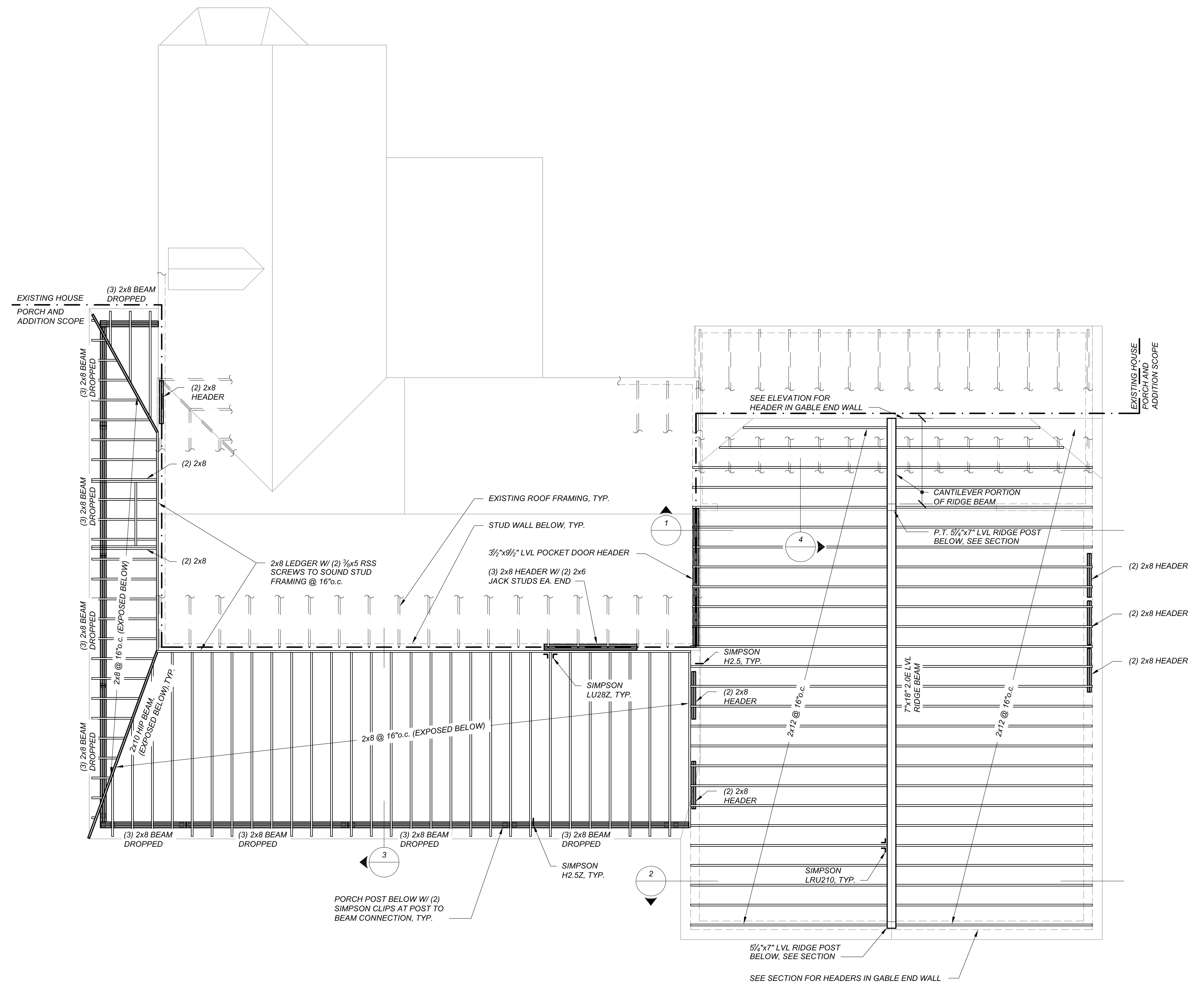


**FLOOR FRAMING AND FOUNDATION PLAN**

0' 1' 3' 7' 15'

SCALE: 1/4" = 1'-0"





**ROOF FRAMING PLAN**

