

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

MOAN JOSEPH P & JANET MOAN JTS/Thompson &
Johnson Woodworkers

PERMIT ID: 2013-00030

Located at

186 SEASHORE AVE, Peaks Island

CBL: 085 S016001

has permission to **Remove existing deck, add 10'7" x 18'5" single story addition, add full second floor, add deck & covered porch**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00030	Issue Date:	CBL: 085 S016001
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Location of Construction: 186 SEASHORE AVE, Peaks Island	Owner Name: MOAN JOSEPH P & JANET MOAN JTS	Owner Address: 4465 HIGHGROVE POINTS ATLANTA, GA 30319	Phone: (404) 531-4902
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island ME 04108	Phone: (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IR-2 RPZ
Past Use: Single Family	Proposed Use: Same - Single Family	Permit Fee: \$2,020.00	Cost of Work: \$200,000.00
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>TRC 09</i>
Proposed Project Description: Remove existing deck, add 10'7" x 18'5" single story addition, add full second floor, add deck & covered porch		Signature: <i>Per Ben W.</i>	Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: gg	Date Applied For: 01/07/2013	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>building just beyond 71' setback</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>Zone C - property A2</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>2/15/13 ARM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARM</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Footings/Setbacks
Close-in Plumbing/Framing
Electrical - Residential
Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00030	Date Applied For: 01/07/2013	CBL: 085 S016001
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Location of Construction: 186 SEASHORE AVE, Peaks Island	Owner Name: MOAN JOSEPH P & JANET MOA	Owner Address: 4465 HIGHGROVE POINTS	Phone: (404) 531-4902
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Same - Single Family	Proposed Project Description: Remove existing deck, add 10'7" x 18'5" single story addition, add full second floor, add deck & covered porch
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Dept: Zoning	Status: Approved w/Conditions	Reviewer: Ann Machado	Approval Date: 02/15/2013
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted including most recent site plan received 2/14/13.. Any deviations shall require a separate approval before starting that work.			

Dept: Building	Status: Approved w/Conditions	Reviewer: Tammy Munson	Approval Date: 03/21/2013
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) <input type="checkbox"/> This permit is approved under IBC Sec. 3403.4, Existing Structures, which allows the alteration or replacement of existing stairs to not meet new construction dimensions when the space is restricted. Guardrails and handrails, stair rise/run profile and continuity shall comply with new codes to the fullest extent possible.			
2) <input type="checkbox"/> Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level.			
3) <input type="checkbox"/> Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			
4) Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.			
5) The outdoor shower must be plumbed to sanitary drainage system of the structure.			
6) As discussed, the structural ridge beam in the addition shall be 3- 2" x 12"-s or an engineered beam.			
7) <input type="checkbox"/> Permit approved based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.			

Dept: Fire	Status: Approved w/Conditions	Reviewer: Ben Wallace Jr	Approval Date: 03/18/2013
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) All construction shall comply with City Code Chapter 10.			
2) Single-station Carbon Monoxide (CO) alarms are required. They shall be powered by the building's electrical service with battery backup and shall be interconnected. CO alarms shall be installed in the following locations: (1) Outside each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms (2) On every occupiable level of the dwelling unit, including basements, excluding attics and crawl spaces			
3) A copy of the State Sprinkler permit with RMS date and signature shall be provided prior to scheduling of the final inspection.			
4) Single-station photoelectric smoke alarms are required. They shall be powered by the building's electrical service with battery backup and shall be interconnected. Smoke alarms shall be installed in the following locations: (1) All sleeping rooms (2) Outside each separate sleeping area, in the immediate vicinity of the sleeping rooms (3) On each level of the dwelling unit, including basements.			

Location of Construction: 186 SEASHORE AVE, Peaks Island	Owner Name: MOAN JOSEPH P & JANET MOA	Owner Address: 4465 HIGHGROVE POINTS	Phone: (404) 531-4902
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

5) A sprinkler system shall be installed in accordance with NFPA 13D. A no fee One- or Two-family CITY Fire Sprinkler Permit is required.

wired email electronic plans



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 186 STERLING PEAKS ISLAND, ME. 04108		
Total Square Footage of Proposed Structure/Area 1,032 SF	Square Footage of Lot 7,410 SF	Number of Stories 2
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 85 5 14	Applicant: (must be owner, lessee or buyer) Name JOE & JAMIE MOAN Address 4465 HILTBORNE RD City, State & Zip ATLANTA, GA. 30319	Telephone: 404.531.4902
Lessee/DBA RECEIVED JAN 07 2013 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ 200,000 C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$
Current legal use (i.e. single family) SF Number of Residential Units 1 If vacant, what was the previous use? Proposed Specific use: SF Is property part of a subdivision? If yes, please name Project description: DINING ROOM ADDITION, SECOND FLOOR ADDITION		
Contractor's name: THOMPSON JOHNSON WOODWORKS. Email: HEATHER@TJWHOME.COM Address: 115 ISLAND AVE City, State & Zip: PEAKS ISLAND, ME. 04108 Telephone: 207.766.5919 Who should we contact when the permit is ready: HEATHER CONY Telephone: 207.766.5625 Mailing address: 26 STERLING STREET PEAKS ISLAND, ME. 04108		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *[Handwritten Signature]* Date: 1.4.13

This is not a permit; you may not commence ANY work until the permit is issued

Applicant: Joe Janet Moran

Date: 1/7/13

Address: 186 Seashore Ave, Peaks Island

C-B-L: 8T-5-01b

perm. # 2013-00030

CHECK-LIST AGAINST ZONING ORDINANCE

Date - built 1904

Zone Location - IR 2

Interior or corner lot -

Proposed Use/Work - add remove existing deck, add 10'7" x 18'5" one story addition, deck 10'6" x 23'5" add dormers over existing building to create 2nd floor. One story open porch 5'6" x 10'11" 18'6" x 5'

Sewage Disposal -

Lot Street Frontage - N/A

OK using section 14-436' encroaches 1.5 x 10.5 = 15'

Front Yard - 25' or average - average is 5.75' - addition is 10' (OK)

Rear Yard - 25' min - 67' to 30' easement (OK)

Side Yard - 20' - left side - existing footprint (14') right side - 20' to new deck. (OK)

Projections -

Width of Lot - N/A

Height - 35' max - 6'6" @ 24' @ lowest side

Lot Area - 7410 sq ft

Lot Coverage/Impervious Surface - 20% = 1482 sq ft

Area per Family - OK

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection - Yes. - have beyond 75' (just)

Flood Plains - Panel 15-200

section 14-436'

499	existing footprint
349	
<hr/>	
848	234.5
	<hr/>
	848 = 27.7% increase

7 x 20 = 140

13.5 x 7 = 94.5

234.5

24 x 20 = 480

20 x 23.5 = 470

10.5 x 5.75 = 60.38

8 x 5 = 40

1073.88 sq ft



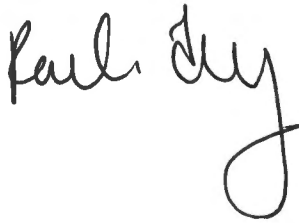
Rachel Conly Architectural Design

January 4, 2013

To Whom it May Concern,

The following correspondence is an exchange between Jay Hewett of the Portland Water District and my client, Joe Moan, explaining the plans for the extended sewer line to the proposed project address.

Thank you, Rachel

A handwritten signature in black ink that reads "Paul Dwy". The signature is written in a cursive style with a large, looped 'y' at the end.



Forward: Sewerage for your Peaks Island Properties along Seashore Avenue

Joseph Moan <josephmoan@mac.com>

Wed, Dec 19, 2012 at 5:17 PM

To: Thompson Johnson Woodworks <heather@tjwhome.com>, Rachel Conly <rachelconlydesign@gmail.com>, mark@tjwhome.com, Janet Moan <jtmoan@mac.com>

Good news about the sewer line.

Sent from my iPhone

Begin forwarded message:

From: "Joseph P. Moan" <jmoan@coca-cola.com>

Date: December 19, 2012, 10:33:16 EST

To: "Janet Moan (jtmoan@mac.com)" <jtmoan@mac.com>, "Joe Moan (josephmoan@mac.com)" <josephmoan@mac.com>

Subject: FW: Sewerage for your Peaks Island Properties along Seashore Avenue

Joseph P. Moan | Senior Managing Counsel | The Coca-Cola Company

1 Coca-Cola Plaza, NW | Atlanta, Georgia | 30313

404.676.1306 (TDD) | 404.598.1306 fax| jmoan@coca-cola.com<mailto:jmoan@coca-cola.com>

From: Jay Hewett [<mailto:jhewett@pwd.org>]

Sent: Wednesday, December 19, 2012 10:12 AM

To: choppin@aol.com; djdeangelo@gmail.com; Joseph P. Moan; jmoan007@msn.com

Cc: joe@delucahoffman.com; Norman Twaddel

Subject: Sewerage for your Peaks Island Properties along Seashore Avenue

To all,

To avoid costly and disruptive excavation on Seashore Avenue, we are proposing to construct a sanitary sewer behind your buildings. This sewer would serve your several properties exclusively. We have attempted, as much as possible, to follow the edge of the wet lands there. We understand that there are also water services in the same vicinity and that we will be crossing them. We can expect to encounter them during construction and any damage will be repaired as part of the project with equivalent materials.

The attached plan shows the proposed layout of the sewer and since this would be on your properties, the easement we will need to construct and maintain it. The specific language of the easement would exclude the existing structures since we have no desire to impact them in any way. One distinct advantage to each property is that it puts the sewer close to and down hill of your existing private systems and assures that you would have gravity sewer service without the need of private pumping facilities, unless, for some reason, you would want them.

Before we go further with the design and easement process, please comment on what you see here.

When we have a consensus on this approach, we would prepare easement documents for your execution. If you reply by email, please "reply to all" since any change in plan would likely affect all your properties to some extent.

Please feel free to call me at [207-774-5961](tel:207-774-5961) X3106 if you wish to discuss this directly. If you prefer to

talk to our Engineer, Joe Laverriere, he can be reached at [207-775-1121](tel:207-775-1121)

Yours truly,

Jay Hewett
Jay Hewett
Project Manager
Portland Water District

Phone: [207-774-5961](tel:207-774-5961) Ext. 3106

E-mail: jhewett@pwd.org<<mailto:jhewett@pwd.org>>

<http://www.pwd.org>

Portland Water District NOTICE & DISCLAIMER Confidentiality Notice:

THIS MESSAGE IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED AND

MAY CONTAIN INFORMATION THAT IS PRIVILEGED AND CONFIDENTIAL. Please notify the sender if you have received

this message in error. Recipients should be aware that replies to this message may not be considered confidential

and may therefore be subject to public disclosure.

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2 attachments

 Please consider the environment before printing this email

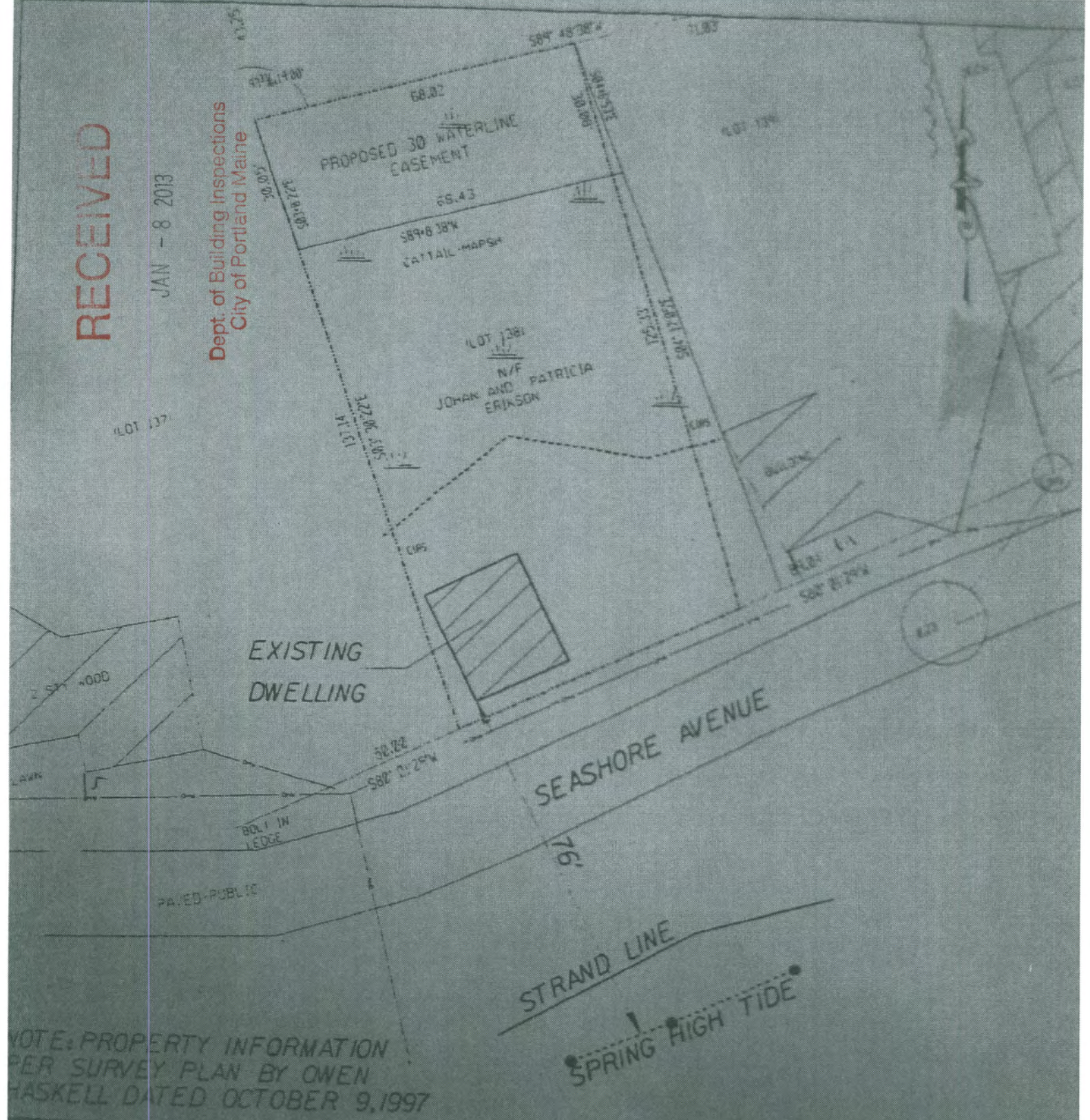
signature-1.gif
1K

 **3134 C-9 SEASHORE X-COUNTRY WITH EASEMENT.pdf**
308K

RECEIVED

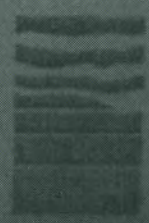
JAN - 8 2013

Dept. of Building Inspections
City of Portland Maine



NOTE: PROPERTY INFORMATION
PER SURVEY PLAN BY OWEN
HASKELL DATED OCTOBER 9, 1997

HIGH WATER MARK
DELINEATION PLAN
JOHAN ERIKSON
186 SEASHORE AVENUE
PEAKS ISLAND, MAINE



Albert Frick Associates
Soil Scientists & Site Evalua
Garban, Maine 04038

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name Joseph and Janet Moan	Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 186 Seashore Avenue	Company NAIC Number:
City Peaks Island, Portland State ME ZIP Code 04018	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Tax Map 85 Block S Lot 16	

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 43°39'07.66 Long. 70°11'17.72 Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1A

A8. For a building with a crawspace or enclosure(s):

a) Square footage of crawspace or enclosure(s) _____ sq ft

b) Number of permanent flood openings in the crawspace or enclosure(s) within 1.0 foot above adjacent grade _____

c) Total net area of flood openings in A8.b _____ sq in

d) Engineered flood openings? Yes No

A9. For a building with an attached garage:

a) Square footage of attached garage _____ sq ft

b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____

c) Total net area of flood openings in A9.b _____ sq in

d) Engineered flood openings? Yes No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Portland 230051		B2. County Name Cumberland		B3. State Maine	
B4. Map/Panel Number 15	B5. Suffix B	B6. FIRM Index Date July 15, 1992	B7. FIRM Panel Effective/Revised Date July 17, 1986	B8. Flood Zone(s) A2	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 9

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: City Benchmark Vertical Datum: NGVD 1929
 Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____
 Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

a) Top of bottom floor (including basement, crawspace, or enclosure floor) 9.9 feet meters

b) Top of the next higher floor 17.2 feet meters

c) Bottom of the lowest horizontal structural member (V Zones only) _____ feet meters

d) Attached garage (top of slab) _____ feet meters

e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 9.9 feet meters

f) Lowest adjacent (finished) grade next to building (LAG) 9.1 feet meters

g) Highest adjacent (finished) grade next to building (HAG) 15.4 feet meters

h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support 9.4 feet meters

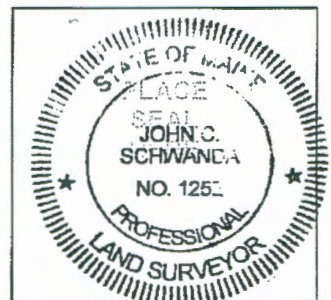
SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Check here if attachments.

Certifier's Name John C. Schwanda	License Number 1252
Title P.L.S.	Company Name Owen Haskell, Inc.
Address 390 US Route One Unit 10	City Falmouth State ME ZIP Code 04105
Signature <i>John C. Schwanda</i>	Date 02-06-2013 Telephone 207-774-0424



IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 186 Seashore Avenue	Policy Number:
City Peaks Island, Portland State ME ZIP Code 04108	Company NAIC Number:

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments The lowest machinery in Section C2-e is a hot water heater on a wooden pallet adjacent to the slab in the basement.

Signature *[Handwritten Signature]* Date 02-05-2013

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

Check here if attachments.

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
186 Seashore Avenue

Policy Number:

City Peaks Island, Portland

State ME

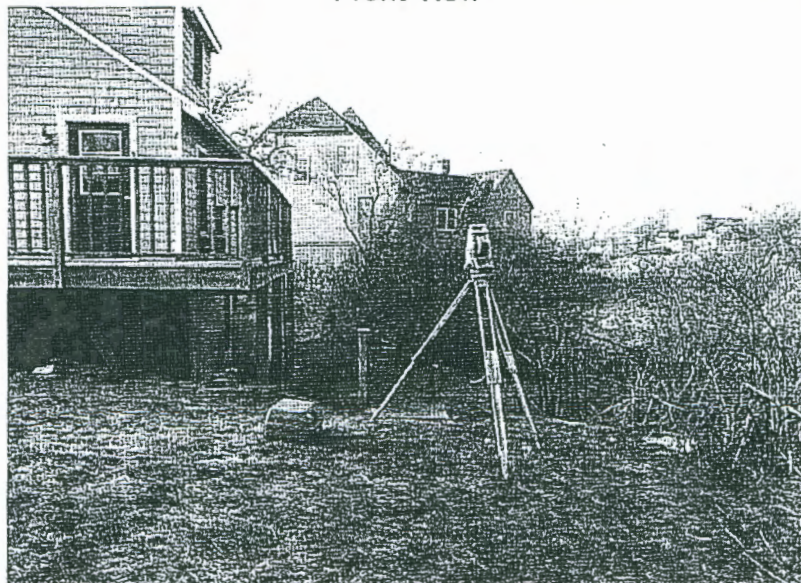
ZIP Code 04108

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Front View



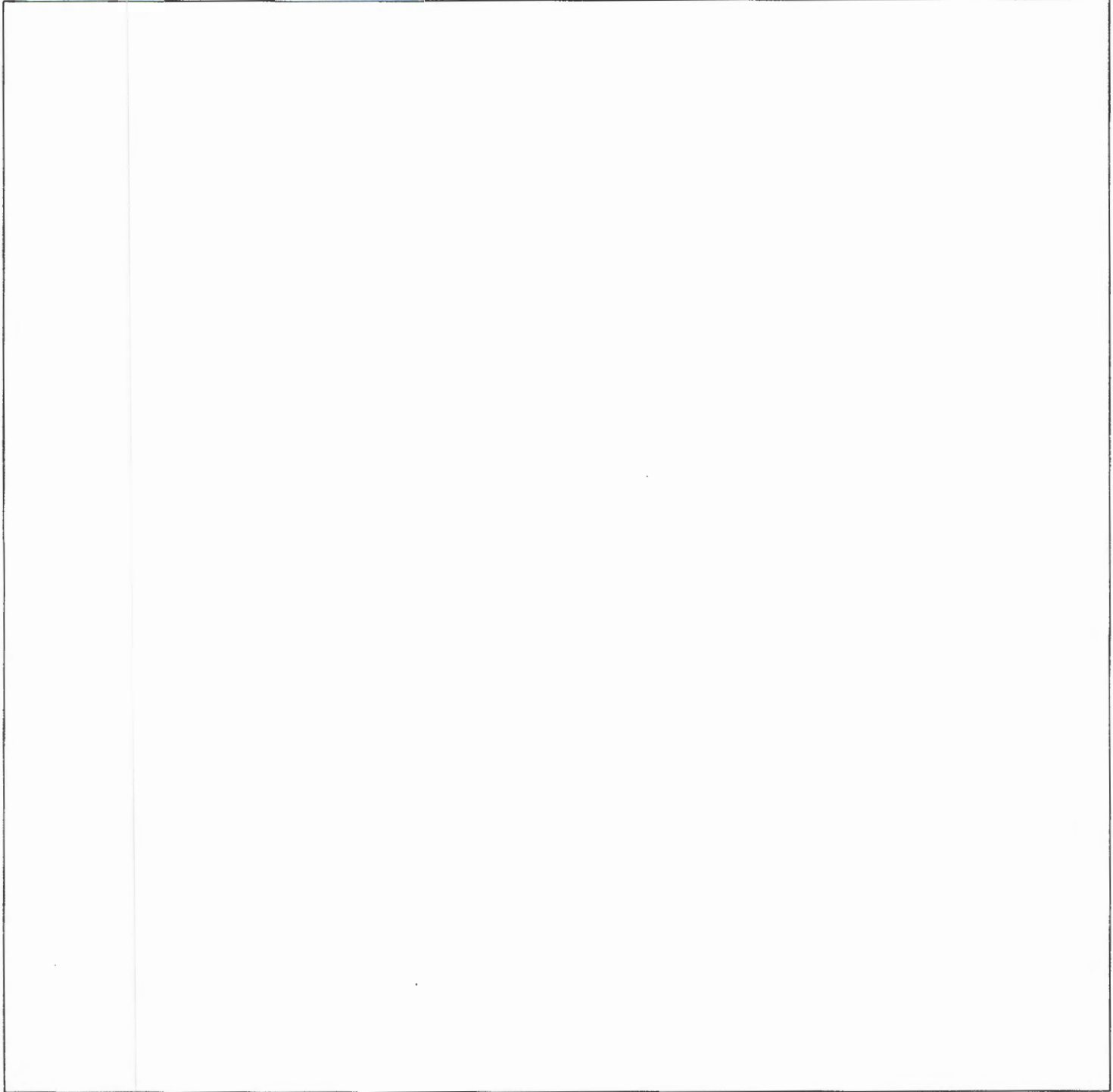
Rear View

Building Photographs

Continuation Page

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			FOR INSURANCE COMPANY USE	
City			State	ZIP Code
			Policy Number	
			Company NAIC Number	
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.				





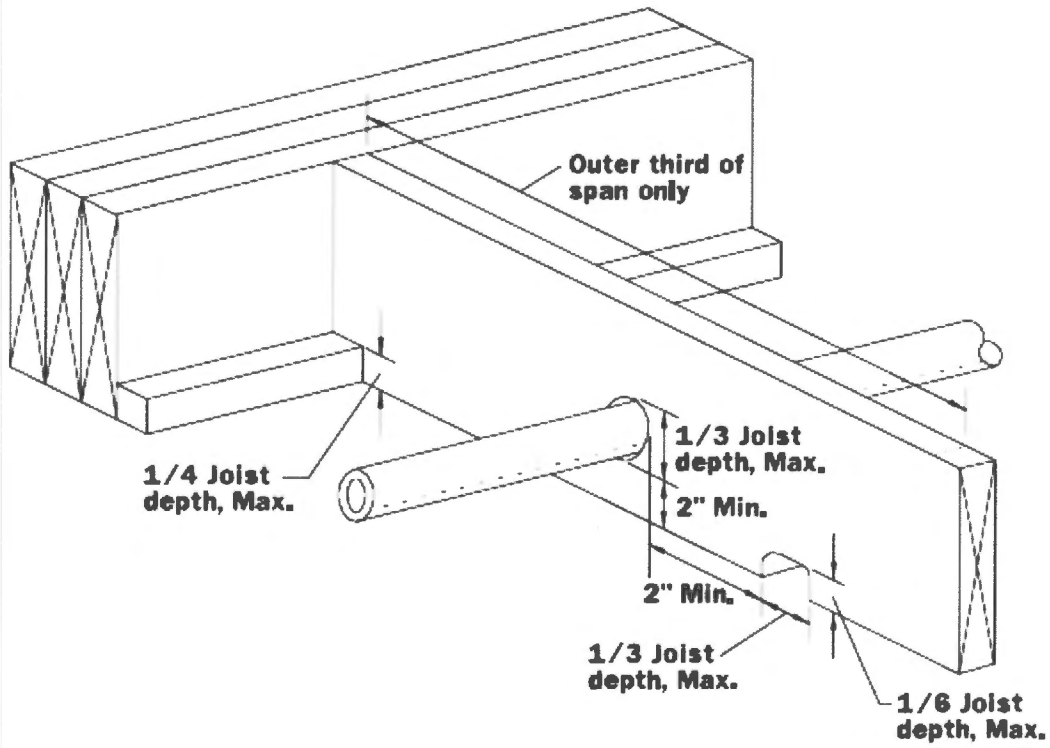
STRUCTURAL NOTES

1. Building has been designed to comply with the 2009 International Code Committee Family of codes including by reference: ASCE 7-10; AISC's Steel Construction Manual, 13th edition; Nation Design Specification for Wood Construction, 2012 edition; ACI Building Code Requirements for Structural Concrete 318-08.
2. Building has been designed to include balanced/unbalanced snow loads in accordance with ASCE 7. Ground snow load, $p_g = 50$ psf; Importance factor, $I_s = 1.0$; Exposure factor, $C_e = 0.9$; Thermal Factor, $C_t = 1.0$.
3. Building has been designed to resist lateral loads using American Wood Council prescriptive methods for conventional construction (Wood-Frame Construction Manual for One- and Two-Family Dwellings). Those items which exceed the limitations of this document have been designed for all required loads and forces.
4. Foundations are based on a presumptive bearing pressure of 1500 psf (IBC Table 1804.2).
5. Concrete used shall have a minimum compressive strength of 3000 psi at 28 days. Reinforcing steel bars shall conform to ASTM A615, grade 60.
6. Exterior concrete shall have 6% (+1/2%, -1%) air entrainment.
7. Bolts used to support structural steel sections shall meet ASTM A325. All bolts shall be snug tight as defined by AISC. All bolted connections shall use standard washers and hex nuts.
8. Wood framing indicated in the drawing by nominal sizes (2x4, 2x6, etc) shall be kiln dried Spruce-Pine-Fir, #2 or better. Wood framing with widths larger than 5" shall be Eastern Hemlock, #1 or better (unless noted otherwise). Wood framing that is in contact with concrete or within 6" of finished grade shall be treated southern yellow pine.
9. All nails used in the project shall be common type nails. All fasteners and metal hangers used in combination with pressure treated wood shall be treated specifically for use with treated materials.
10. Roof surfaces shall be covered with 5/8" (or thicker) APA rated 40/20 sheathing rated for exterior use. Panels shall be oriented with long dimension running perpendicular to supporting members.
11. Exterior walls shall be covered with 5/8" APA rated sheathing rated for exterior use. Panels shall be oriented with long dimension running horizontal (parallel to ground).
12. Floors shall be covered with 3/4" tongue & groove APA rated sheathing. Panels shall be oriented with long dimension running perpendicular to supporting members. Apply construction adhesive to top of all supports prior to sheathing installation. #10 deck screws may be substituted for nails.
13. All connections and fasteners not otherwise noted on the drawings are per the schedule below.

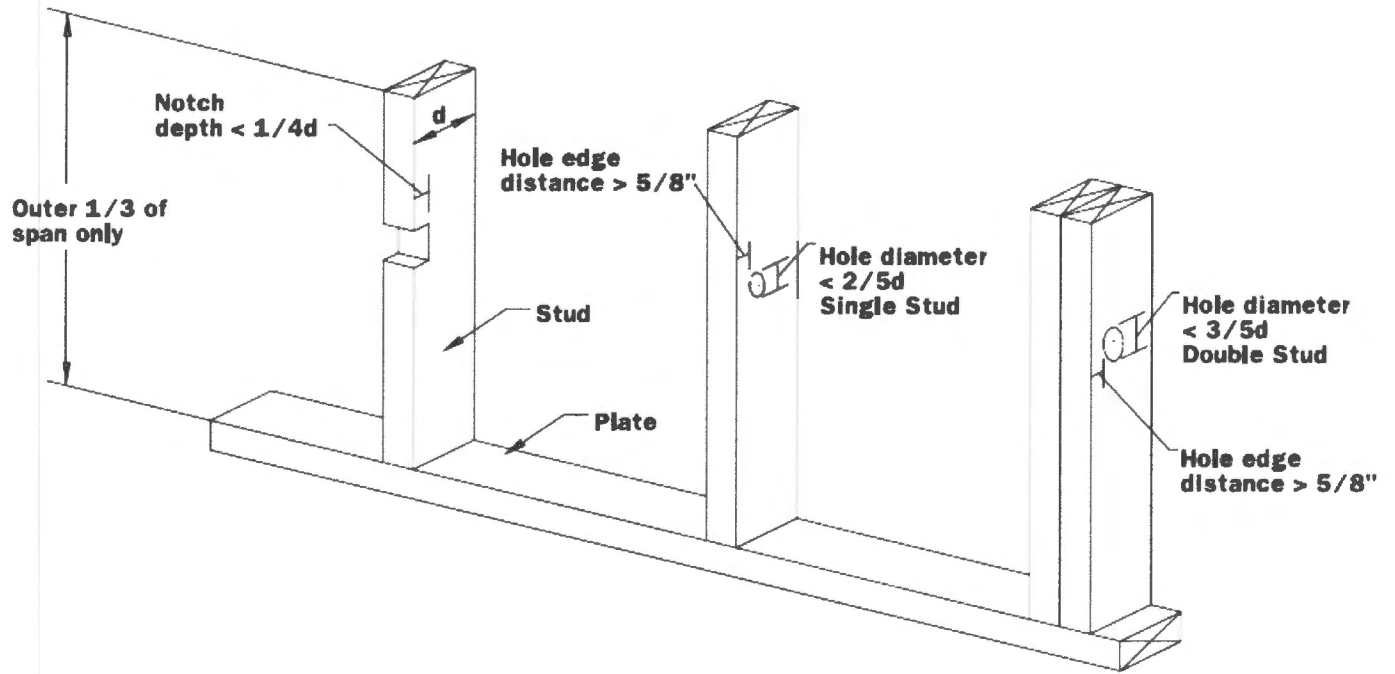
CONNECTION / FASTENER SCHEDULE

TYPICAL SILL TO FOUNDATION	1/2" ANCHOR BOLT @ 36" O.C. W/ 3" PLATE WASHER 9" MIN. EMBEDMENT
HOLDDOWNS AT SILL PLATE AT SHEARWALLS	SIMPSON HDU8-SDS2.5 OR EQUAL W/ 7/8" DIA. ANCHOR BOLTS
HOLDDOWNS BETWEEN ROOF - 2 ND FLOOR AT SHEARWALLS	SIMPSON HDU4-SDS2.5 OR EQUAL

SHEARWALLS	8d COMMON NAILS AT 4" EDGE SPACING AND 12" FIELD SPACING. TOP & BOTTOM NAILING: TWO ROWS OF 8d NAILS @ 4" O.C. MIN (3) 2X4 STUDS AT EDGES
TYPICAL ROOF SHEATHING	8d @ 6" O.C. EDGE / 12" O.C. FIELD (TYPICAL PANELS) 8d @ 6" O.C. EDGE / 6" O.C. FIELD (PERIMETER PANELS WHERE RAFTER SPACING > 16" O.C.)
TYPICAL WALL SHEATHING	8d @ 6" O.C. EDGE / 12" O.C. FIELD
TYPICAL FLOOR SHEATHING	12d RING OR SPIRAL NAILS @ 6" O.C. EDGE / 12" O.C. FIELD
JOIST TO SILL OR TOP PLATE	4 – 8d (TOENAILED)
BRIDGING / BLOCKING TO JOIST	2 – 8d (TOENAILED)
BLOCKING TO SILL / TOP PLATE	3 – 16d (TOENAILED)
LEDGER STRIP TO BEAM	3 – 16d (FACENAILED, PER JOIST)
JOIST ON LEDGER TO BEAM	3 – 8d (TOENAILED)
BAND/RIM JOIST TO JOIST	3 – 16d (END-NAILED)
RIM JOIST TO SILL / TOP PLATE	2 – 16d PER FOOT
TOP PLATE TO TOP PLATE	2 – 16d PER FOOT
TOP PLATES AT INTERSECTION	4 – 16d EACH SIDE
STUD TO STUD	1 – 16d @ 12" O.C.
HEADER TO HEADER	16d @ 16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO STUD	2 – 16d
BOTTOM PLATE TO FLOOR JOIST, RIM JOIST, END JOIST, OR BLOCKING	2 – 16d PER FOOT
RAFTER TO TOP PLATE	RAFTER SPACING UP TO 16": 2 – 8d (TOENAILED) RAFTER SPACING = 24": 3 – 8d (TOENAILED)
CEILING JOIST TO TOP PLATE	2 – 8d (TOENAILED)
BLOCKING TO RAFTER	2 – 8d EACH END
BAND JOIST TO RAFTER	2 – 16d EACH END
RAFTER-TO-RAFTER TENSION STRAP OVER RIDGE BEAM (7:12 SLOPE OR GREATER)	SIMPSON LSTA-9 OR EQUAL ALT: COLLAR TIES W/ 4-8d EACH END IN THE UPPER 1/3 OF THE RAFTER SPAN

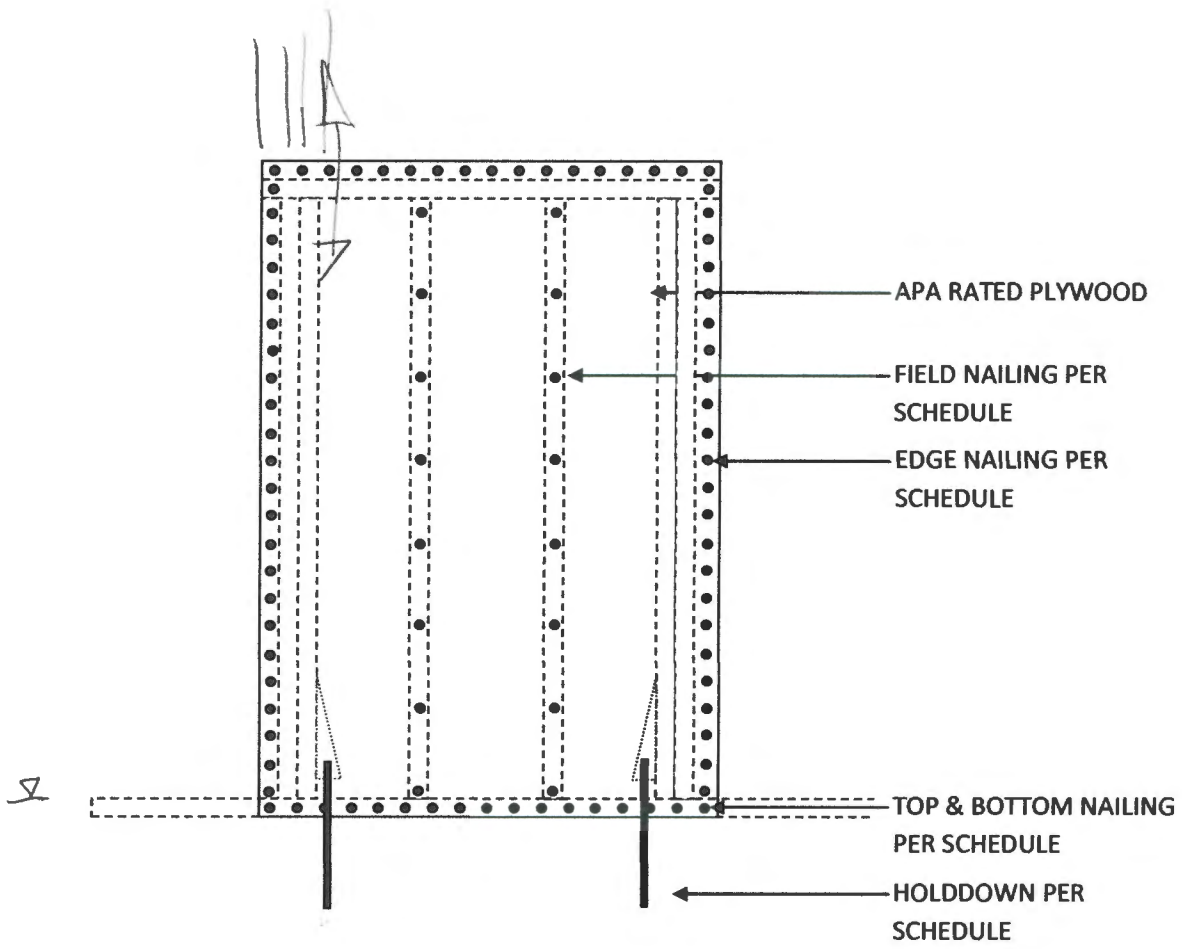


ALLOWABLE JOIST NOTCHES & PENETRATIONS



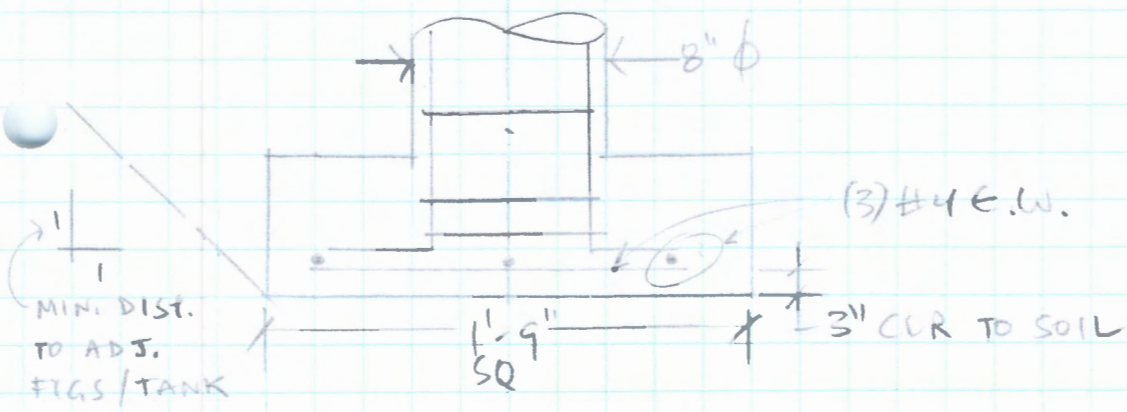
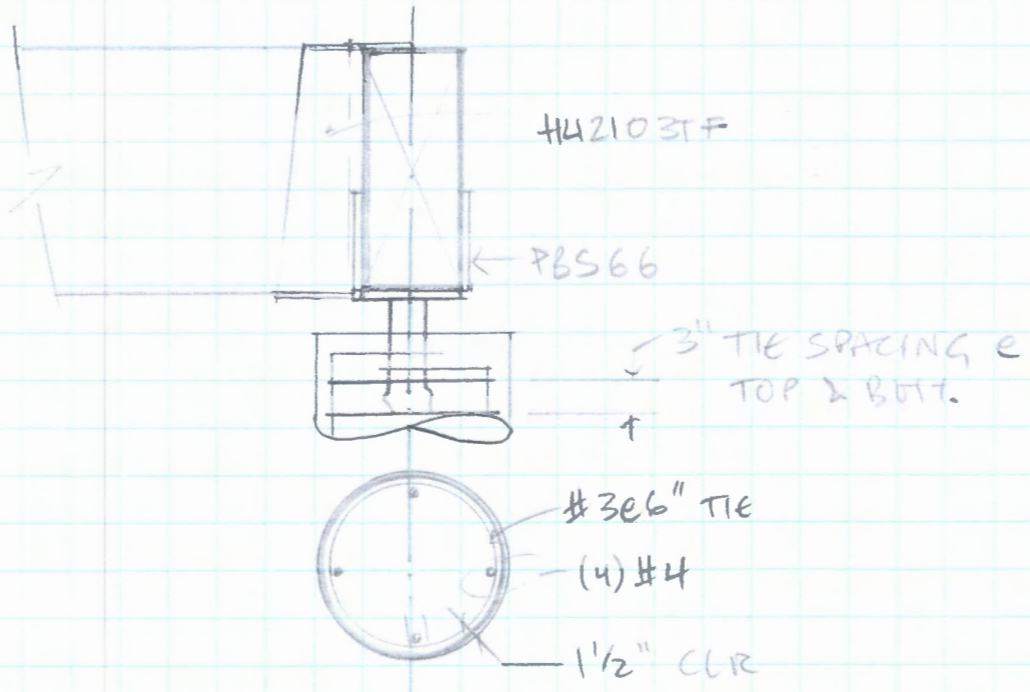
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ALLOWABLE STUD NOTCHES & PENETRATIONS



TYPICAL SHEARWALL

MOAN / WHITECAP



Ⓐ DETAIL