

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

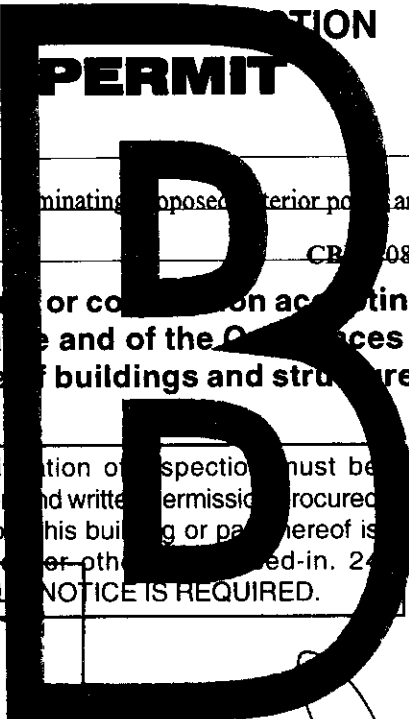
Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

Permit Number: 091442

This is to certify that Horn Susan & /Macey Orme
has permission to Amendment to permit # 090971 eliminating proposed exterior porch and, instead increase size of proposed sunr
AT 16 Great Pond Rd CB# 085-0024001

provided that the person or persons, firm or corporation accounting for this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED
FEB - 9 2010
CITY OF PORTLAND
Department Name

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

J. Anne Burke 2/8/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1442	Issue Date:	CBL: 085 0024001
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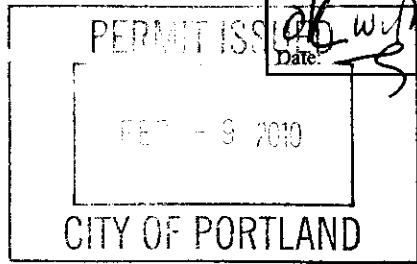
Location of Construction: 16 Great Pond Rd, <i>PI</i>	Owner Name: Horn Susan &	Owner Address: 312 Wright Crossing Rd	Phone:
Business Name:	Contractor Name: Macey Orme	Contractor Address: P O Box 143 Peaks Island	Phone: 2074087100
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: <i>I-R2</i>

Past Use: Single Family	Proposed Use: Single Family / Amendment to permit # 090971 eliminating proposed exterior porch and , instead increase size of proposed sunroom addition.	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1	<i>15,146^{sq}</i>
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Proposed Project Description: Amendment to permit # 090971 eliminating proposed exterior porch and , instead increase size of proposed sunroom addition.	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>IRC-2003</i>
Signature:	Signature: <i>JMB 2/8/10</i>	

Permit Taken By: gg	Date Applied For: 12/23/2009	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p>
	<p>PERMIT ISSUED <i>06 with conditions</i></p> <p>Date: <i>2/1/10</i></p>	Date:	Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1442	Date Applied For: 12/23/2009	CBL: 085 0024001
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Location of Construction: 16 Great Pond Rd , Peaks	Owner Name: Horn Susan &	Owner Address: 312 Wright Crossing Rd	Phone:
Business Name:	Contractor Name: Macey Orme	Contractor Address: P O Box 143 Peaks Island	Phone (207) 408-7100
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family / Amendment to permit # 090971 eliminating proposed exterior porch and , instead increase size of proposed sunroom addition.	Proposed Project Description: Amendment to permit # 090971 eliminating proposed exterior porch and , instead increase size of proposed sunroom addition.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/01/2010**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 02/08/2010**Note:** **Ok to Issue:**

- 1) All previous conditions apply from permit #09-0971, except the structural information on engineered beams.

Comments:

2/1/2010-mes: received a new plot plan

12/23/2009-mes: I'm trying to find the other recently issued permit - Only found the scanned permit - I need a new plot plan - I called Rachel to get me a new plot plan.

RECEIVED

DEC 23 2009

**Dept. of Building Inspections
City of Portland Maine**

General Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>16 GREAT POND ROAD PEAKS ISLAND</u>			
Total Square Footage of Proposed Structure/Area <u>546 SF BEDROOM / 196.3 SF SUNROOM ADDITION</u>		Square Footage of Lot <u>16,633 SF</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant *must be owner, Lessee or Buyer* Name <u>BEA HAYES & SUSAN HOEN</u>		Telephone:
<u>85 0 24-25</u>	Address <u>312 WRIGHT CROSSING RD POMFRET CENTER, CT.</u>		
City, State & Zip <u>06259</u>			
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name	Cost Of Work: \$ <u>30.00</u>	
	Address	C of O Fee: \$ _____	
	City, State & Zip	Total Fee: \$ <u>30.00</u>	
Current legal use (i.e. single family) <u>SF</u> Number of Residential Units _____			
If vacant, what was the previous use? _____			
Proposed Specific use: <u>SF</u>			
Is property part of a subdivision? _____ If yes, please name _____			
Project description: <u>AMENDMENT TO PERMIT # 09 0971 ELIMINATING PROPOSED EXTERIOR PORCH AND, INSTEAD, INCREASE SIZE OF PROPOSED SUNROOM ADDITION.</u>			
Contractor's name: <u>NACEY ORME</u>			
Address: <u>P.O. BOX 143 PEAKS ISLAND, ME 04108</u>			
City, State & Zip _____		Telephone: _____	
Who should we contact when the permit is ready: <u>RACHEL CONLEY</u>		Telephone: <u>207-746-5625</u>	
Mailing address: <u>26 STORUM ST. PEAKS ISLAND, ME. 04108</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Paul D. W. Date: 12.22.09

This is not a permit; you may not commence ANY work until the permit is issue

Rachel Conly
26 Sterling Street
Peaks Island, ME 04108

964
52-8746/2112

12.22 2009

Pay to the Order of CITY OF PORTLAND, ME
THIRTY TWO 00/100 \$ 30.00

Five County Credit Union Dollars

For: HAWES/HEW AMENDMENT
PAULS CTRY

⑆ 2 2 2 8 7 4 6 3 ⑆ 7 0 0 0 2 0 2 4 7 5 6 0 ⑆ 0 9 6 4

MP

L & L STRUCTURAL
ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

December 8, 2009

Rachel Conly
Rachel Conly Architectural Design
26 Sterling Street
Peaks Island, Maine 04108

Subject: Building Addition located at 16 Great Pond Road, Peaks Island, Maine

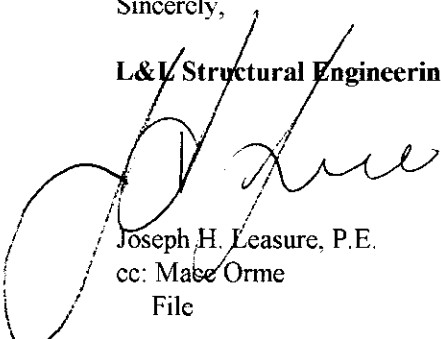
Dear Ms. Conly,

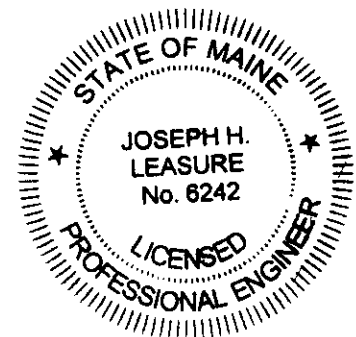
As per your request we have reviewed the structural framing on the drawings prepared by Rachel Conly Architectural Design dated 16th November, 2009 for the proposed living room/sunroom addition on the building located at 16 Great Pond Road on Peaks Island, Maine. The drawings included the structural modifications recommended by our office. Our analysis utilized the 2003 IRC International Residential Building Code adopted by Portland, Maine. In addition, our analysis considered the latest edition of the NDS National Design Specification for Wood Construction published by the National Forest Products Association. The proposed structural design meets or exceeds the code stipulated design requirements, is acceptable to support the anticipated structural loading, and is in general compliance with our structural design concept.

If you have any questions, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.


Joseph H. Leasure, P.E.
cc: Marc Orme
File



Previous
Permit

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0971	Date Applied For: 09/04/2009	CBL: 085 0024001
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Location of Construction: 16 GREAT POND RD, Peaks Island	Owner Name: HORN SUSAN & BEATRICE HAI	Owner Address: 312 WRIGHT CROSSING RD	Phone:
Business Name:	Contractor Name: Macey Orme	Contractor Address: P O Box 143 Peaks Island	Phone: (207) 408-7100
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - 1st floor additions - bedroom (5'8"x9'10"), sunroom (6'x13'9"), porch (10'x13'9") & entry (6'x4'8") & two dormers (6'6" & 15'5")	Proposed Project Description: 1st floor additions - bedroom (5'8"x9'10"), sunroom (6'x13'9"), porch (10'x13'9") & entry (6'x4'8") & two dormers (6'6" & 15'5")
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 09/08/2009
Note: Started reviewing proposed changes with Rachel Conley before 5/28/09 and before the superior court decision regarding 38 Torrington. Using section 14-425 for entry porch - 28 sf & projects 4'8" Using section 14-436(a) - 50% 1st floor footprint = 483.5 sf. Adding 167.5 sf which is 35% of allowable 50% increase.			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 09/24/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office. 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process. 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

previous permit

Applicant: Bee Harris; Susan Horn

Date: 9/8/09

Address: 16 Great Pond Rd, Pecks Island

C-B-L: 85-0-24/25

perm # 09-0971

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1922

Zone Location - IR-2

Interior or corner lot -

Proposed Use/Work - 5'8" x 9'10" bedroom addition, 6' x 13.9" sunroom addition, 10' x 13'4" porch addition, 6' x 4'8" entry addition & 2 dormers.

Savage Disposal -

Lot Street Frontage -

Front Yard - 25' min - 25.5' scaled

Rear Yard - 25' min - 22' scaled

Side Yard - 20' min - 60' on left

Projections -

Width of Lot -

Height - 35' max

Lot Area - 22,220 sq ft - 15,146 sq ft

Lot Coverage/Impervious Surface - 25% (- 3029 sq ft)

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection - S.W. corner of property in state land - building 11' x 11'

Flood Plains - panel 15 - Zone C

*entry porch encroaches 4'8" into side yard -
 OK under section 14-425
 - can't project over 6' - 4'8" OK
 - 50' footprint - 28' proposed
 - dormers - section 14-436(a) - adding 16765 sq ft
 - 35% of allowable 50% increase

30 x 26 = 780

8.5 x 4 = 34

11 x 7 = 77

9 x 3 = 27

OK 967 existing

3346 proposed

4313 garage

1701.6 sq ft

Rachel Conly Architectural Design

Tom Markley
Inspections Office
City of Portland, Maine

12.22.09

RE: Hailes/Horn Residence Peaks Island (AMENDMENT TO EXISTING PERMIT)

Hi Tom,

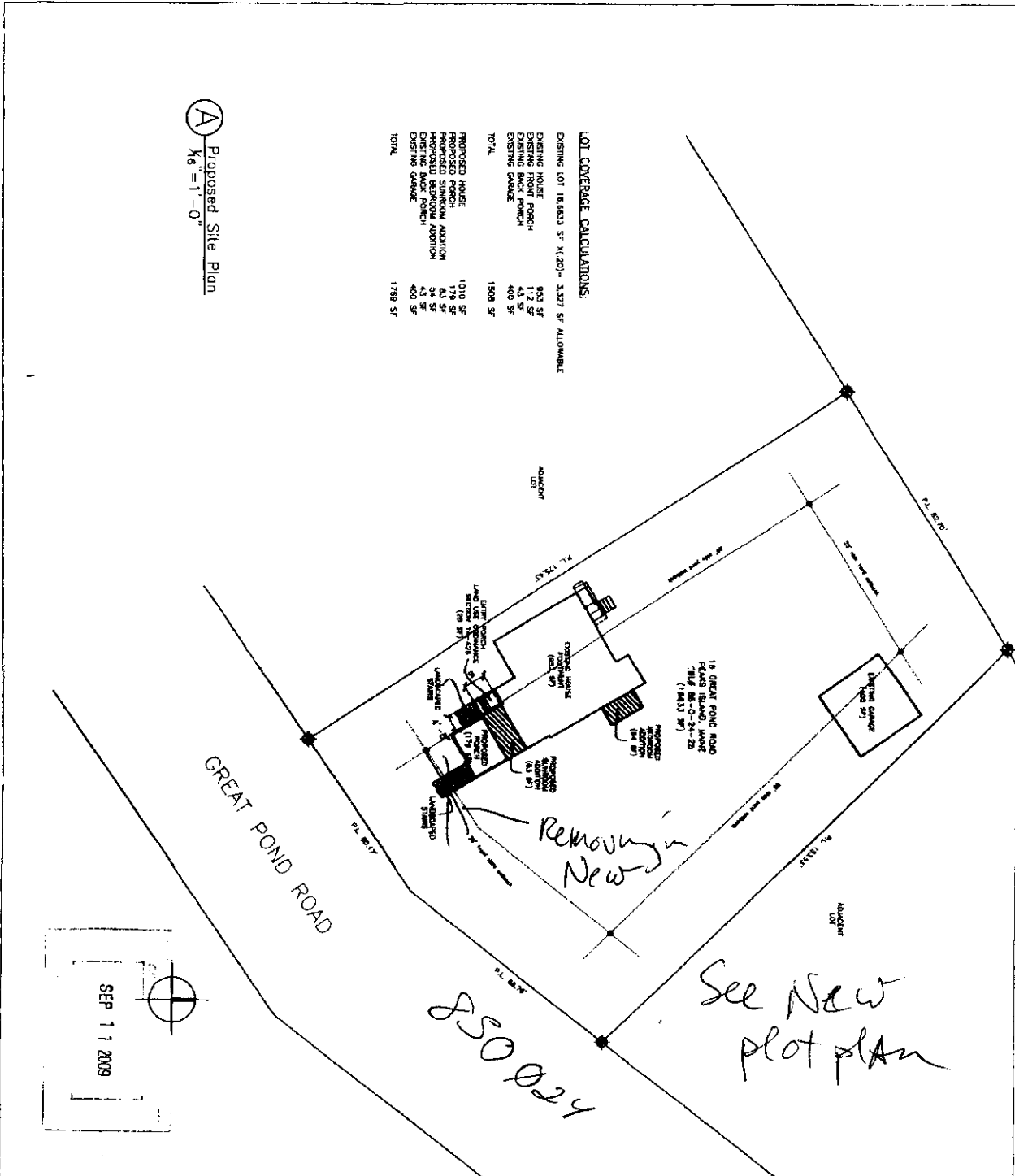
Please find enclosed some design and structural revisions which were made to the Hailes/Horn Residence on 16 Great Pond Road.

Essentially, the client has decided to forego the porch addition and, instead, make the sunroom addition larger. The footprint is actually smaller than what was originally proposed, so lot coverage is not an issue. In this package, I have included relevant floor plans, elevations and structural information. We hired a structural engineer, so his stamp and letter is also included. Please let me know if you need anything more.

Thank you and Happy Holidays,


Rachel

Previous permit



(A) Proposed Site Plan
K_s = 1'-0"

SEP 11 2009

Rachel Conly Architectural Design	Site Plan	PROJECT: Hallies/Horn Residence ADDRESS: 16 Great Pond Road Peaks Island, Maine 04108 DATE: 4.21.09 DRAWN BY: Rachel SCALE: K_s = 1'-0"	A1
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IT IS THE RESPONSIBILITY OF THE ARCHITECT TO DESIGN AND TO PROVIDE ALL FRAMING, PLUMBING AND LIGHTING TO BE BUILT IN ACCORDANCE WITH CURRENT CODES

Rachel Conly
Architectural Design

Site Plan

revised
PLOT PLAN

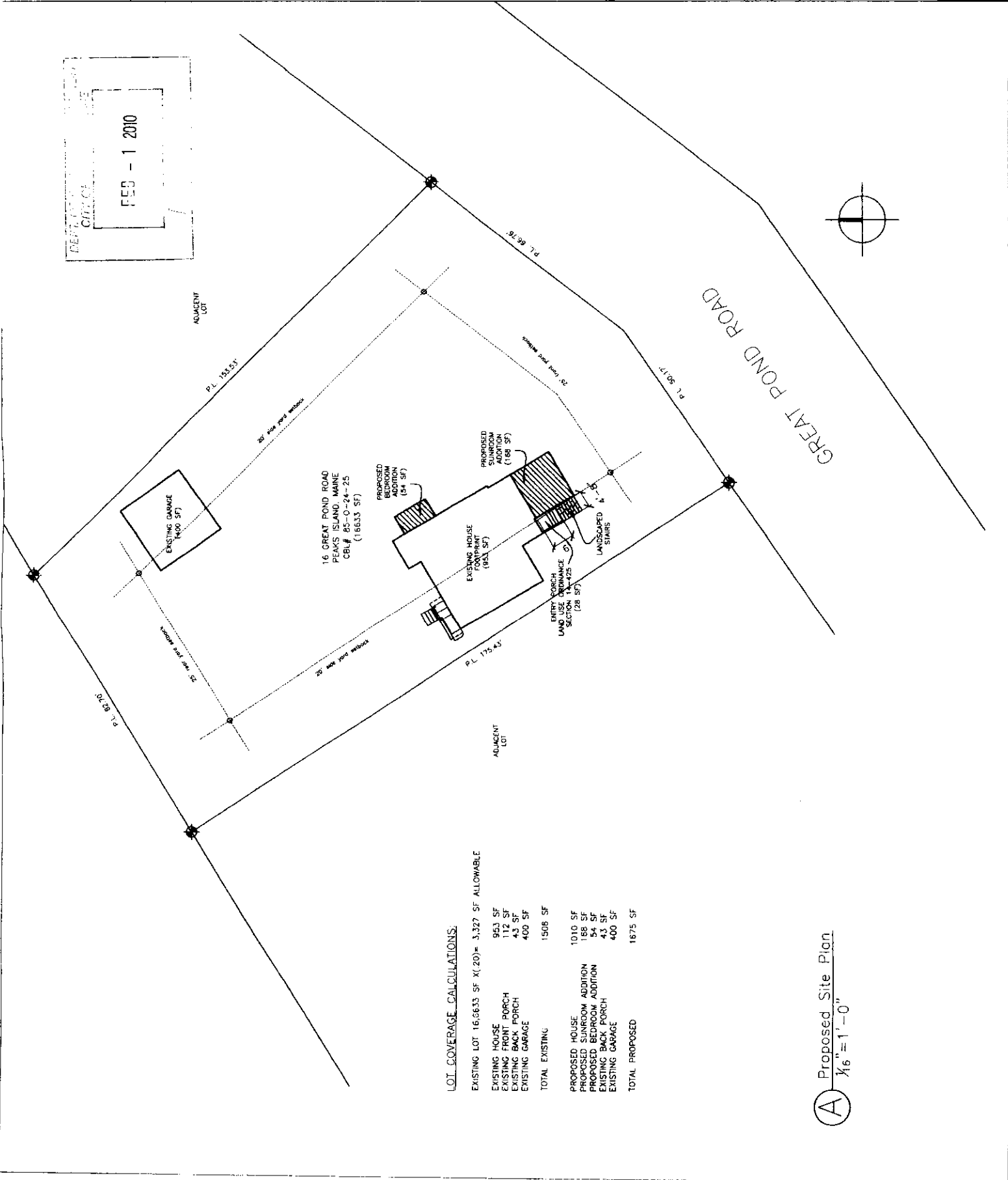
PROJECT
Hailes/Horn
Residence

16 Great Pond Road
Peaks Island, Maine
04108

DATE	4.21.09	REVISED	4.26.09
SCALE	1/8" = 1'-0"	PROJECT	1.3.10
NOTES	Rachel		

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL FRAMING, PLUMBING & LIGHTING BE BUILT IN ACCORDANCE WITH CURRENT CODES

A1



LOT COVERAGE CALCULATIONS:

EXISTING LOT 16,6633 SF X (.20) = 3,327 SF ALLOWABLE

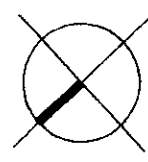
EXISTING HOUSE	953 SF
EXISTING FRONT PORCH	112 SF
EXISTING BACK PORCH	43 SF
EXISTING GARAGE	400 SF
TOTAL EXISTING	1508 SF

PROPOSED HOUSE	1010 SF
PROPOSED SUNROOM ADDITION	188 SF
PROPOSED BEDROOM ADDITION	54 SF
EXISTING BACK PORCH	43 SF
EXISTING GARAGE	400 SF
TOTAL PROPOSED	1675 SF

A Proposed Site Plan
1/8" = 1'-0"

[Handwritten signature]

Scale 1/2"



GREAT POND ROAD

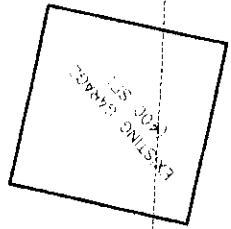
P.L. 66.76'

P.L. 50.17'

25' front yard setback

20' side yard setback

P.L. 153.53'



25' rear yard setback

20' side yard setback

P.L. 175.43'

ADJACENT LOT

16 GREAT POND ROAD
PEAKS ISLAND, MAINE
CBL# 85-0-24-25
(16633 SF)

PROPOSED
BEDROOM
ADDITION
(64 SF)

PROPOSED
SUNROOM
ADDITION
(168 SF)

EXISTING HOUSE
FOOTPRINT
(953 SF)

LANDSCAPED
STAIRS
4'-8"

ENTRY PORCH
OR
LANDSCAPED
SECTION 17.425
(28 SF)

RELATIONS
= 5,321 SF ALLOWABLE
53 SF

PROJECT

Rachel Conly
Architectural Design

Proposed First Floor

PROJECT
Hailes/Horn
Residence

16 Great Pond Road
Peaks Island, Maine
04108

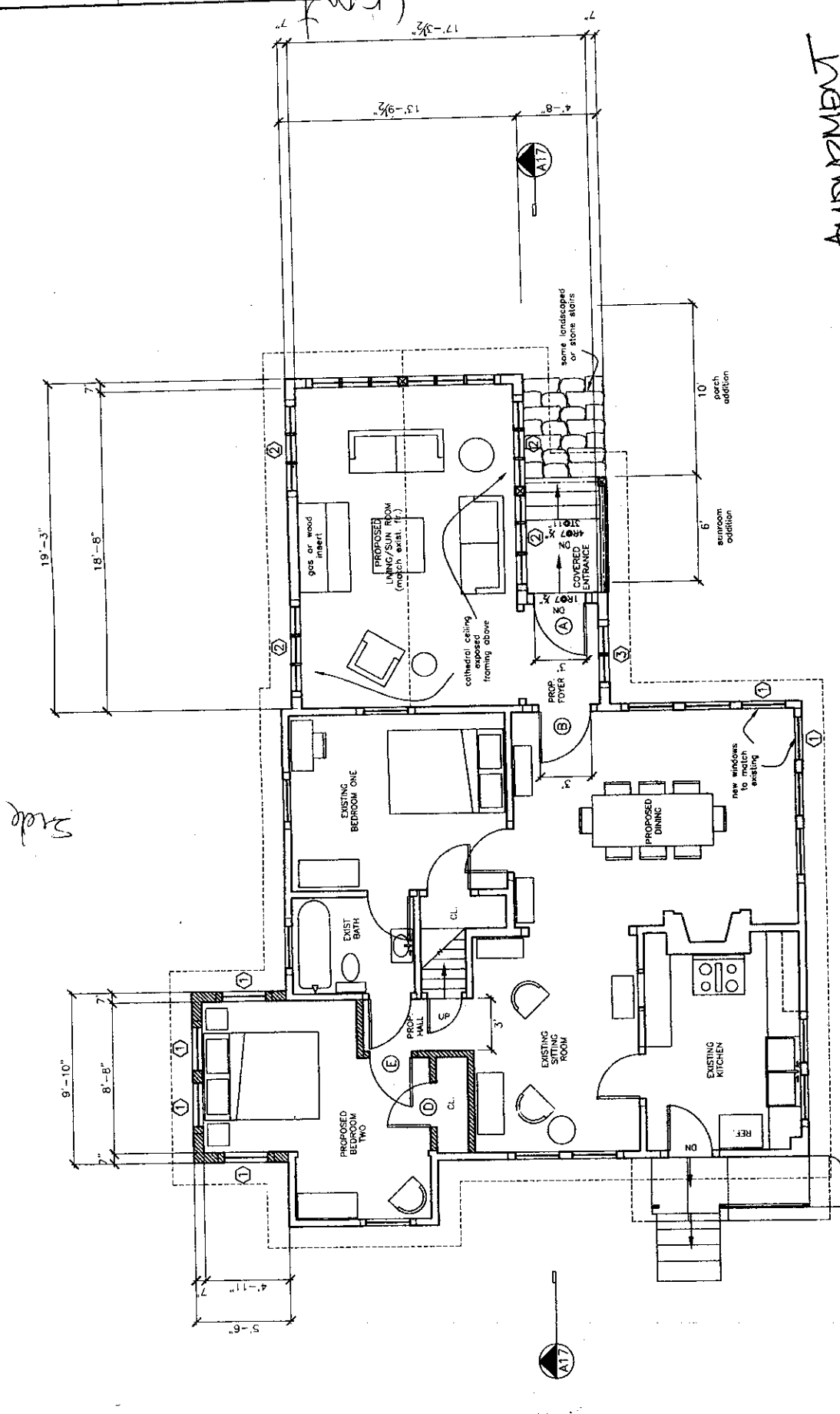
DATE	4.21.09	REVISED	8.26.09
SCALE	1/4" = 1'-0"	PROJECT	002204
NOTES	Rachel		

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL FRAMING, PLUMBING & LIGHTING BE BUILT IN ACCORDANCE WITH CURRENT CODES

A9

REVISER
NET FOR
JE

AMENDMENT
REVISION
TO EXISTING
PERMIT



EXIST. WALL
NEW WALL

Proposed First Floor Plan
1/4" = 1'-0"

Side

Side

REAR

Rachel Conly
Architectural Design

Proposed South
Elevation

PROJECT

Hailes/Horn
Residence

16 Great Pond Road
Peaks Island, Maine
04108

DATE 4.21.09

REVISED 8.26.09

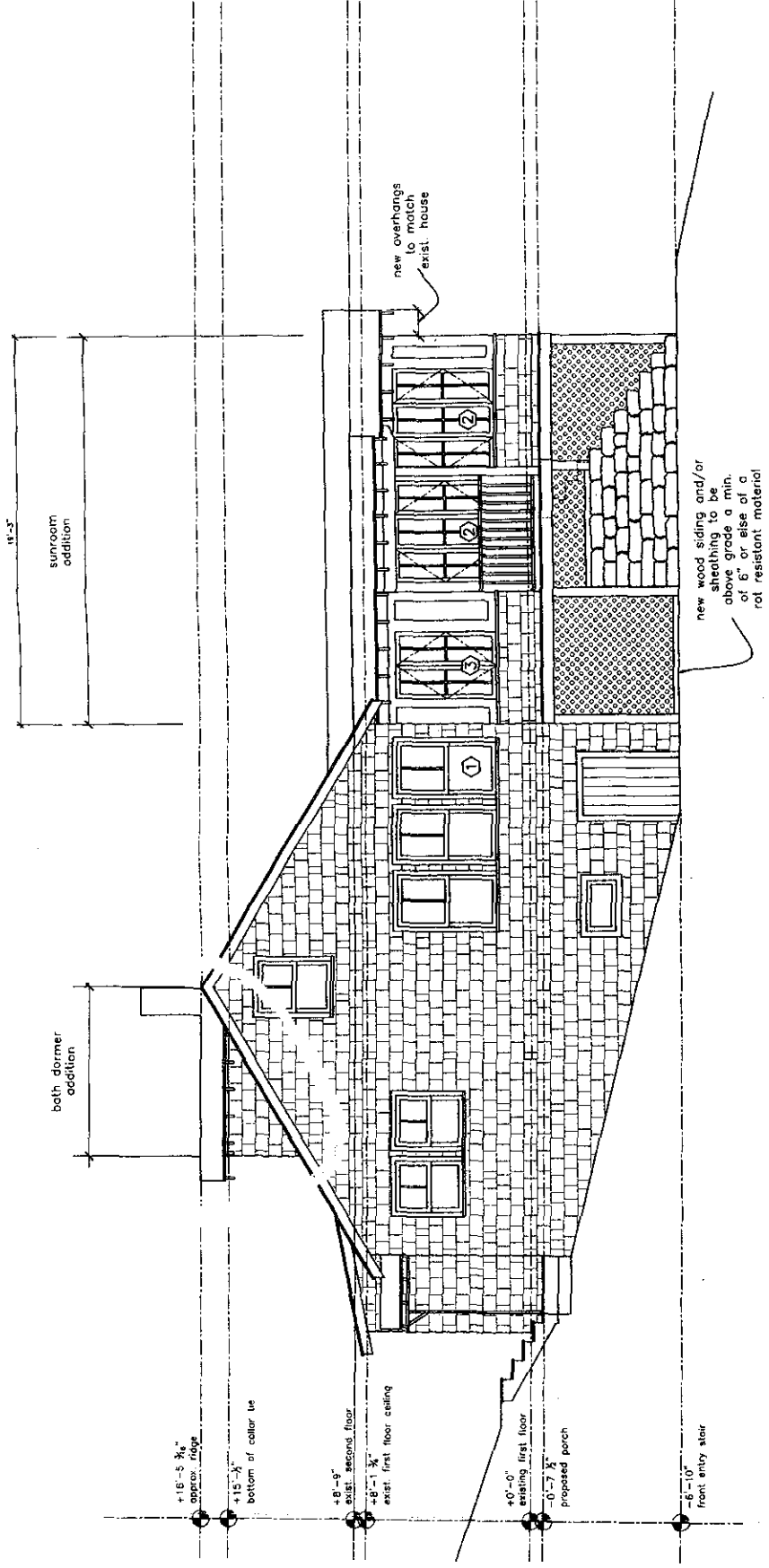
SCALE 1/4"=1'-0"

DRAWN BY Rachel

NOTES

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OF THE CONTRACTOR
TO ENSURE THAT ALL
FRAMING, PLUMBING
& LIGHTING BE BUILT
IN ACCORDANCE WITH
CURRENT CODES

A12



(A) Proposed South Elevation
1/4"=1'-0"

Rachel Conly
Architectural Design

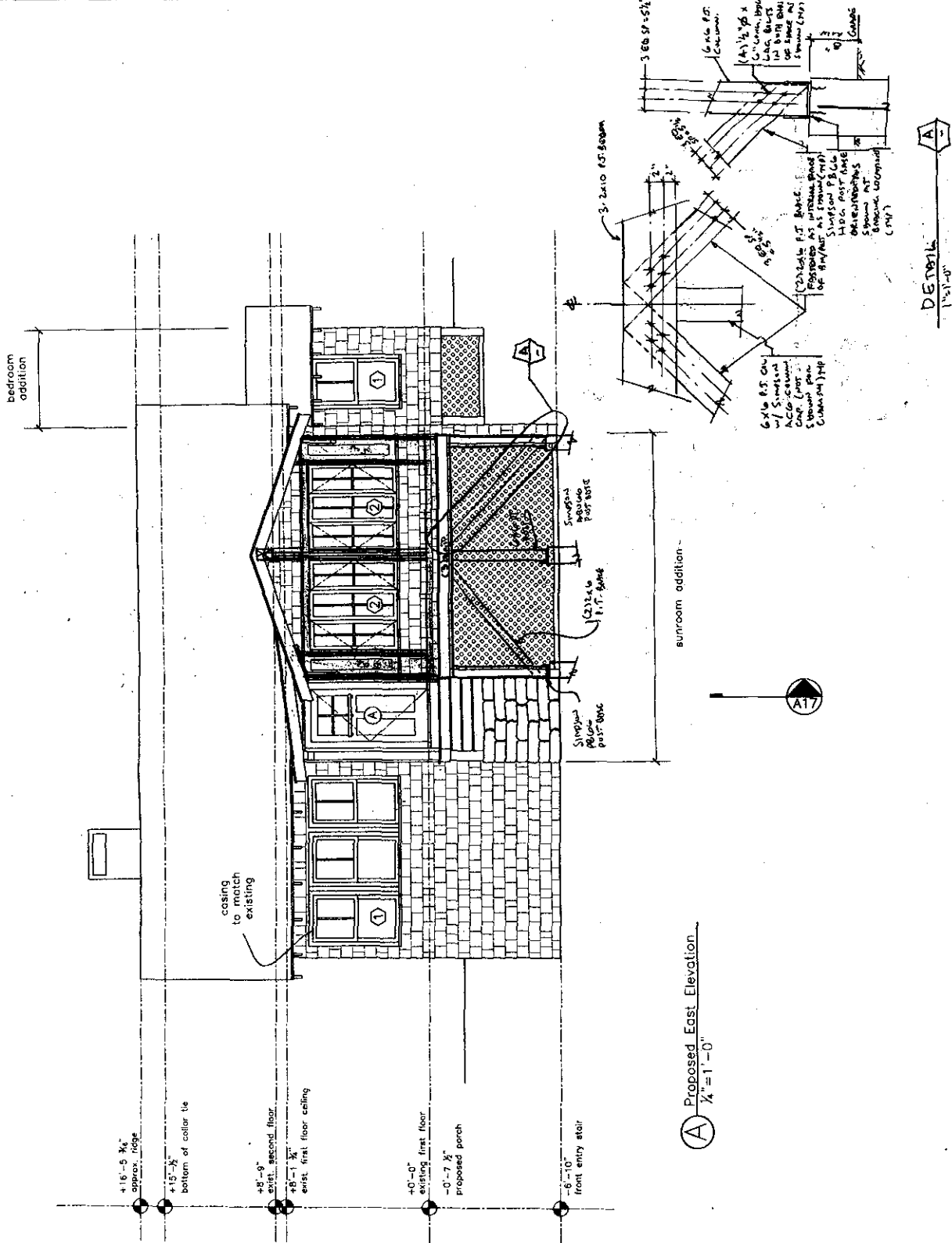
Proposed East
Elevation

PROJECT
Hailes/Horn
Residence
16 Great Pond Road
Peaks Island, Maine
04108

REVISED
DATE 4.21.09
BY R.C.
PROJECT NO. 09
SCALE 1/4" = 1'-0"
NOTES

IT IS THE RESPONSIBILITY
OF THE CONTRACTOR
TO ENSURE THAT ALL
FRAMING, PLUMBING
& LIGHTING BE BUILT
IN ACCORDANCE WITH
CURRENT CODES

A14



(A) Proposed East Elevation
1/4" = 1'-0"

DETAIL
1 1/2" = 1'-0"

Rachel Conly
Architectural Design

Proposed North
Elevation

PROJECT

Hailes/Horn
Residence
16 Great Pond Road
Peaks Island, Maine
04108

DATE 4.21.09

REVISED 8.26.09
10.22.09

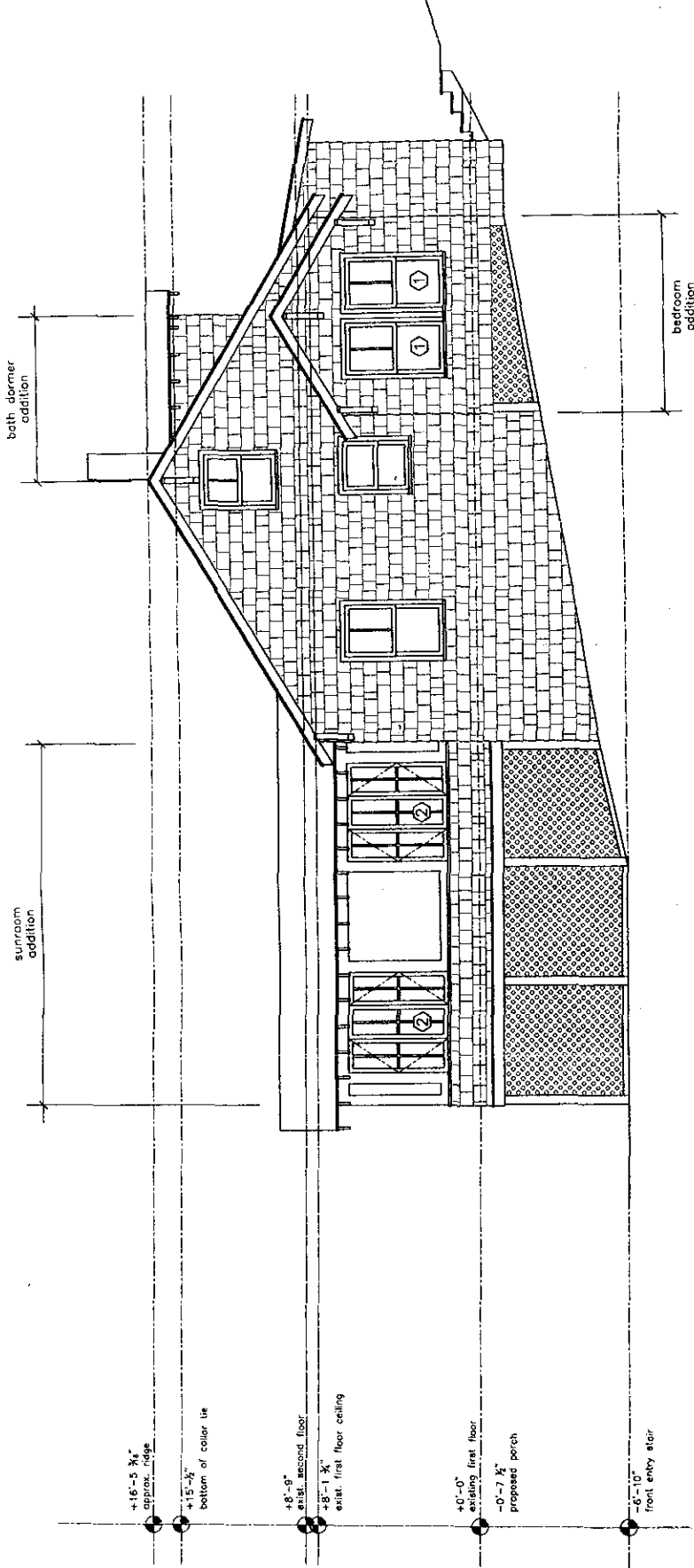
SCALE 1/4" = 1'-0"

DRAWN BY Rachel

NOTES

IT IS THE RESPONSIBILITY
OF THE CONTRACTOR
TO ENSURE THAT ALL
FRAMING, PLUMBING
& LIGHTING BE BUILT
IN ACCORDANCE WITH
CURRENT CODES

A15



A Proposed North Elevation
1/4" = 1'-0"

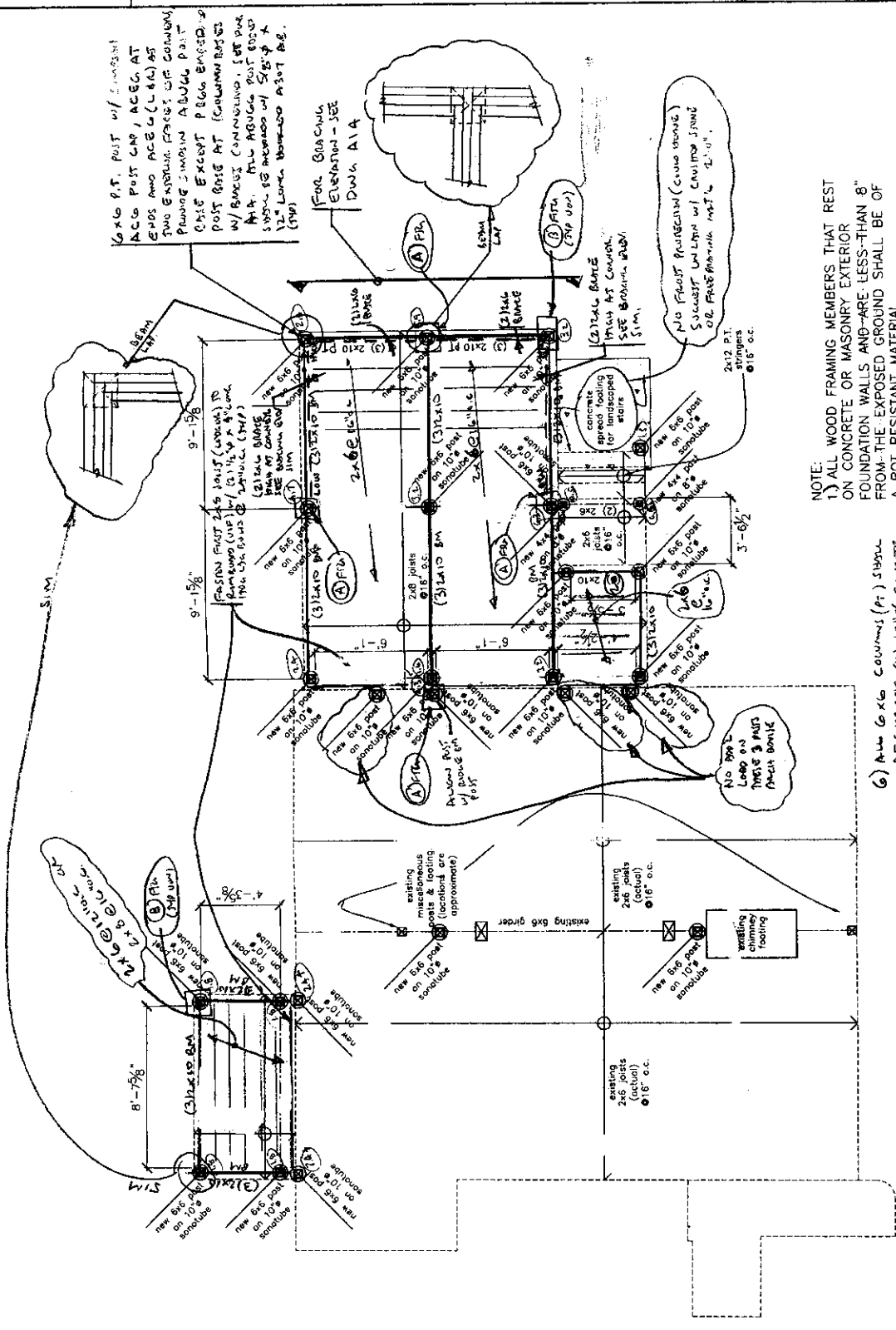
Foundation/
First Floor Framing

PROJECT
Hailes/Horn
Residence
16 Great Pond Road
Peaks Island, Maine
04108

DATE
REVISED 8.22.09
DRAWN BY 10.22.09
SCALE 1/4"=1'-0"
NOTES Rachel

IT IS THE RESPONSIBILITY
OF THE CONTRACTOR
TO ENSURE THAT ALL
FRAMING, PLUMBING
& LIGHTING BE BUILT
IN ACCORDANCE WITH
CURRENT CODES

SI



NOTE:
1) ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM THE EXPOSED GROUND SHALL BE OF A ROT RESISTANT MATERIAL.
2) ALL WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18" OR WOOD GIRDERS WHEN CLOSER THAN 12" TO THE EXPOSED GROUND, SHALL BE OF A ROT RESISTANT MATERIAL.
3) ALL SIMONS METAL CONNECTIONS SHALL BE ACQ (NOT PREVIOUSLY USED) PREVIOUSLY IN ACCORDANCE WITH AWPAC RECOMMENDATION WITH 0.40% OF TERMINAL SECTION HOLLOW END USE PREVIOUSLY IN ACCORDANCE WITH AWPAC RECOMMENDATION WITH 0.40% OF TERMINAL USE.

- 6) ALL 6x6 COLUMNS (PT) SHALL BE SURROUND ON 10" OF CONCRETE FILLED SOURCE WITH 1-#4 AT CENTRAL JOIST INTO BOTTOM OF PARTIAL. SEE PARTIAL TABLE BE 2.
- 7) ALL 1-9/16" x 10" THICK CONCRETE PTN OR 2-10" x 8 1/2" FTN WITH 3-#4 EACH WAY.
- 8) ALL 11x19" x 10" THICK CONCRETE FTN OR 1-1/2" x 8 1/2" FTN WITH 3-#4 EACH WAY.
- 9) ALL 12x16" x 10" THICK CONCRETE FTN OR 1-1/2" x 8 1/2" FTN WITH 3-#4 EACH WAY.
- 10) ALL 12x16" x 10" THICK CONCRETE FTN OR 1-1/2" x 8 1/2" FTN WITH 3-#4 EACH WAY.

(A) Proposed First Floor Framing/Foundation Plan
1/4"=1'-0"

6x6 P.T. POST w/ CONCRETE ACQ POST CAP, ACQ AT ENDS AND ACQ (L & R) AS TWO EXTERIOR WALLS OF COMMON PLUMBING EXPOSED ABOVE POST. ONE EXCEPT PEGS BORED AT POST BASE AT COLUMN BASES w/ BRASS CONDUITS. SEE PLAN. ALL ABOVE POST ENDS SHALL BE ACQ W/ 5/8" x 12 LONG BOLT AND 3/4" x 6 (PT).

FOR BRASSIC ELEVATION - SEE DWG A1A

NO FLOOR PROTECTION (CONCRETE) SHALL BE USED AT CENTRAL STAIRS. SEE BRASSIC DWG.

NO FLOOR PROTECTION (CONCRETE) SHALL BE USED AT CENTRAL STAIRS. SEE BRASSIC DWG.

ALL SIMONS METAL CONNECTIONS SHALL BE ACQ (NOT PREVIOUSLY USED) PREVIOUSLY IN ACCORDANCE WITH AWPAC RECOMMENDATION WITH 0.40% OF TERMINAL USE.

- 3) ALL SIMONS METAL CONNECTIONS SHALL BE ACQ (NOT PREVIOUSLY USED) PREVIOUSLY IN ACCORDANCE WITH AWPAC RECOMMENDATION WITH 0.40% OF TERMINAL USE.
- 4) ALL (3) 12x16x10 FTN SHALL BE DELETED FROM THE SYSTEM. EXTERIOR STAIRS SHALL LAP TO BOTTOM OF 6x6 BEAMS (TOP UP).
- 5) PLUMBING SHALL BE BUILT IN ACCORDANCE WITH CURRENT CODES.

Rachel Conly
Architectural Design

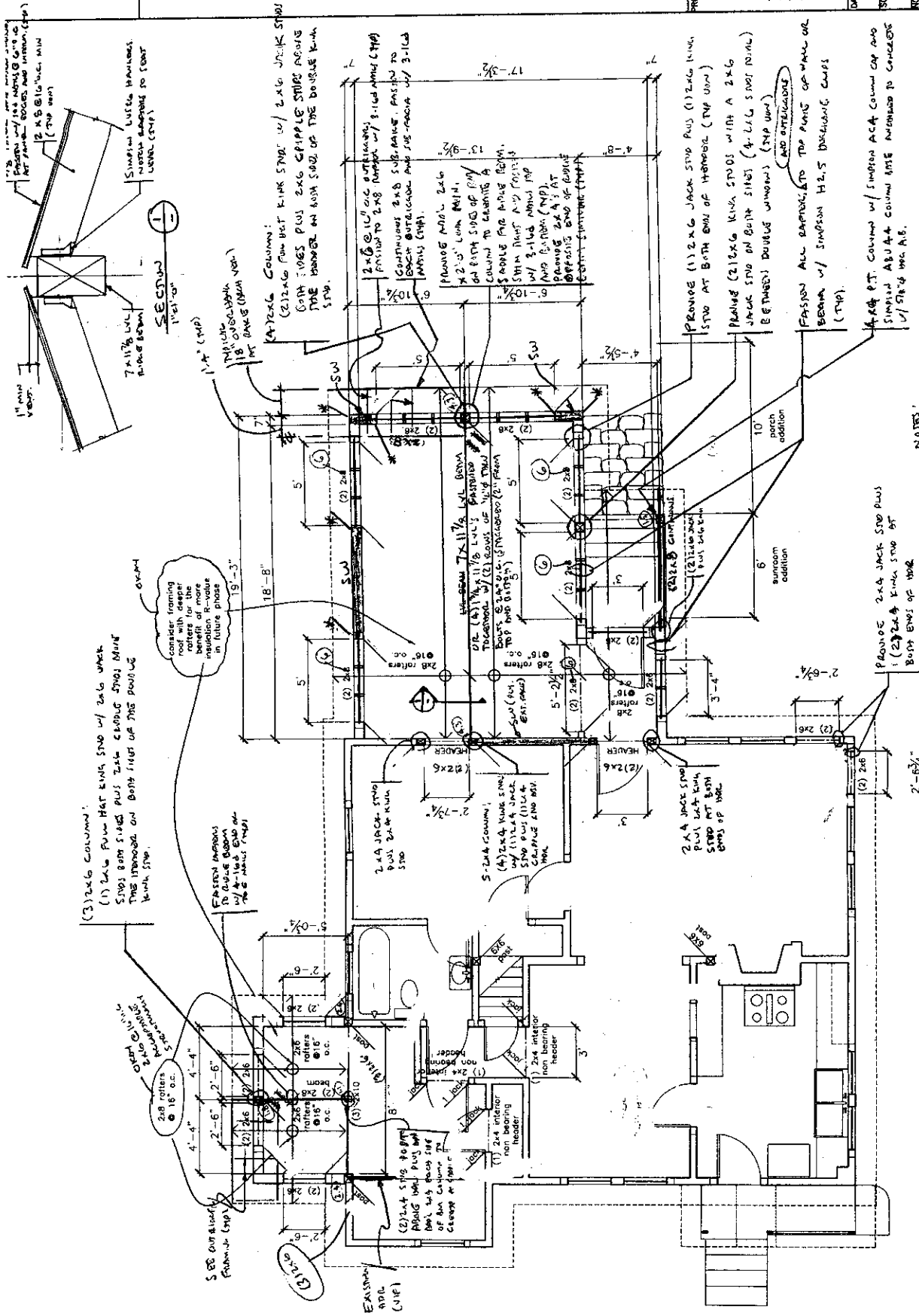
Second Floor
Framing

Hailes/Horn
Residence
16 Great Pond Road
Peaks Island, Maine
04108

DATE	REVISED
	5.26.09
SCALE	10.22.09
$\frac{1}{4}"=1'-0"$	DRAWN BY
	Rachel

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL FRAMING, PLUMBING & LIGHTING BE BUILT IN ACCORDANCE WITH CURRENT CODES

S2



NOTES:

- 1) S.W. JOISTS @ 16" O.C. EXTENDING WITHIN 2'x6 SCANT BRACING AT ALL INTERIOR PANEL EDGES. FASTEN 1/2" THICK 2x4 BRACES EXTENDING FROM TO STUDS, BEAMS AND TOP/ROOF PLATES W/ 1x4 MIN. @ 3" O.C. AT PANEL EDGES AND 6" O.C. INTERIOR. (TR)
- 2) * INTERIOR JOISTS TO BE 2x6 @ 19" MINIMUM. ADD JOISTS TO THE FIRST FLOOR ROOM (AT THE END) ON THE DOUBLE FLOOR JOIST (AT THE SIDE WALL) W/ 2x6 SIMPLY C/S JOIST STEPS AT 8" STEPS OF ABOUT 1" (16" PER JOIST) LEAVE THE FLOOR JOIST A MINIMUM OF 9" (AT FLOOR JOIST) AND 7" (AT JOIST) (TR)

(A) Proposed Second Floor/Roof Framing Plan
 $\frac{1}{4}"=1'-0"$