

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0994	CEB 2-4-2001	CBL: 085 M013001
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<b>Location of Construction:</b> 39 Alderbrook Rd	<b>Owner Name:</b> Gill Carolyn S &	<b>Owner Address:</b> 114 River Rd	<b>Phone:</b> (978) 978-6201 978-887-5422
<b>Business Name:</b> n/a	<b>Contractor Name:</b> no contractor/self	<b>Contractor Address:</b> n/a n/a	<b>Phone:</b>
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Single Family	<b>Zone:</b> LR-1

<b>Past Use:</b> Vacant	<b>Proposed Use:</b> Residential / New single Family 2500 sq. ft. Cape Style Home.	<b>Permit Fee:</b> \$984.00	<b>Cost of Work:</b> \$160,000.00	<b>CEO District:</b> 3
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<b>Proposed Project Description:</b> Build New 2500 sq. ft. Single Family	<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: R3 Type: SB BC Boca 99
	Signature:	Signature: DC 8/21

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 08/13/2001	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland <i>within - other 75' from HWY</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 15 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>#2001-0187</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK with conditions 9/19/01</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

# All Purpose Building Permit Application

9001 0187

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

39

Location/Address of Construction: Alder Brook Road (near Sand Piper) PEAKS ISLAND, ME

Total Square Footage of Proposed Structure 2500 SF Includes BASEMENT Square Footage of Lot 106,250 SF

Tax Assessor's Chart, Block & Lot Number  
Chart# 85 Block# M Lot# 13  
Owner: CAROLYN + JEFFREY GILL  
Telephone#: 978-887-5422  
978-807-6207

Lessee/Buyer's Name (If Applicable) N/A  
Owner's/Purchaser/Lessee Address: 114 River Rd, Topstfield, MA 01983  
Cost Of Work: \$160,000  
Site: \$300  
Bldg: \$30 initial  
Fee: \$954 + \$11K  
\$1284

Current use: VACANT LAND  
If the location is currently vacant, what was prior use:  
Approximately how long has it been vacant: 50+ years (to our knowledge it has never been built upon)  
Proposed use: Single Family Home  
Project description: Cape Style House on Full BASEMENT, ELJEN IN-DRAIN SEPTIC SYSTEM & GRAVEL PARKING FOR TWO CARS

Contractor's Name, Address & Telephone: CAROLYN + Jeffrey Gill 978-887-5422  
114 River Rd Topstfield MA 01983

Applicants Name, Address & Telephone: SAME AS CONTRACTOR + OWNER

Who should we contact when the permit is ready: CAROLYN + JEFFREY GILL  
Telephone: 978-887-5422 xx call  
Call them mail

If you would like the permit mailed, what mailing address should we use:  
114 River Road xx mail  
Topstfield, MA 01983  
DEPT. OF PERMITS  
AUG 13 2001  
Rec'd By: Corp 8/13/01

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- ✓ • Scale and North arrow; Zoning District & Setbacks ✓
- ✓ • First Floor sill elevation ( based on mean sea level datum); ✓
- ✓ • Location and dimensions of parking areas and driveways; ✓
- ✓ • Location and size of both existing utilities in the street and the proposed utilities serving the building; ✓
- ✓ • Location of areas on the site that will be used to dispose of surface water. ✓
- ✓ • Existing and proposed grade contours ✓

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- ✓ • Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - ✓ • Floor Plans & Elevations
  - ✓ • Window and door schedules
  - ✓ • Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by his permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

*Carolyn S. Beeir*  
*Jeffrey H. Beeir*

Date:

*7/24/01*  
*July 27, 2001*

**BUILDING PERMIT REPORT**

DATE: 24 August 2001 ADDRESS: 39 Alderbrook Road CBL: 085-M-013  
 REASON FOR PERMIT: To Construct a single family dwelling  
 BUILDING OWNER: Carolyn S. Gill  
 PERMIT APPLICANT: \_\_\_\_\_ /CONTRACTOR SAO  
 USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$160,000 PERMIT FEES: \$984.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*2, \*4, \*9, \*11, \*13, \*16, \*20, \*27, \*28, \*29, \*30, \*31, \*33, \*34, \*35, \*36, #32

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- \*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- \*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- \*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- \*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- \*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- \*16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

8/13/01

- \*20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- \*26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- \*27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- \*28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- \*29. All requirements must be met before a final Certificate of Occupancy is issued.
- \*30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- \*31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All conditions on the attached side PLAN Development sheet shall be met.*
- \*33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- \*34. Bridging shall comply with Section 2305.16.
- \*35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- \*36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

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*[Signature]*  
 P. Stuart Hodges, Building Inspector  
 Cc: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/100

\*\* This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

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\*\*\*\* ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\* CERTIFICATE OF OCCUPANCY FEE \$50.00

BUILDING PERMIT REPORT

DATE: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ CBL: \_\_\_\_\_

REASON FOR PERMIT: \_\_\_\_\_

BUILDING OWNER: \_\_\_\_\_

PERMIT APPLICANT: \_\_\_\_\_ /CONTRACTOR \_\_\_\_\_

USE GROUP: \_\_\_\_\_ CONSTRUCTION TYPE: \_\_\_\_\_ CONSTRUCTION COST: \_\_\_\_\_ PERMIT FEES: \_\_\_\_\_

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29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements.
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

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P. Samuel Hoffses, Building Inspector  
 Cc: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/00

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

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**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

**CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$160,000 Plan Review # \_\_\_\_\_

Fee: \$984.00 Date: 24/AUGUST/01

Building Location: 39 Alderbrook Road CBL: 085-M-013

Building Description: Single Family dwelling

Reviewed By: S. Hoffse

Use or Occupancy: R-3 Type of Construction: 5-B

Numerals indicated in parenthesis are applicable code sections of the 1999 Edition of the BOCA National Building Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections with due regard for the amount and type of detailed information which is typically found on construction documents for one and two family dwellings. It does not reference all code provisions, which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgment in evaluating construction documents for code compliance.

\*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2.	Before placing concrete for foundation you shall call this office of a setback inspection (have all lot lines clearly marked)	111.0
3.	Foundation/anchor shall comply with section 2305.17	2305.17
4.	Chimneys and vents shall comply with NFPA 211	NFPA 211
5.	Guardrails and handrails shall comply with sections 1021.0 & 1022.0	1021.0 1022.0
6.	STAIR CONSTRUCTION shall comply with section 1014.0	1014.0
7.	Every sleeping room shall have one egress or rescue window -	1010.4
8.	Smoke detectors shall comply with section 920.3.2	920.3.2
9.	Ventilation and access to attic and crawl space shall comply with sections 1210.0 & 1211.0	1210.0 1211.0
10.	Fasten of bldg. elements shall comply with Table 2305.2	Table 2305.2
11.	Ventilation of spaces shall comply with Section Chapter M-16 BOCA/mech. Secs. 1206/1209.4	1206.0 1209.0

REV: PSH 6/16/01





## Foundations (Chapter 18)

### Wood Foundation (1808)

- ~~NA~~ Design
- ~~NA~~ Installation

### Footings (1807.0)

- ~~X~~ Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- ~~X~~ Insulated footing provided
- ~~X~~ Soil bearing value (table 1804.3)
- ~~X~~ Footing width
- ~~X~~ Concrete footing (1810.0) .3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Foundation Walls

- ~~X~~ Design (1812.1)
- ~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~X~~ Water proofing and damp proofing Section 1813
- ~~X~~ Sill plate (2305.17)
- ~~SQ~~ Anchorage bolting in concrete (2305.17)
- ~~X~~ Columns (1912)
- ~~SQ~~ Crawl space (1210.2) Ventilation
- ~~SQ~~ Crawl opening size (1210.2.1)
- ~~SQ~~ Access to crawl and attic space ( 1211.0 )
- \_\_\_\_\_

### Floors (Chapter 16-23)

- ~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
- ~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
- ~~X~~ Grade
- ~~X~~ Spacing
- ~~X~~ Span
- ~~X~~ Girder 4" bearing 2305 *2 HRS.*

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SR~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- \_\_\_\_\_ Floor trusses (AFPANDS Chapter 35)
- \_\_\_\_\_ Draft stopping (721.7)
- \_\_\_\_\_ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- X Roof rafters - Design (2305.15) spans
- X Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- na Roof trusses (2313.3.1)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- SA Approved materials (1404.1)
- SA Performance requirement (1505)
- SA Fire classification (1506)
- SA Material and installation requirements (1507)
- | Roof structures (1510.0)
- | Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

- \_\_\_\_\_ Masonry (1206.0)
- \_\_\_\_\_ Factory - built (1205.0)
- \_\_\_\_\_ Masonry fireplaces (1404)
- \_\_\_\_\_ Factory - built fireplace (1403)
- SA NFPA 211

**Mechanical  
1993 BOCA Mechanical Code**

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

State Plumbing Code

Public Water

Private Sewer

Page 5 HHE 200 attached.

### Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSE</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>Y</u>
Seismic Zone	<u>C</u>	<u>K</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>
Exterior balconies	<u>60 PSF</u>	<u>X</u>
Decks	<u>42 PSF</u>	<u>X</u>
Guardrails & Handrails	<u>200 Live Load</u>	<u>X</u>

### Glazing (Chapter 24)

<u>59</u>	Labeling (2403.1)
<u> </u>	Louvered window or jalousies (2403.5)
<u> </u>	Human impact loads (2406.0)
<u> </u>	Specific hazardous locations (2406.2)
<u> </u>	Sloped glazing and skylights (2405)
<u> </u>	Safety glazing (2406.0)

### Private Garages (Chapter 4)

<u>NA</u>	General (407)
<u> </u>	Beneath rooms (407.3)
<u> </u>	Attached to rooms (407.4)
<u> </u>	Door sills (407.5)
<u> </u>	Means of egress (407.8)
<u> </u>	Floor surface (407.9)

**Egress (Chapter 10)**

- X One exit from dwelling unit (1010.2)
  - SA Sleeping room window (1010.4)
  - X EXIT DOOR (1017.3) 32" W 80" H
  - SA Landings (1014.3.2) stairway
  - NO Ramp slope (1016.0)
  - SA Stairways (1014.3) 36" W
  - SA Treads (1014.6) 10" min.
  - SA Riser (1014.6) 7 3/4" max.
  - SA Solid riser (1014.6.1)
  - NO Winders (1014.6.3)
  - NO Spiral and Circular (1014.6.4)
  - SA Handrails (1022.2.2.) Ht.
  - SA Handrail grip size (1022.2.4) 1 1/4" to 2"
  - SA Guards (1012.0) 36" min.
- \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Smoke Detectors (920.3.2)**

- SR Location and interconnection
- SR Power source

**Dwelling Unit Separation**

Table 602

*W/A*

**CITY OF PORTLAND, ME**  
**BOCA 1999 Plan Review Record**  
**One and Two Family Dwelling**

Valuation: \_\_\_\_\_ Plan Review # \_\_\_\_\_

Fee: \_\_\_\_\_ Date: \_\_\_\_\_

Building Location: \_\_\_\_\_ CBL: \_\_\_\_\_

Building Description: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Use or Occupancy: \_\_\_\_\_ Type of Construction: \_\_\_\_\_

Numerals indicated in parenthesis are applicable code sections of the 1999 Edition of the BOCA National Building Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections with due regard for the amount and type of detailed information which is typically found on construction documents for one and two family dwellings. It does not reference all code provisions, which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgment in evaluating construction documents for code compliance.

\*NR: Not Required      NA: Not Applicable      SR: See Report      X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
②	Roof load Require 42 PSF	1607.0
③	Stairs Geometry	1014.0
④	Before Placing Concrete Lot Lines Clearly Marked 24 hr notice for inspection	
⑤	Foundation Slab on Frost Wall	
⑥	No fireplace	
⑦	? Heating System	

REV: PSH 6/16/01





**Foundations (Chapter 18)**

**Wood Foundation (1808)**

- \_\_\_\_\_ Design
- \_\_\_\_\_ Installation

**Footings (1807.0)**

- \_\_\_\_\_ Depth below (outside) grade 4' minimum;  
but below frost line except for insulated footings.
- \_\_\_\_\_ Insulated footing provided
- \_\_\_\_\_ Soil bearing value (table 1804.3)
- \_\_\_\_\_ Footing width
- \_\_\_\_\_ Concrete footing (1810.0) .3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Foundation Walls**

- \_\_\_\_\_ Design (1812.1)
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**Floors (Chapter 16-23)**

- \_\_\_\_\_ Joists - Non sleeping area LL40PSF (Table - 1606)
- \_\_\_\_\_ Joists - Sleeping area LL30PSF (Table - 1606)
- \_\_\_\_\_ Grade
- \_\_\_\_\_ Spacing
- \_\_\_\_\_ Span
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### Floors (contd.)

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### Wall Construction (Chapter 2300)

- \_\_\_\_\_ Design (1609) wind loads
- \_\_\_\_\_ Load requirements
- \_\_\_\_\_ Grade
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- \_\_\_\_\_
- \_\_\_\_\_

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- \_\_\_\_\_ Approved materials (1404.1)
- \_\_\_\_\_ Performance requirement (1505)
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BOCA Mechanical/1993**

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- \_\_\_\_\_ Factory - built (1205.0)
- \_\_\_\_\_ Masonry fireplaces (1404)
- \_\_\_\_\_ Factory - built fireplace (1403)
- \_\_\_\_\_ NFPA 211

**Mechanical  
1993 BOCA Mechanical Code**

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**State Plumbing Code**

### Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	_____
Floor live load non sleeping	<u>40 PSE</u>	_____
Roof live load	<u>42 PSF</u>	_____
Seismic Zone	<u>C</u>	_____
Weathering area	<u>S</u>	_____
Frost line depth	<u>4' MIN</u>	_____
Exterior balconies	<u>60 PSF</u>	_____
Decks	<u>42 PSF</u>	_____
Guardrails & Handrails	<u>200 Live Load</u>	_____

### Glazing (Chapter 24)

- \_\_\_\_\_ Labeling (2403.1)
- \_\_\_\_\_ Louvered window or jalousies (2403.5)
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- \_\_\_\_\_ Handrails (1022.2.2.) Ht.
- \_\_\_\_\_ Handrail grip size (1022.2.4) 1 1/4" to 2"
- \_\_\_\_\_ Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Smoke Detectors (920.3.2)**

- \_\_\_\_\_ Location and interconnection
- \_\_\_\_\_ Power source

**Dwelling Unit Separation  
Table 602**

Applicant: Carolyn S. Gill

Date: 9/10/01

Address: 39 Alderbrook Rd

C-B-L: 085-M-013

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - IR-1 Zone

Interior or corner lot -

Proposed Use/Work - construct 30' x 34' single family dwelling

Sewage Disposal - private HAS HHE-200

Lot Street Frontage - 100' req - 200'+ shown

check

→ Front Yard - 30' req - 30' exactly is shown

Rear Yard - 30' req - over 200' shown

Side Yard - 20' req - 20' & 102' shown

Projections - big decks around 1/2 the bldg

Width of Lot - 100' req - 200'+ shown

~~Height~~ Height - 35' MAX - 28.5' measured to the lowest grade shown

Lot Area - 106,477<sup>#</sup> shown - 60,000<sup>#</sup> min with no water

Lot Coverage/ Impervious Surface - 20%

Area per Family - 60,000<sup>#</sup>

Off-street Parking - 2 shown in driveway

Loading Bays - N/A

Site Plan - minor/modified # 2001-0187

Shoreland Zoning/ Stream Protection - Within shoreland - but over 75' from HWM.

Flood Plains - Parcel 15 - Zone C

per owner 9/10/01 - There are no grade changes

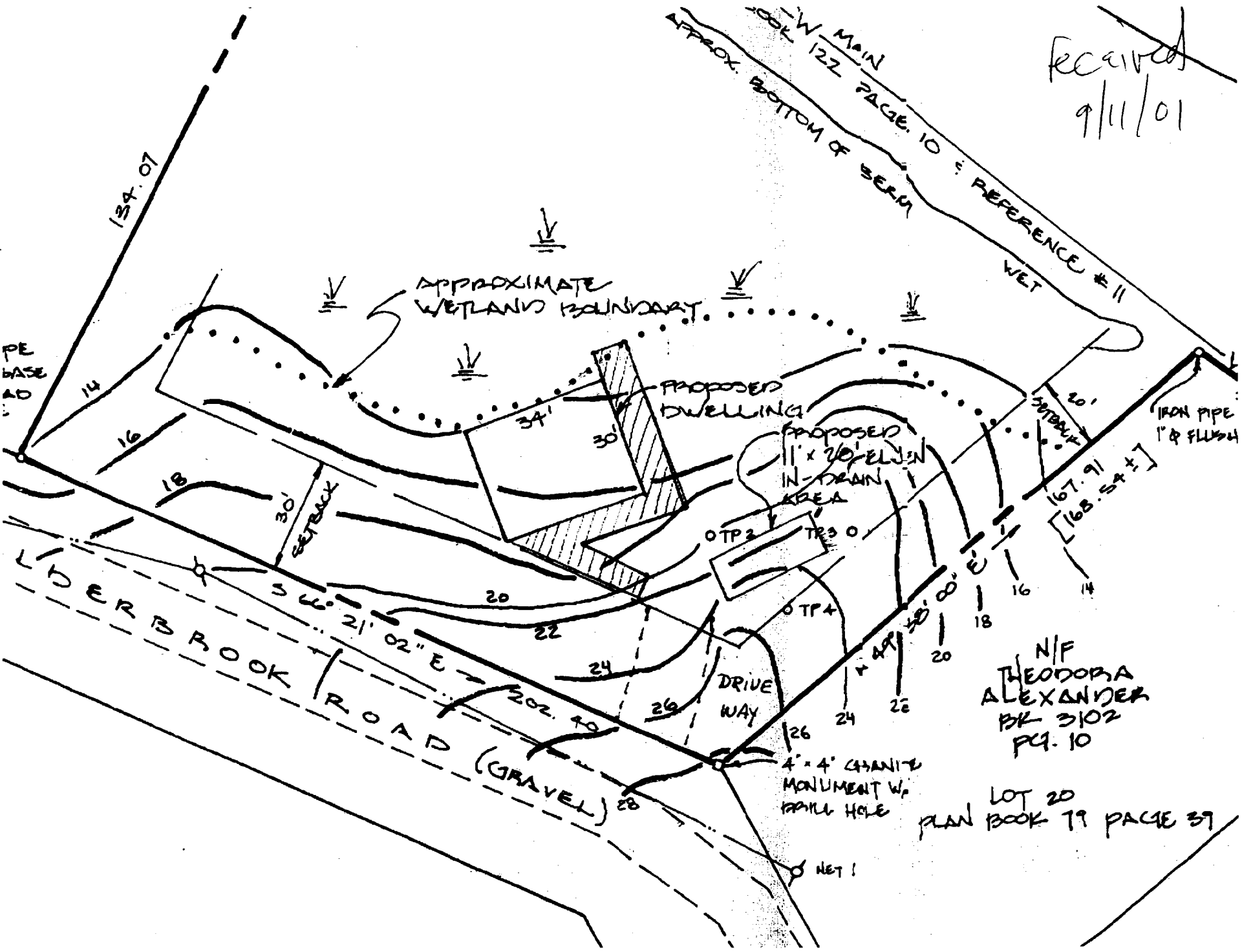
Received  
9/11/01

-W MAIN  
BOOK 122 PAGE 10 = REFERENCE # 11  
APPROX. BOTTOM OF BERM  
WET

Sep. 11 2001 05:50AM P2

PHONE NO. : 9788871475

FROM : JEFF AND CAROLYN GILL



N/F  
THEODORA  
ALEXANDER  
PK 3102  
PG. 10

LOT 20  
PLAN BOOK 79 PAGE 37

---

**FACSIMILE TRANSMITTAL SHEET**

---

TO:	Marg Smucko	FROM:	Carolyn Shilling Gill		
FAX NUMBER:	207-874-8716	DATE:	9/11/01	NO. OF PAGES	2
PHONE NUMBER:	207-874-8695	SENDER'S PHONE NUMBER:	978/462-1589 x 11		
RE:	Set back and deck boundaries	SENDER'S FAX NUMBER:	978/462-1864		

Dear Marg,

Attached please find a plot plan that shows the location of the deck. As you can see we have done everything we can to leave the wetlands as they are. We are tree huggers and we plan to leave as many trees and the wetland intact as is humanly possible. That is what has drawn us to this land.

The deck is specifically designed to fit into the area that is not invasive of the setbacks from the road or the neighbors or the wetlands, as I hope you can appreciate. My mother-in-law is in a wheel chair and so we have designed a wheel chair ramp that goes directly from the deck to the two gravel parking spaces.

We have specifically designed this house to be as "green" as possible, by respecting the land and we plan to use building materials from renewable sources that have been prepared utilizing reduced waste methodology.

Please give me a call at 978-807-6207. I was taking my 13 year-old son to the doctor when you called yesterday at 4:55 pm.

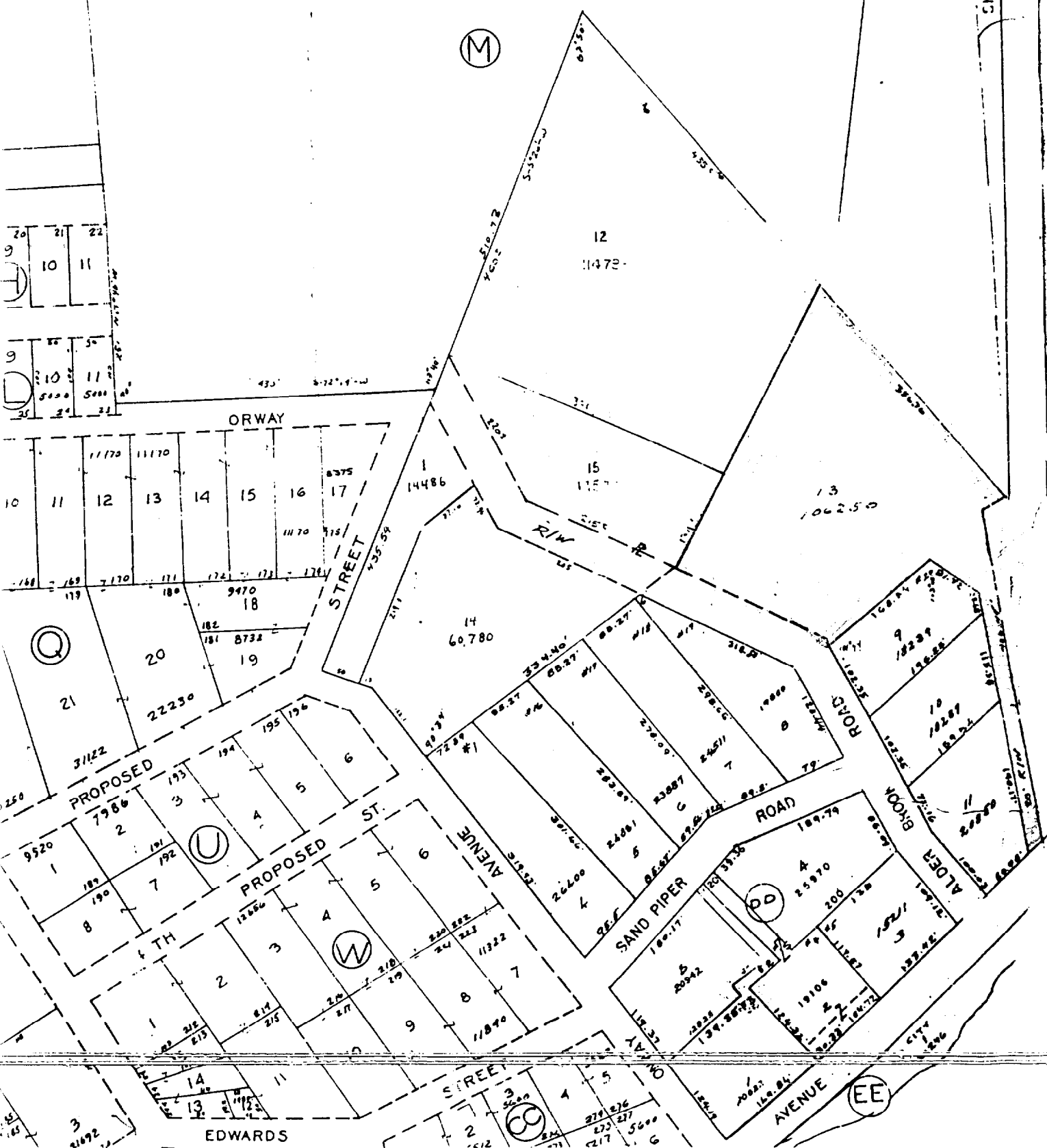
Carolyn



CITY  
10-3  
906,002

CHEET 86-C

(M)



ORWAY

STREET

R/W

ROAD

ROAD

ALDEN  
BROOK

PROPOSED  
7986

PROPOSED

AVENUE

SAND PIPER

ROAD

EDWARDS

STREET

AVENUE

(M)

(Q)

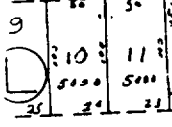
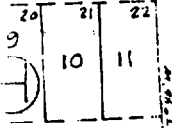
(U)

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(CC)



**Warranty Deed**

(Maine Statutory Short Form)

**Howard U. Heller and Betty D. Heller** of Peaks Island, Maine, for consideration paid, grant to **Carolyn S. Gill and Jeffrey H. Gill** as Joint Tenants, with a mailing address of 114 River Road, Topsfield, Massachusetts 01983 with WARRANTY COVENANTS, the following described real property situated at **Alderbrook Road, Peaks Island, Portland, Cumberland County, Maine**

MAINE REAL ESTATE TAX PAID


A certain lot or parcel of land with the buildings thereon, situated in said Portland, and being more particularly described on Exhibit A attached hereto and made a part hereof.

Meaning and intending to convey the same premises described in a deed from Casco Bay Island Development Association, dated June 12, 1981, and recorded in the Cumberland County Registry of Deeds in Book 4915, Page 299.

Witness our hands this 17th day of April, 2001.

\_\_\_\_\_  
Witness to all

  
\_\_\_\_\_  
Howard U. Heller

  
\_\_\_\_\_  
Betty D. Heller

State of Maine  
County of Cumberland, ss

April 17, 2001

Personally appeared the above named Howard U. Heller and Betty D. Heller and acknowledged the foregoing instrument to be their free act and deed.

Before me,

  
\_\_\_\_\_  
Notary Public/Attorney at Law

Printed Name: *Michael F. Power Jr.*

Comm. Exp:

## EXHIBIT A

A certain lot or parcel of land with any buildings and improvements thereon, located on Peaks Island, City of Portland, State of Maine, being bounded and described as follows:

Beginning at a point on the northerly side of Seashore Avenue, said point eighty and eight hundredths feet (80.08'), more or less, from the intersection of Seashore Avenue and Alder Brook Road (a/k/a Dump Road);

Thence, N10°58'25"E three hundred twenty-nine and twenty-three hundredths feet (329.23'), more or less, along land now or formerly of Patrick J. Gardner and Patricia Gardner, land now or formerly of Anne M. Walts, and land now or formerly of Theodora Alexander;

Thence N53°18'05"W eighty-one and seventy-two hundredths feet (81.72'), more or less, along the northeastern bound of land of said Alexander;

Thence, southwesterly one hundred sixty-eight and fifty-four hundredths feet (168.54'), more or less, along land of said Alexander to a point on the easterly side of said Alder Brook Road;

Thence, westerly along the easterly side of said Alder Brook Road to the southwest corner of land conveyed to Lionel Plante by deed recorded in the Cumberland County Registry of Deeds in Book 3734, Page 24;

Thence, northerly four hundred twenty feet (420'), more or less, along the eastern bound of land of said Plante to a point at a bound of land conveyed to the City of Portland by deed recorded in the Cumberland County Registry of Deeds in Book 3058, Page 893;

Thence, southeasterly three hundred fifty-six and seventy-six hundredths feet (356.76'), more or less, along said land of the City of Portland;

Thence, westerly fifty feet (50'), more or less;

Thence, S10°58'25"W four hundred twenty-six and forty-five hundredths feet (426.45'), more or less, along other land of the Grantee herein to a point on the easterly side of Alder Brook Road;

Thence, southwesterly twenty feet (20'), more or less, along said Alder Brook Road to the point of beginning;

Said parcel containing approximately 106,250 square feet and being Lot M-13 on City of Portland Tax Map No. 85, Peaks Island.

Subject to existing easement for water lines as shown on a Plan entitled City of Portland, Maine, Plan of Water Mains Reservation Area, prepared by H.I. and E.C. Jordan, dated May, 1977, and recorded in the Cumberland County Registry of Deeds in Plan Book 122, Page 10.

RECEIVED  
RECORDED REGISTRY OF DEEDS

2001 APR 17 PM 3:00

CUMBERLAND COUNTY

*John B. O'Brien*

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy**

2001-0187

Application I. D. Number

8/13/01

Application Date

39 Alder Brook Road, Peaks Island

Project Name/Description

Gill Carolyn S &

Applicant

114 River Rd , Topsfield , MA 01983

Applicant's Mailing Address

Consultant/Agent

Agent Ph: Agent Fax:

Applicant or Agent Daytime Telephone, Fax

39 - 39 Alderbrook Rd, Portland, Maine

Address of Proposed Site

085 M013001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) Cape style Home

2500 sq. ft. 106,250 sq. ft.

Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- |   |  |   |  |
|---|--|---|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review           | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> HistoricPreservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             |   | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 8/15/01

**Insp Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2001-0187  
Application I. D. Number

**Gill Carolyn S &**  
Applicant  
**114 River Rd , Topsfield , MA 01983**  
Applicant's Mailing Address

**08/13/2001**  
Application Date  
**39 Alder Brook Road, Peaks Island**  
Project Name/Description

Consultant/Agent  
**Agent Ph:** \_\_\_\_\_ **Agent Fax:** \_\_\_\_\_  
Applicant or Agent Daytime Telephone, Fax

**39 - 39 Alderbrook Rd, Portland, Maine**  
Address of Proposed Site  
**085 M013001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **Cape style Home**

**2500 sq. ft.** **106,250 sq. ft.**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **08/15/2001**

**DRC Approval Status:**

Reviewer **Jay Reynolds**

- Approved  **Approved w/Conditions**  Denied  
See Attached

Approval Date **09/21/2001** Approval Expiration **09/21/2002** Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance **Jay Reynolds** **09/21/2001**  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2001-0187**

Application I. D. Number

**08/13/2001**

Application Date

**39 Alder Brook Road, Peaks Island**

Project Name/Description

**Gill Carolyn S &**

Applicant

**114 River Rd , Topsfield , MA 01983**

Applicant's Mailing Address

Consultant/Agent

**Agent Ph:** \_\_\_\_\_ **Agent Fax:** \_\_\_\_\_

Applicant or Agent Daytime Telephone, Fax

**39 - 39 Alderbrook Rd, Portland, Maine**

Address of Proposed Site

**085 M013001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 3 Your permit is being approved with the understanding that the designated forested wetlands are not emergent wetlands and will not be disturbed, nor filled, not built upon in any manner.
- 4 Prior to construction and during construction, all Best Management Practices shall be used to protect the wetlands and the site.
- 5 It is the understanding of this office that there will be no grade changes made to the site. If there are any significant grade changes to the site, there shall be an amendment filed in this office with all the appropriate plans and information.
- 6 Please read and follow the attached requirements on building within the shoreland zone area.

**Approval Conditions of DRC**

- 1 NO CHANGE IN GROUND ELEVATION IS PROPOSED. ANY NEW PROPOSED CHANGES IN GROUND ELEVATIONS MUST BE RE-SUBMITTED FOR REVIEW AND APPROVAL.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now 39 Alder Brook Road, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy

2001-0187  
Application I. D. Number  
08/13/2001  
Application Date  
39 Alder Brook Road, Peaks Island  
Project Name/Description

Gill Carolyn S &  
Applicant  
114 River Rd , Topsfield , MA 01983  
Applicant's Mailing Address

Consultant/Agent  
Agent Ph: \_\_\_\_\_ Agent Fax: \_\_\_\_\_  
Applicant or Agent Daytime Telephone, Fax

39 - 39 Alderbrook Rd, Portland, Maine  
Address of Proposed Site  
085 M013001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) Cape style Home

2500 sq. ft. \_\_\_\_\_ 106,250 sq. ft. \_\_\_\_\_  
Proposed Building square Feet or # of Units Acreage of Site Zoning \_\_\_\_\_

Check Review Required:

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date: 08/15/2001

Insp Approval Status:

Approved  Approved w/Conditions See Attached  Denied  
Approval Date 09/19/2001 Approval Expiration 09/19/2002 Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance Marge Schmyckal 09/19/2001  
signature date

Reviewer Marge Schmyckal

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2001-0187

Application I. D. Number

08/13/2001

Application Date

39 Alder Brook Road, Peaks Island

Project Name/Description

Gill Carolyn S &

Applicant

114 River Rd , Topsfield , MA 01983

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

39 - 39 Alderbrook Rd, Portland, Maine

Address of Proposed Site

085 M013001

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Insp**

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- 4 Prior to construction and during construction, all Best Management Practices shall be used to protect the wetlands and the site.
- 5 It is the understanding of this office that there will be no grade changes made to the site. If there are any significant grade changes to the site, there shall be an amendment filed in this office with all the appropriate plans and information.
- 6 Please read and follow the attached requirements on building within the shoreland zone area.





# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services  
Division of Health Engineering, Station 10  
(207) 287-5672 FAX (207) 287-4772

<b>PROPERTY LOCATION</b>		>> Caution: Permit Required – Attach in Space Below <<
City, Town, or Plantation	PORTLAND, PEAKS ISLAND	The Subsurface Wastewater Disposal System <i>shall not</i> be installed until a Permit is attached HERE by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.
Street or Road	ALDER BROOK ROAD	
Subdivision, Lot *		
<b>OWNER/APPLICANT INFORMATION</b>		
Name (last, first, MI) <b>GILL CAROLYN</b>		
Mailing Address of <b>114 RIVER ROAD TOPSFIELD, MASS 01983</b>		
Daytime Tel. *		Municipal Tax Map * _____ Lot * _____
<b>Owner or Applicant Statement</b>		<b>Caution: Inspections Required</b>
I state that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.
_____ Signature of Owner/Applicant		_____ Local Plumbing Inspector Signature
_____ Date		_____ (1st) Date Approved
		_____ (2nd) Date Approved

PERMIT INFORMATION		
<b>TYPE OF APPLICATION</b> 1. <input checked="" type="checkbox"/> First Time System 2. <input type="checkbox"/> Replacement System Type Replaced: _____ Year Installed: _____ 3. <input type="checkbox"/> Expanded System a. <input type="checkbox"/> One-time exempted b. <input type="checkbox"/> Non exempted 4. <input type="checkbox"/> Experimental System 5. <input type="checkbox"/> Seasonal Conversion	<b>THIS APPLICATION REQUIRES</b> 1. <input checked="" type="checkbox"/> No Rule Variance 2. <input type="checkbox"/> First Time System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 3. <input type="checkbox"/> Replacement System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 4. <input type="checkbox"/> Minimum Lot Size Variance 5. <input type="checkbox"/> Seasonal Conversion Approval	<b>DISPOSAL SYSTEM COMPONENT(S)</b> 1. <input checked="" type="checkbox"/> Complete Non-Engineered System 2. <input type="checkbox"/> Primitive System (graywater & all toilet) 3. <input type="checkbox"/> Alternative Toilet, specify: _____ 4. <input type="checkbox"/> Non-Engineered Treatment Tank (only) 5. <input type="checkbox"/> Holding Tank, _____ Gallons 6. <input type="checkbox"/> Non-Engineered Disposal Field (only) 7. <input type="checkbox"/> Separated Laundry System 8. <input type="checkbox"/> Complete Engineered System (2000 gpd+) 9. <input type="checkbox"/> Engineered Treatment Tank (only) 10. <input type="checkbox"/> Engineered Disposal field (only) 11. <input type="checkbox"/> Pre-treatment, specify: _____ 12. <input type="checkbox"/> Miscellaneous components
<b>SIZE OF PROPERTY</b> 106,477 <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> acres	<b>DISPOSAL SYSTEM TO SERVE</b> 1. <input checked="" type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: <u>3</u> 2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____ 3. <input type="checkbox"/> Other: _____ SPECIFY: _____	<b>TYPE OF WATER SUPPLY</b> 1. <input type="checkbox"/> Drilled Well 2. <input type="checkbox"/> Dug Well 3. <input type="checkbox"/> Private 4. <input checked="" type="checkbox"/> Public 5. <input type="checkbox"/> Other: _____
<b>SHORELAND ZONING</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
<b>TREATMENT TANK</b> 1. <input checked="" type="checkbox"/> Concrete a. <input checked="" type="checkbox"/> Regular b. <input type="checkbox"/> Low Profile (IF NEC) 2. <input type="checkbox"/> Plastic 3. <input type="checkbox"/> Other: _____ CAPACITY <u>1000</u> gallons	<b>DISPOSAL FIELD TYPE &amp; SIZE</b> 1. <input type="checkbox"/> Stone Bed 2. <input type="checkbox"/> Stone Trench 3. <input checked="" type="checkbox"/> Proprietary Device a. <input type="checkbox"/> Cluster array c. <input checked="" type="checkbox"/> Linear b. <input checked="" type="checkbox"/> Regular d. <input type="checkbox"/> H-20 loaded 4. <input type="checkbox"/> Other: _____ SIZE <u>1008</u> <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft. <b>21 ELJEN IN-DRAIN UNITS</b>	<b>GARBAGE DISPOSAL UNIT</b> 1. <input checked="" type="checkbox"/> No 3. <input type="checkbox"/> Maybe 2. <input type="checkbox"/> Yes >> Specify one below: a. <input type="checkbox"/> Multi-compartment tank b. <input type="checkbox"/> Tank in series c. <input type="checkbox"/> Increase in tank capacity d. <input checked="" type="checkbox"/> Filter on tank outlet <b>RECOMMENDED</b>	<b>DESIGN FLOW</b> <b>270</b> gallons per day BASED ON: 1. <input checked="" type="checkbox"/> Table 501.1 (dwelling unit(s)) 2. <input type="checkbox"/> Table 501.2 (other facilities) SHOW CALCULATIONS - for other facilities -  <b>3 BEDROOMS AT 90 GALLONS PER DAY EACH</b>  3. <input type="checkbox"/> Section 503.0 (meter readings) ATTACH WATER-METER DATA
<b>SOIL DATA &amp; DESIGN CLASS</b> PROFILE <u>2</u> / CONDITION <u>A</u> / DESIGN <u>1</u> AT Observation Hole * <u>TP 4</u> Depth <u>16-18</u> " Elevation _____ " OF MOST LIMITING SOIL FACTOR	<b>DISPOSAL FIELD SIZING</b> 1. <input type="checkbox"/> Small - 2.0 sq.ft./gpd 2. <input type="checkbox"/> Medium - 2.6 sq.ft./gpd 3. <input checked="" type="checkbox"/> Medium-Large - 3.3 sq.ft./gpd 4. <input type="checkbox"/> Large - 4.1 sq.ft./gpd 5. <input type="checkbox"/> Extra-Large - 5.0 sq.ft./gpd	<b>PUMPING</b> 1. <input type="checkbox"/> Not required 2. <input checked="" type="checkbox"/> May be required 3. <input type="checkbox"/> Required >> Specify only for engineered or experimental systems:  DOSE: _____ Gallons	

SITE EVALUATOR STATEMENT	
I certify that on <u>2/21/2001</u> (date) I completed a site evaluation on this property and state that the data reported is accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules (10-144A CMR 241).	
 Site Evaluator Signature	<u>163</u> SE *
	<u>4/24/2001</u> Date
Page 1 of 3 HHE-200 Rev. 1/99	

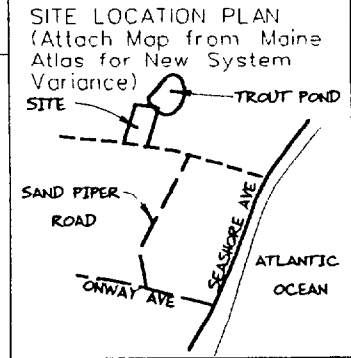
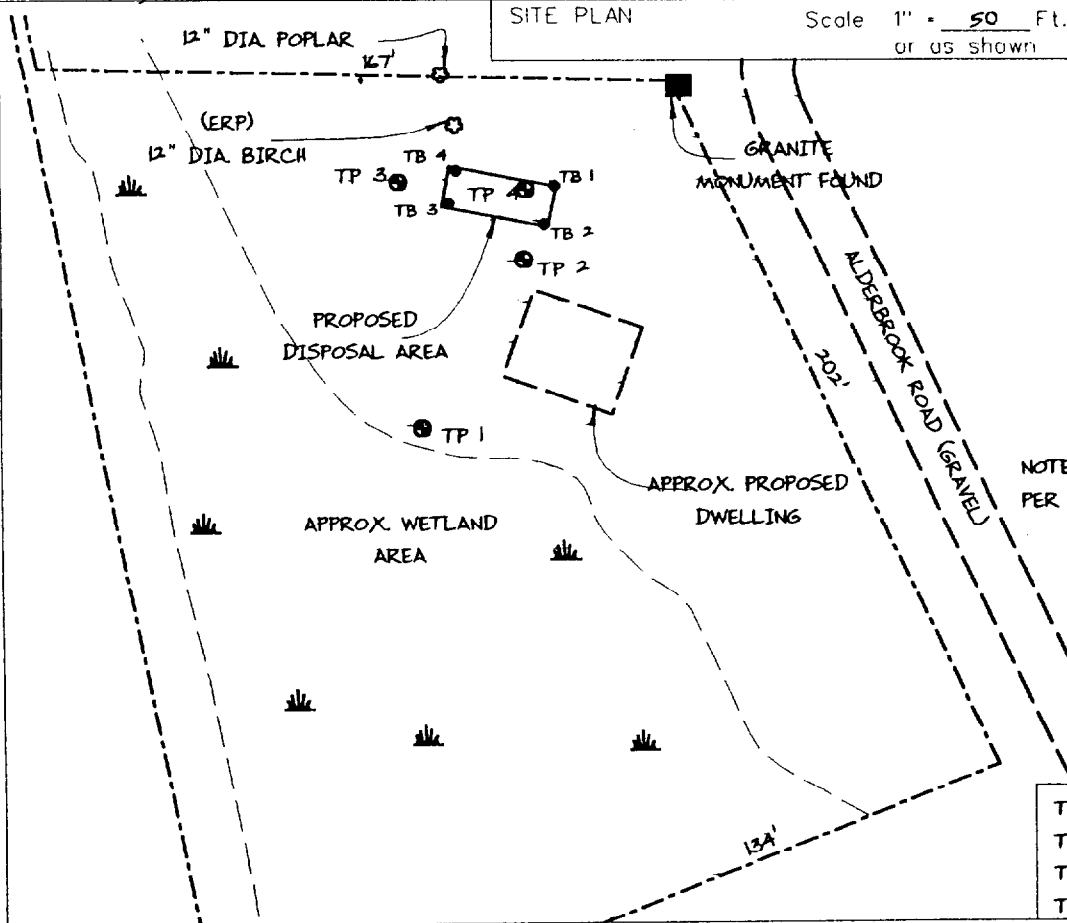
# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering

Town, City, Plantation  
**PORTLAND, PEAKS ISLAND**

Street, Road Subdivision  
**ALDER BROOK ROAD**

Owner's Name  
**CAROLYN GILL**



NOTE: PROPERTY LINE INFORMATION PER PLAN BY TIM DEFILLIP, PLS.

(TO VERIFY DEPTH TO BEDROCK)  
 TB 1 - 26" TO REFUSAL/BEDROCK  
 TB 2 - 20" TO REFUSAL/BEDROCK  
 TB 3 - 6" TO REFUSAL/BEDROCK  
 TB 4 - 18" TO REFUSAL/BEDROCK

## SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP 1  Test Pit  Boring  
 " Depth of Organic Horizon Above Mineral Soil \_\_\_\_\_

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0			YELLOW	
5	GRAVELLY	FRIABLE	BROWN	
10	SANDY			FEW, FAINT
15	LOAM AND LOAMY		OLIVE	COMMON,
20	SAND	FIRM	BROWN	DISTINCT
30				
40				
50				

Soil Classification: 3 Profile, D Condition  
 Slope: \_\_\_\_\_ %  
 Limiting Factor: 10 \*  
 Ground Water  
 Restrictive Layer  
 Bedrock  
 Pit Depth

Observation Hole TP 2  Test Pit  Boring  
 " Depth of Organic Horizon Above Mineral Soil \_\_\_\_\_

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0			DARK	
5			BROWN	
10	SANDY			
15	LOAM	FRIABLE	DARK	
20			YELLOW	
25			BROWN	
30	// BEDROCK //			
40				
50				

Soil Classification: 2 Profile, A Condition  
 Slope: \_\_\_\_\_ %  
 Limiting Factor: 22 \*  
 Ground Water  
 Restrictive Layer  
 Bedrock  
 Pit Depth

*Albert Frick*  
Site Evaluator Signature

163  
SE

4/24/2001  
Date

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering

Town, City, Plantation <b>PORTLAND, PEAKS ISLAND</b>	Street, Road Subdivision <b>ALDER BROOK ROAD</b>	Owner's Name <b>CAROLYN GILL</b>
---	---	-------------------------------------

## SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP 3  Test Pit  Boring  
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0			<b>DARK BROWN</b>	
5	<b>SANDY LOAM</b>			
10		<b>FRIABLE</b>	<b>DARK YELLOW BROWN</b>	
20				
25				
30				
35				
40				
45				
50				

**BEDROCK**

Soil Classification <b>2</b> Profile <b>A</b> Condition	Slope %	Limiting Factor <b>28</b>	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input checked="" type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
--	------------	------------------------------	--

Observation Hole TP 4  Test Pit  Boring  
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0			<b>DARK BROWN</b>	
5				
10	<b>SANDY LOAM</b>	<b>FRIABLE</b>	<b>DARK YELLOW BROWN</b>	
20				
25				
30				
35				
40				
45				
50				

**BEDROCK**

Soil Classification <b>2</b> Profile <b>A</b> Condition	Slope %	Limiting Factor <b>18</b>	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input checked="" type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
--	------------	------------------------------	--

## SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole \_\_\_\_\_  Test Pit  Boring  
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0				
10				
20				
30				
40				
50				

Soil Classification Profile    Condition	Slope %	Limiting Factor	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
---	------------	-----------------	---

Observation Hole \_\_\_\_\_  Test Pit  Boring  
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0				
10				
20				
30				
40				
50				

Soil Classification Profile    Condition	Slope %	Limiting Factor	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
---	------------	-----------------	---

*Albert Frick*  
Site Evaluator Signature

163  
SE

4/24/2001  
Date

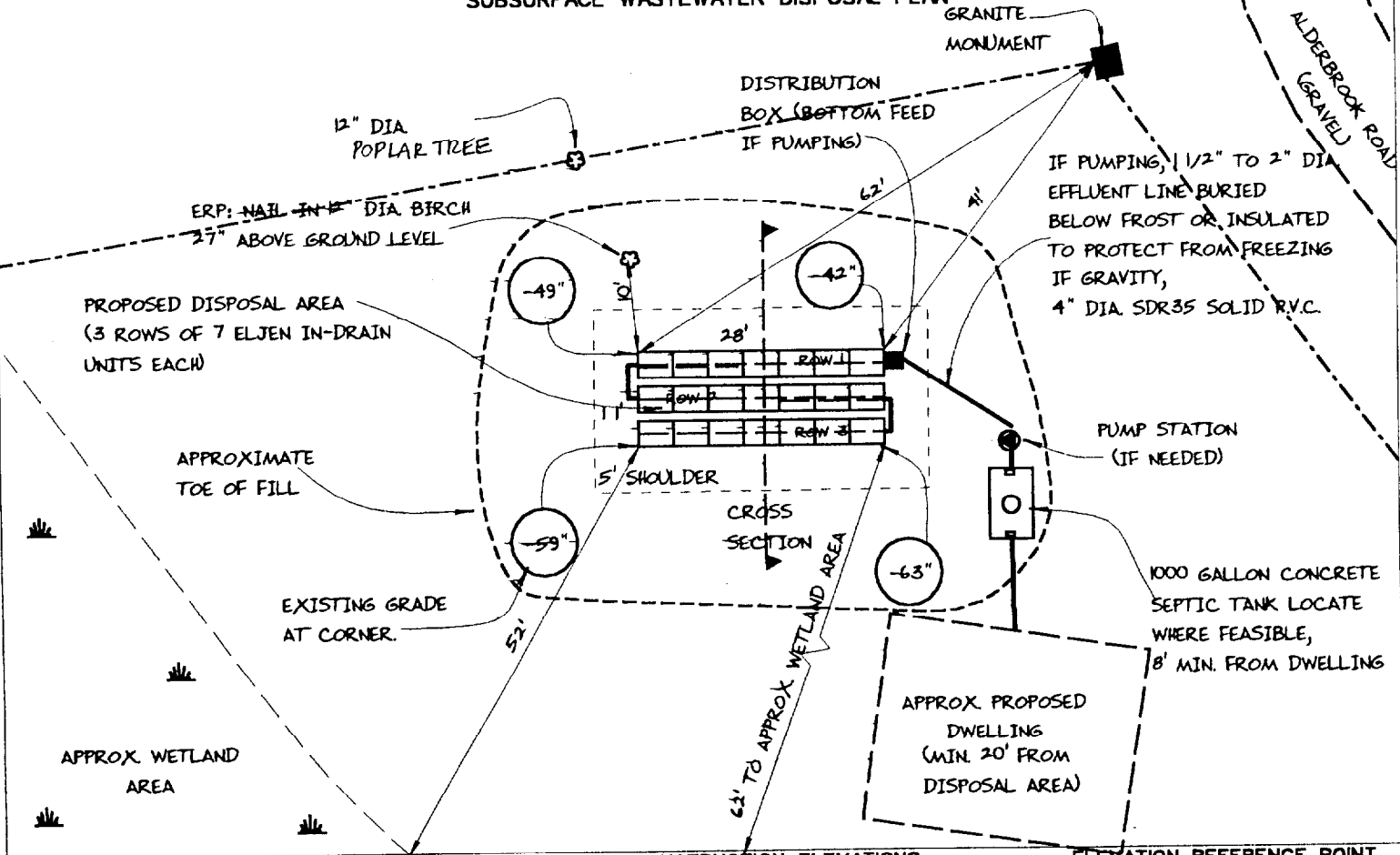
# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering

Town, City, Plantation: **PORTLAND, PEAKS ISLAND**  
 Street, Road, Subdivision: **ALDER BROOK ROAD**  
 Owner's Name: **CAROLYN GILL**

## SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20' F



### FILL REQUIREMENTS

Depth of Fill (Upslope) : 28" - 35"  
 Depth of Fill (Downslope) : 37" - 41"

### CONSTRUCTION ELEVATIONS

Finished Grade Elevation : 28" - 35"  
 Top of Distribution Pipe or Proprietary Device : 37" - 41"  
 Bottom of Disposal Area : 43" - 51"

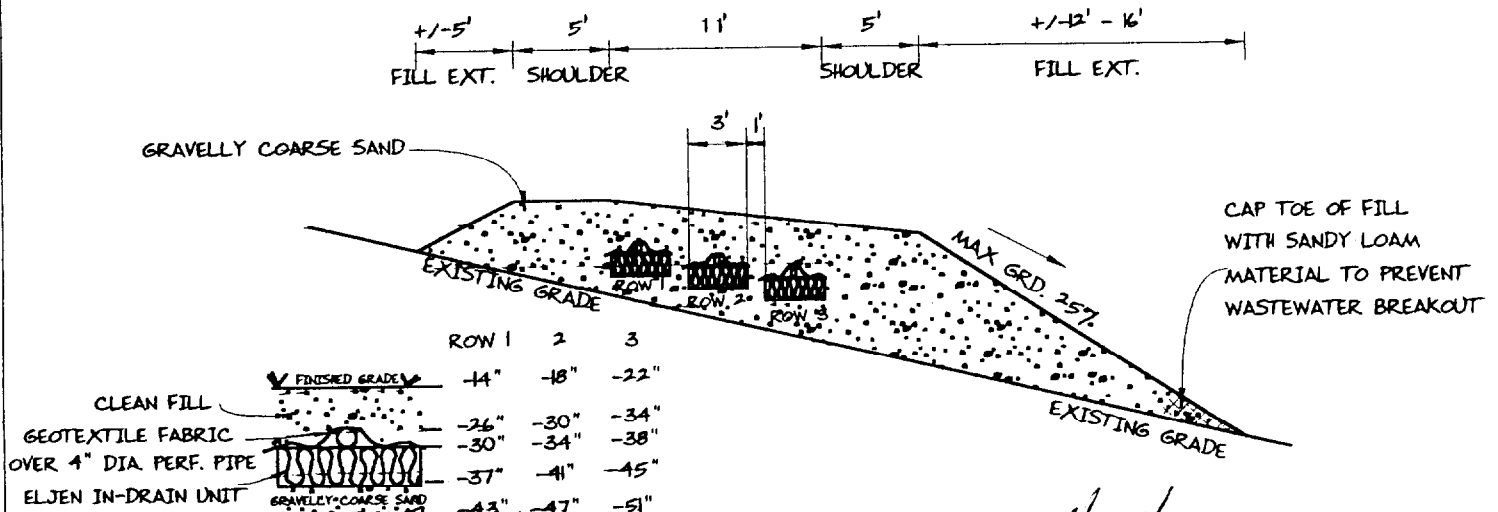
### ELEVATION REFERENCE POINT

Location & Description: 12" DIA BIRCH NAIL 27" ABOVE BASE  
 Reference Elevation: 00"

SEE  
DETAIL  
BELOW

SCALE:  
 VERTICAL: 1" = 5 FT  
 HORIZONTAL: 1" = 10 FT

### DISPOSAL AREA CROSS SECTION



*Albert Frick*  
 Site Evaluator Signature

#63  
 SE

4/24/2021  
 Date



**Albert Frick Associates, Inc.**

**Soil Scientists & Site Evaluators**

95A County Road Gorham, Maine 04038

(207) 839-5563

PORTLAND (PEAKS ISLAND) ALDERBROOK ROAD. CAROLYN GILL  
TOWN LOCATION APPLICANT'S NAME

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations.

Prior to the commencement of construction/installation, the local plumbing inspector shall inform the owner/applicant and Albert Frick Associates, Inc. of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as, utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter should be connected in series to the proposed septic tank.

5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment) and controlled or hazardous substances shall not be disposed of in this system.

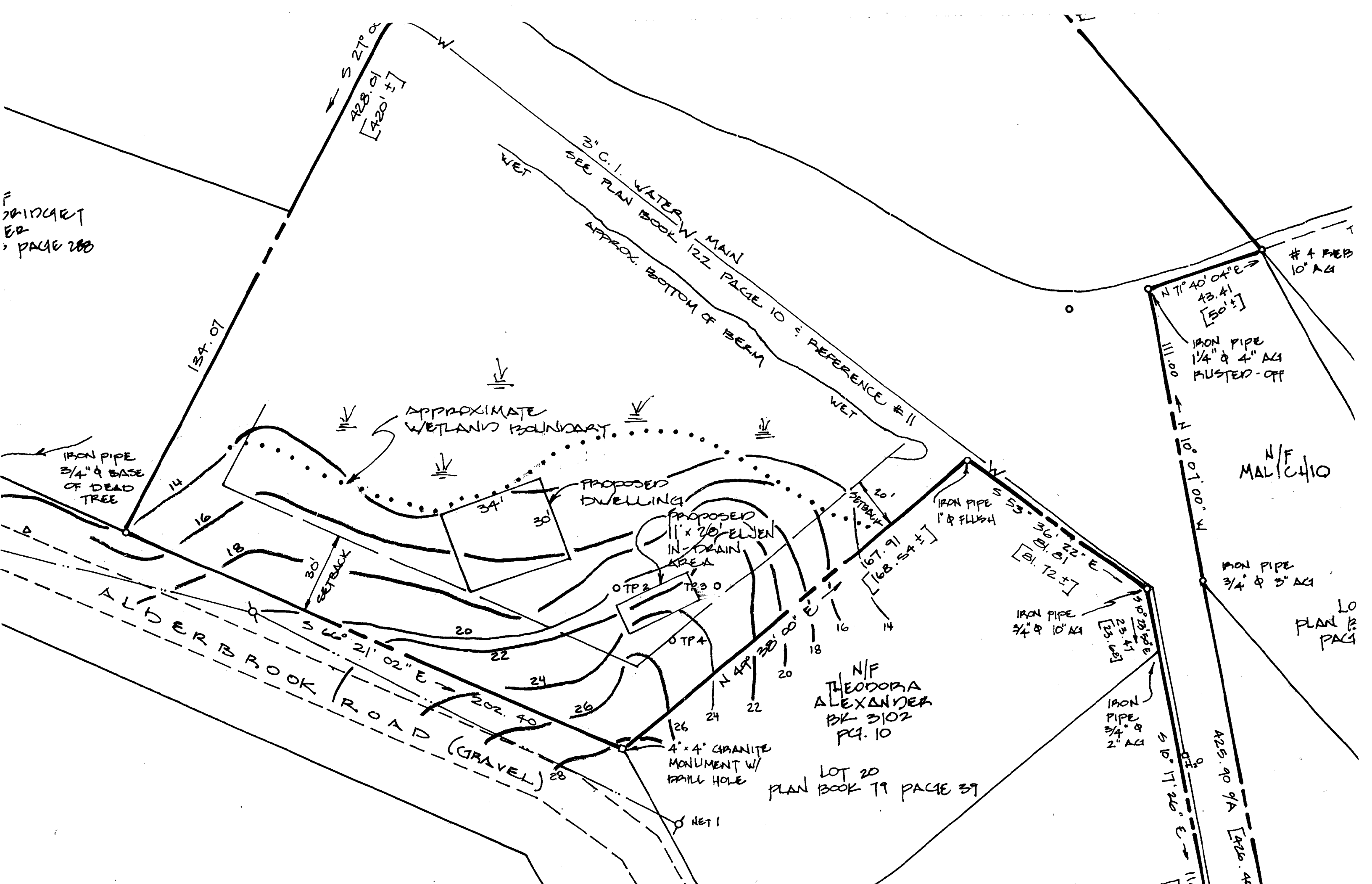
ATTACHMENT TO SUBSURFACE WASTEWATER DISPOSAL APPLICATION

PORTLAND (PEAKS ISLAND) ALDERBROOK RD. CAROLYN GILL  
TOWN LOCATION APPLICANT'S NAME

- 6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than once every three years.
- 7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption (water usage (cu.ft.) x 7.48 cu.ft.(gallons per cu.ft.) ÷ # of days in period).
- 8) The general minimum setbacks between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.
- 9) When a gravity system is proposed: **BEFORE CONSTRUCTION/INSTALLATION BEGINS**, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirements. In gravity systems, the invert of the septic tank(s) outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area. When an effluent pump is required, provisions shall be made to make certain that surface ground water does not enter the septic tank or pump station. An alarm device warning of a pump failure shall be installed. Also, when pumping is required to a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.
- 10) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact thoroughly before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off the chambers. Divert the surface water away from the disposal area by ditching or shallow swales.
- 11) Unless noted otherwise, fill shall be gravelly coarse sand which contains no more than 5% fines (silt and clay).
- 12) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.
- 13) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion.



F  
20100421  
ER  
PAGE 288



S 27° α  
428.01  
[420' ±]

3" C.I. WATER W MAIN  
SEE PLAN BOOK 122 PAGE 10 & REFERENCE # 11  
APPROX. BOTTOM OF BERM  
WET

APPROXIMATE  
WETLANDS BOUNDARY

PROPOSED  
DWELLING  
34' x 30'

PROPOSED  
11' x 20' ELVEN  
IN-DRAIN  
AREA

OTP 2 TR 3 0

OTP 4

4' x 4' GRANITE  
MONUMENT W/  
HILL HOLE

LOT 20  
PLAN BOOK 79 PAGE 39

N/F  
THEODORA  
ALEXANDER  
BK 3102  
PG. 10

N 71° 40' 04" E  
43.41  
[50' ±]  
IRON PIPE  
1/4" Ø 4" A4  
PLUGGED-OFF

N/F  
MALICHO

IRON PIPE  
3/4" Ø 3" A4

LO  
PLAN B  
PAGE

IRON PIPE  
3/4" Ø 10" A4  
[23.41  
23.41  
[81.72 ±]

IRON  
PIPE  
3/4" Ø  
2" A4

ALDER BROOK ROAD (GRAVEL)

139.07

14

16

18

20

22

24

26

28

34'

30'

20'

167.91  
[168.54 ±]

IRON PIPE  
1" Ø FLLSH

36' 22" E  
[81.81  
81.72 ±]

310' 15" E  
23.41  
[23.41]

510' 11.26" E

425.90 9/4  
[425.44

# 4 REB  
10" A4

NET 1



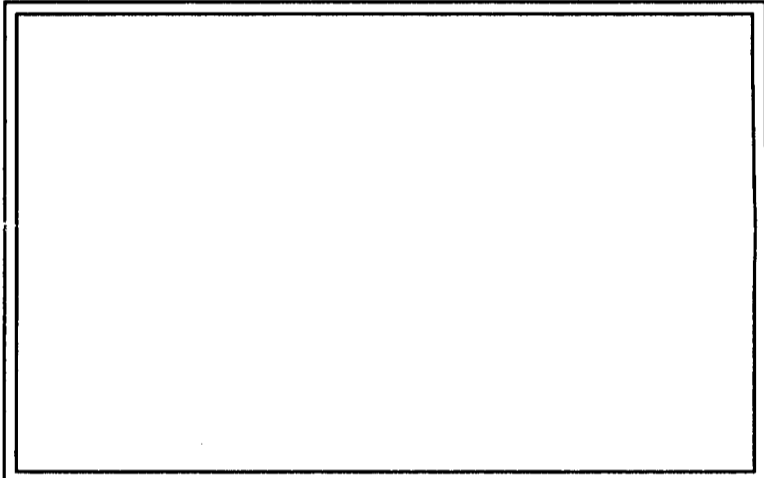
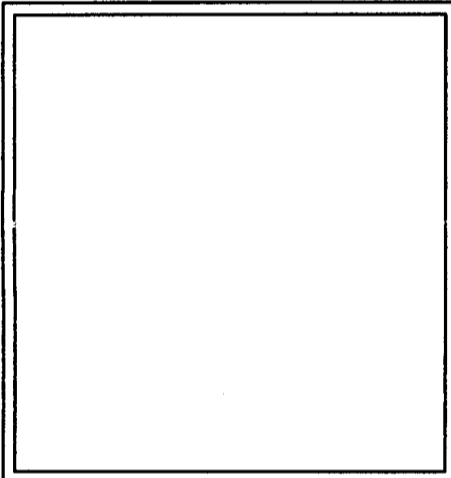
MATERIALS WHICH ARE NOT SUPPLIED BY LINCOLN LOGS LTD., AND WHICH ARE INDICATED IN THE DRAWINGS AND SPECIFICATIONS, ARE SOLELY THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR AS REGARDS THEIR CONFORMANCE TO CODES AND TO THESE DRAWINGS. FOUNDATION WORK, FIRST FLOOR FRAMING INSTALLATION AND MATERIALS ARE SHOWN IN CONFORMANCE WITH THE CABO DWELLING CODE AND THE DESIGN LOADS INDICATED ON THIS PAGE. ALTERNATE MATERIALS AND METHODS SELECTED BY THE OWNER OR BUILDER ARE NOT THE RESPONSIBILITY OF LINCOLN LOGS LTD.. SUCH ITEMS AS PLUMBING, HEATING, VENTILATING AND ELECTRICAL EQUIPMENT AND INSTALLATIONS, MILLWORK AND INTERIOR FINISHES, WHETHER SHOWN OR SUGGESTED IN THESE DRAWINGS, ARE ITEMS WHICH LINCOLN LOGS LTD. INCLUDES ONLY FOR PURPOSES OF CLARITY AND TO PROVIDE THE OWNER WITH SUGGESTIONS AS TO THEIR INSTALLATION AND THE SPACE AVAILABLE FOR THEM. THIS INCLUDES ALL ITEMS NOTED AS "BY OTHERS", OR "FUTURE" ON THE DRAWINGS. THE MATERIALS TO BE PROVIDED BY LINCOLN LOGS LTD. ARE DEFINED IN THE SALES AGREEMENT AND ANY ADDENDA OR AMENDMENTS, WHICH SUPERCEDE THESE DRAWINGS IN THAT REGARD.

DESIGN LOADS FOR THIS BUILDING ARE AS FOLLOWS:

FIRST FLOOR LIVE LOAD _____	40 PSF
FIRST FLOOR DEAD LOAD _____	10 PSF
SECOND FLOOR LIVE LOAD _____	40 PSF
SECOND FLOOR DEAD LOAD _____	10 PSF
ROOF LIVE LOAD _____	30 PSF
ROOF DEAD LOAD _____	15 PSF
GROUND SNOW LOAD _____	60 PSF
WIND LOAD _____	20 PSF

ROOF LIVE LOAD IS THE GREATER OF THE FOLLOWING:

1. GROUND SNOW LOAD REDUCED FOR SLOPE AND DURATION, OR
2. WIND LOAD, OR 3. 20 PSF.



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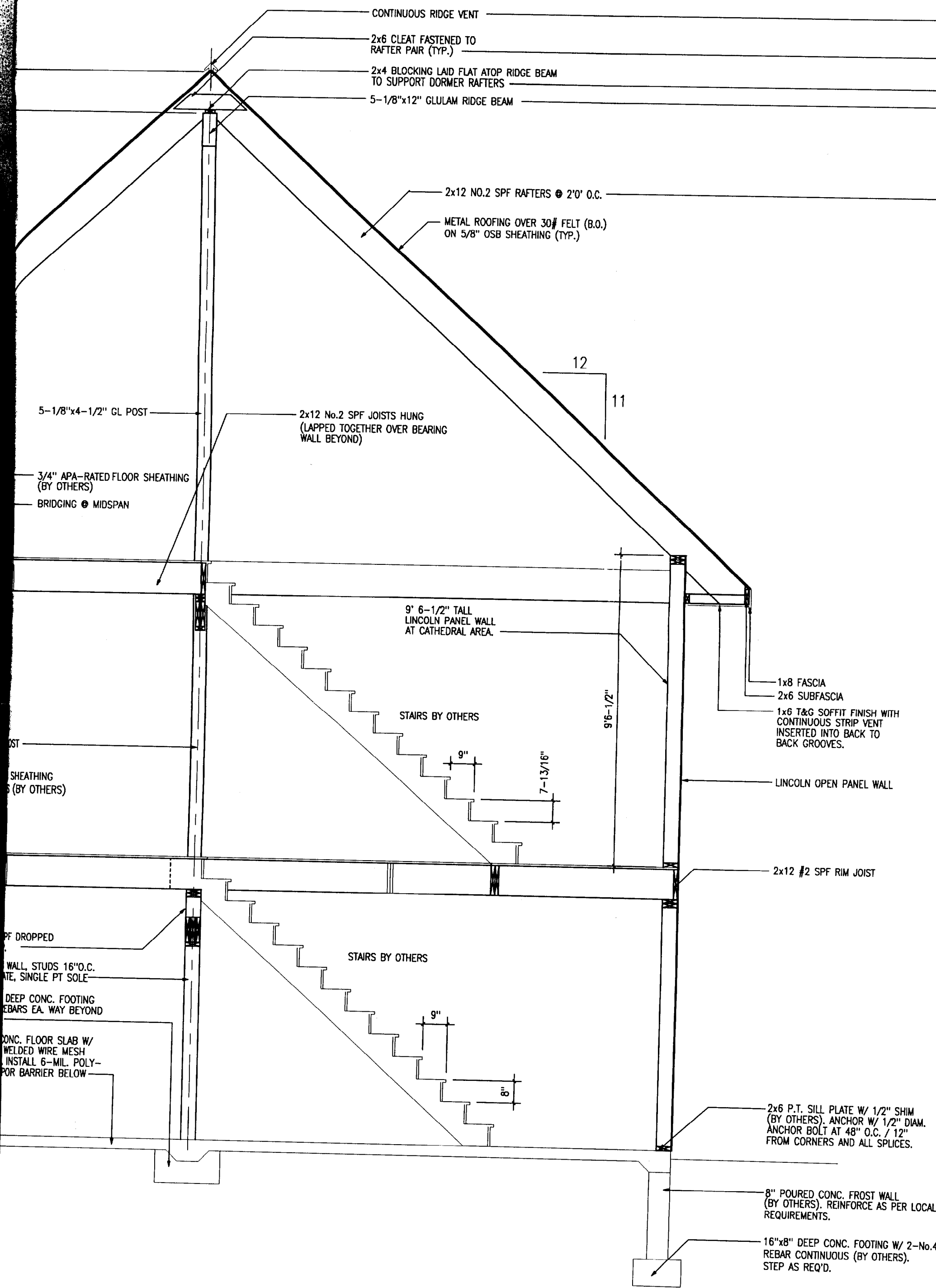
THE \_\_\_\_\_  
 COUNTY \_\_\_\_\_  
 \_\_\_\_\_

# HURD WOOD WINDOWS AND PATIO DOORS

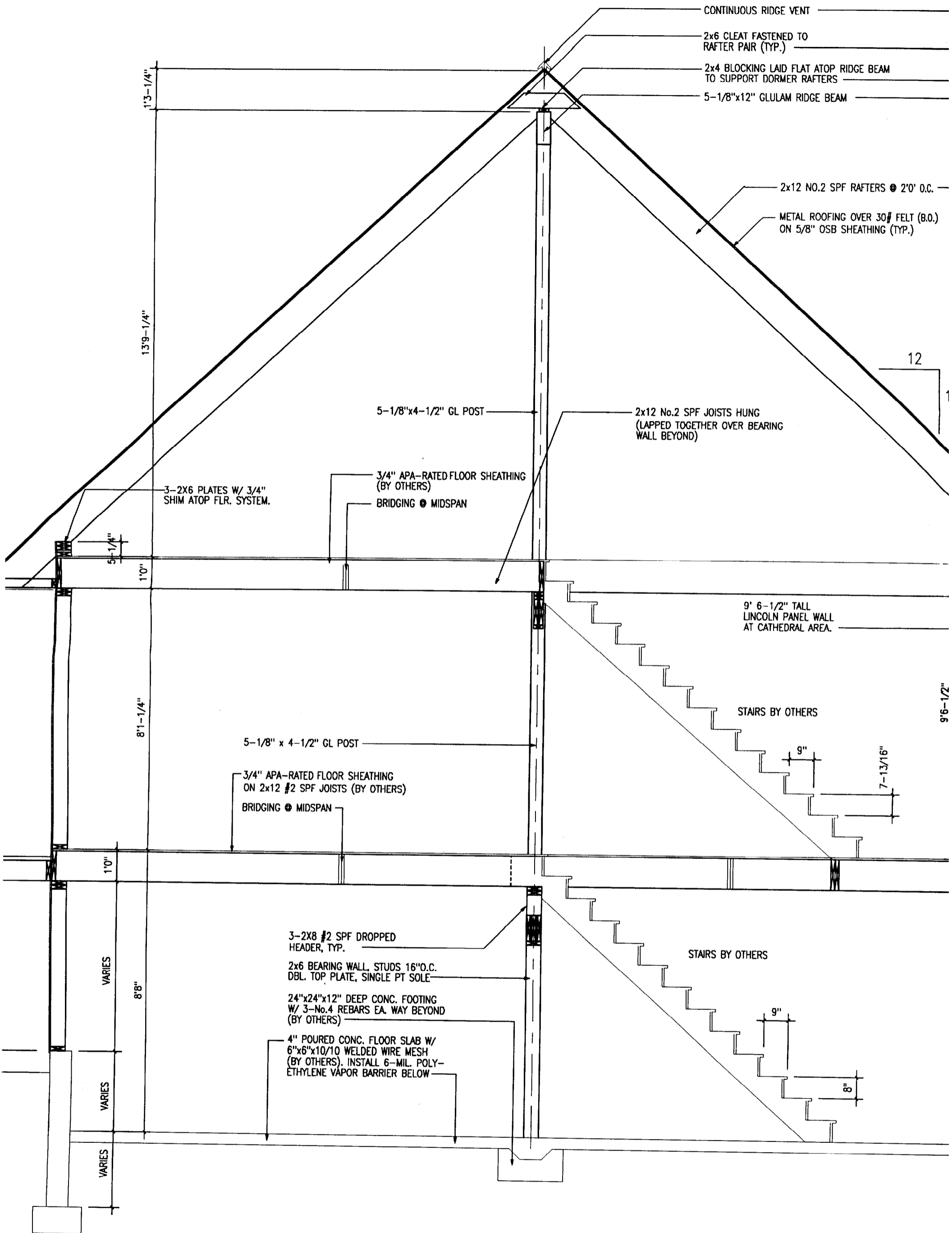
PLAN UNIT DESIGNATION	UNIT STYLE	ROUGH OPN'G. WIDTH	ROUGH OPN'G. HEIGHT	DAYLIGHT OPENING	EGRESS DATA			COMMENTS
					AREA	W	H	
3214-1	DOUBLE HUNG	38"	37-1/2"	5.71 SF	3.35 SF	34.5"	14"	
3214-2	DOUBLE HUNG	75-3/8"	37-1/2"	11.42 SF	3.35 SF	34.5"	14"	
3224-1	DOUBLE HUNG	38"	57-1/2"	10.04 SF	5.75 SF	34.5"	24"	MEETS NATIONAL EGRESS CODE
OCTAGON	AWNING	24-1/2"	24-1/2"	2.00 SF	N/A	N/A	N/A	OPERABLE WINDOW NON-HURD UNIT
TRANSOM	FIXED	71-1/2"	19-3/8"	NA	N/A	N/A	N/A	
CT-DH32-2	DH CIRCLE TOP	75-1/2"	39-15/16"	NA	N/A	N/A	N/A	
CT-SPD-6	SP CIRCLE TOP	71-5/8"	37-7/8"	NA	N/A	N/A	N/A	
VS-104	SKYLIGHT (VENTING)	21-1/2"	39"	3.82 SF	N/A	N/A	N/A	NON-HURD UNIT
6068 SPD	INSWING FRENCH	71-1/2"	80-3/4"	23.95 SF	16.69 SF	31"	77.56"	EGRESS DATA WITH DOOR OPEN 90 DEGREES
6068 SLD	SLIDING PATIO	71"	81-1/8"	29.8 SF	15.82 SF	29.5"	77.25"	

ALL EXPOSED WOOD SURFACES ON ALL WINDOW AND DOOR UNITS SHOULD BE COATED WITH AN APPROPRIATE SEALER AS SOON AS POSSIBLE AFTER DELIVERY. DOORS AND WINDOWS SHOULD BE STORED OUT OF THE WEATHER SO MOISTURE DAMAGE CAN BE AVOIDED. THESE ACTIONS WILL HELP PREVENT WARPING OR EXPANDING IN THE WOOD, WHICH CAN EFFECT PROPER OPERATION OF THE UNIT AFTER INSTALLATION.  
MANUFACTURER UNIT NUMBER IS USED WHEN FLOOR PLAN DESIGNATION VARIES.

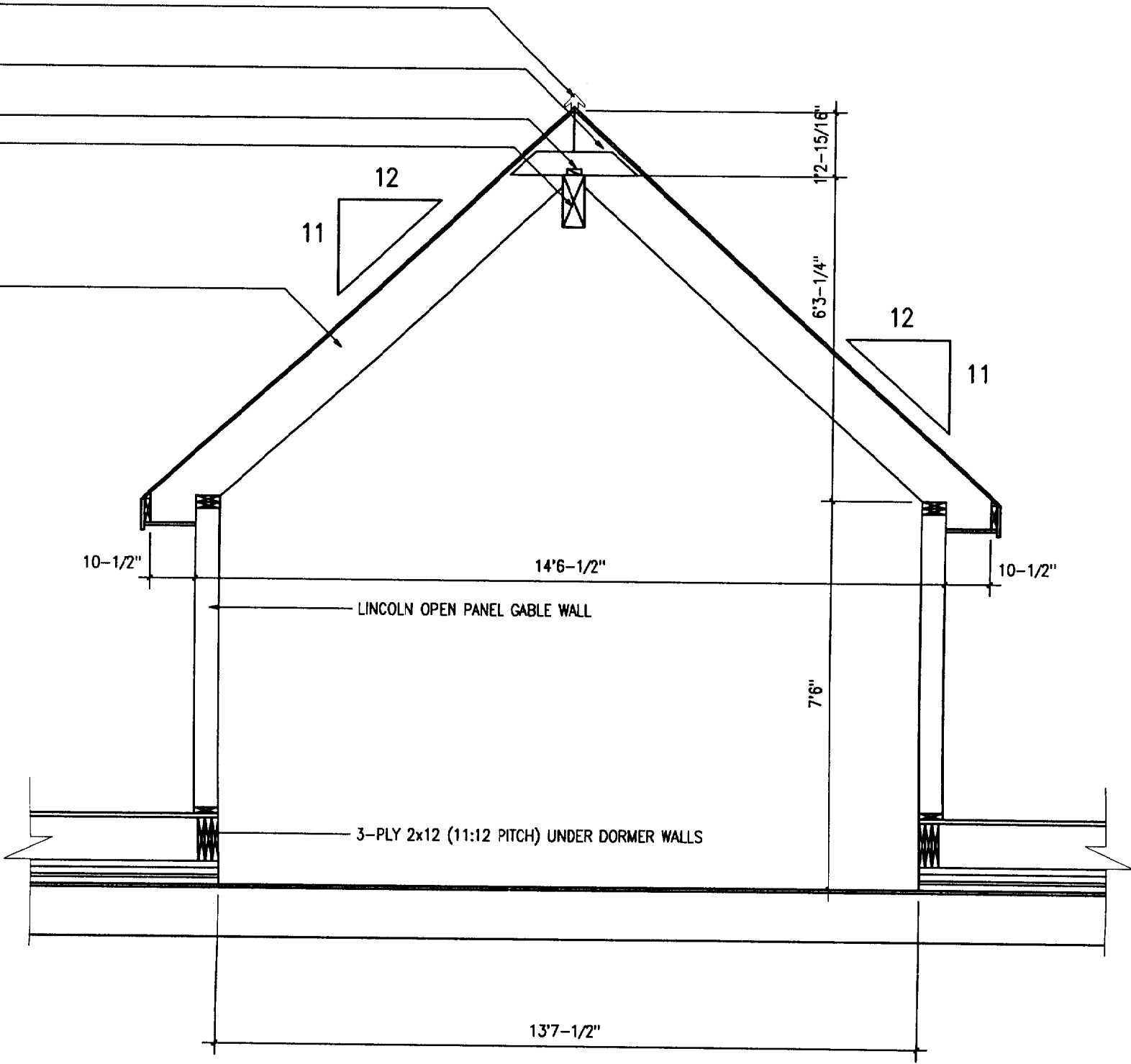
REFER TO CONSTRUCTION GUIDE FOR INSTALLATION DETAILS IN LOG AND FRAMED WALLS. FOR PROPER OPERATION, ALL WINDOWS AND DOORS MUST BE INSTALLED PLUMB AND SQUARE. DO NOT OVERFILL GAPS BETWEEN WINDOW/DOOR JAMBS AND FRAMING WITH INSULATION AS THIS COULD CAUSE "BINDING" OF THE OPERABLE WINDOW SASH OR DOOR PANEL AND HINDER PROPER OPERATION.  
FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLATION OF THE UNIT AND ITS HARDWARE, AND FOR PROPER MAINTENANCE OF ALL DOORS, WINDOWS, AND SKYLIGHTS.  
LINCOLN LOGS IS NOT RESPONSIBLE FOR DAMAGE TO THESE UNITS DUE TO IMPROPER HANDLING, INSTALLATION OR USE BY THE PURCHASER OR THEIR BUILDER.



# SECTION A-A



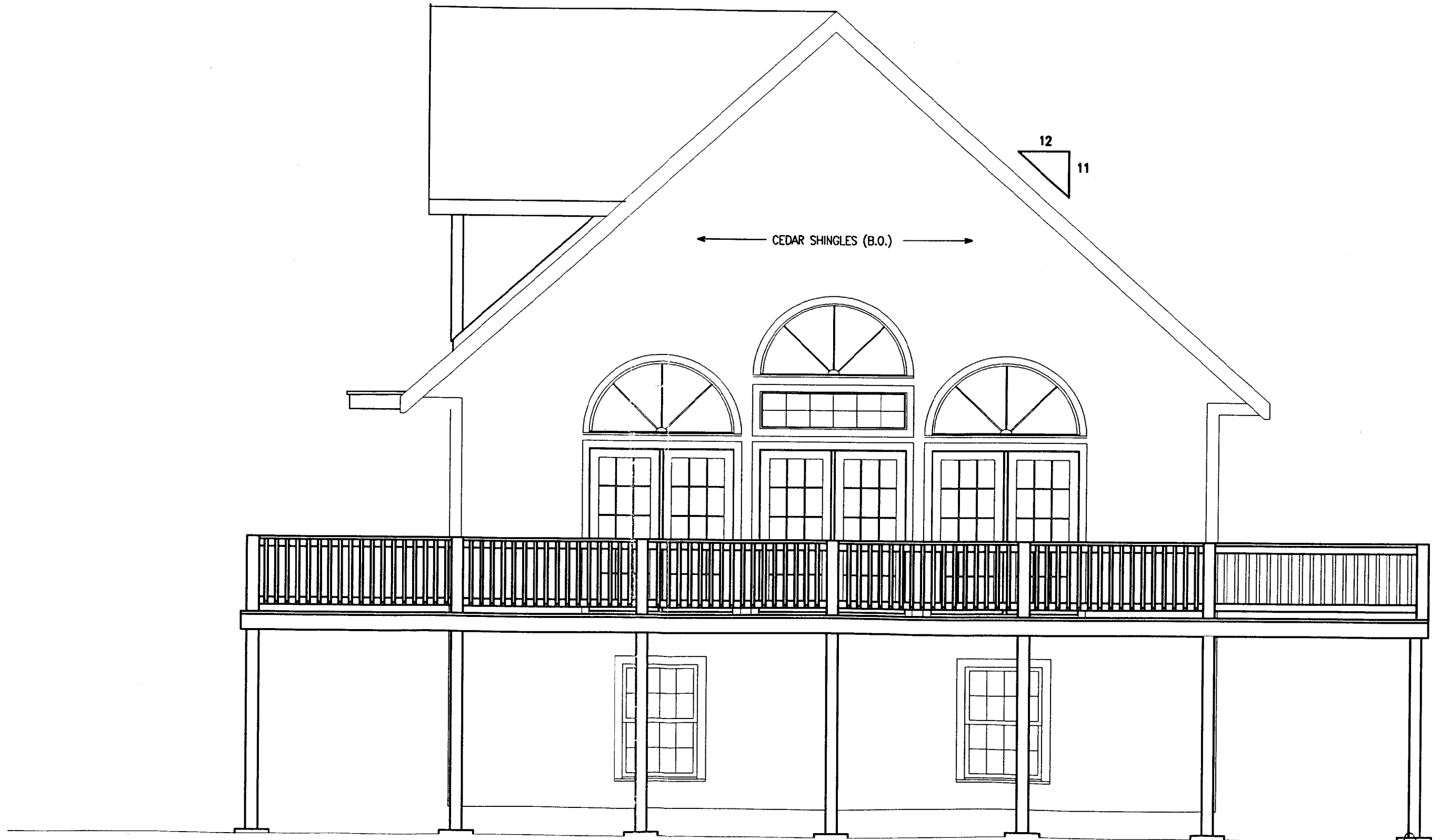
# SECTION A-A



SECTION B-B

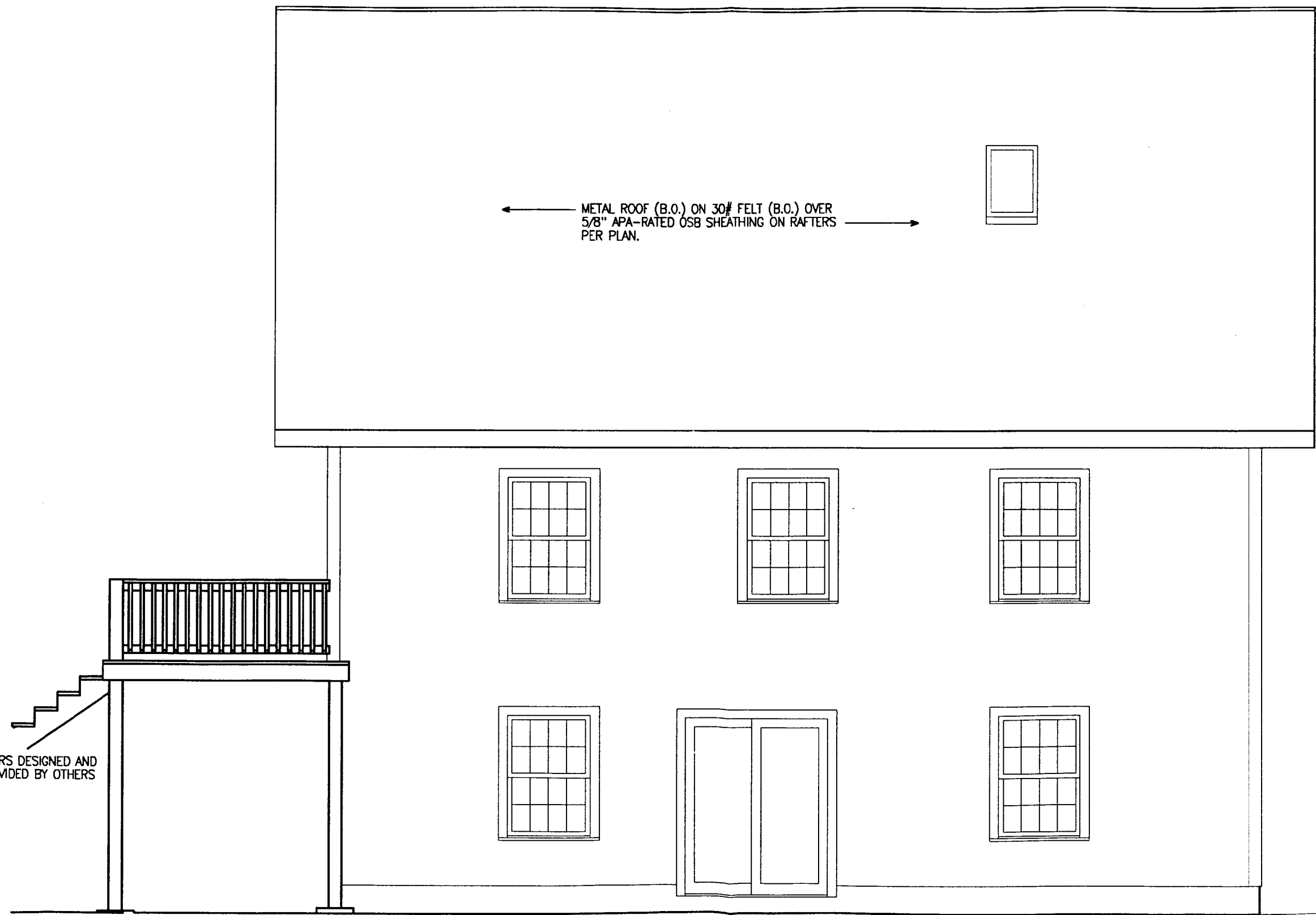
SCALE : 3/8" = 1'0"  
OR AS NOTED  
DATE :

PROJECT TITLE  
GILL RESIDENCE



FRONT ELEVATION

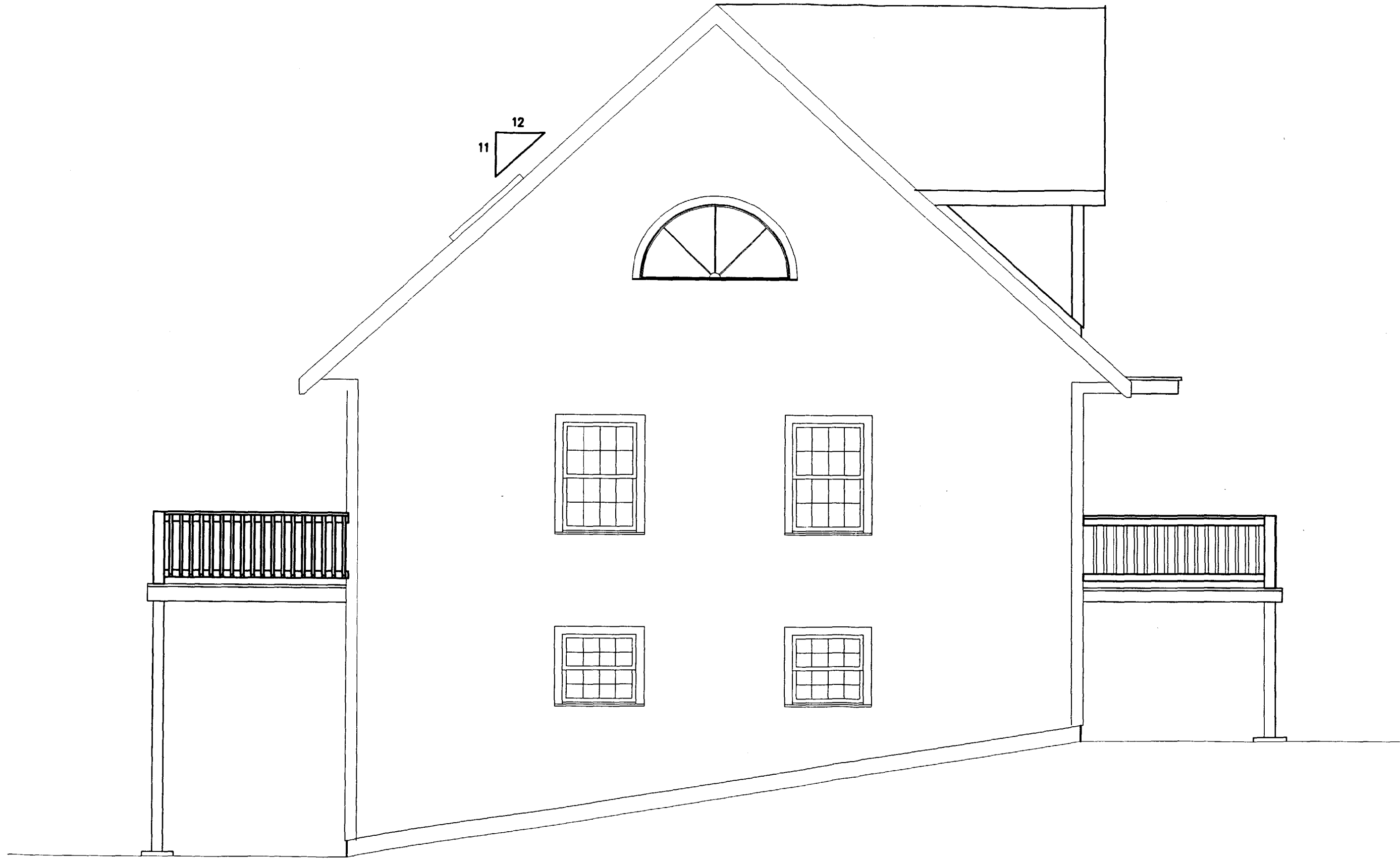
8/21 Revised  
larger Plans  
DC



← METAL ROOF (B.O.) ON 30# FELT (B.O.) OVER 5/8" APA-RATED OSB SHEATHING ON RAFTERS → PER PLAN.

STAIRS DESIGNED AND PROVIDED BY OTHERS

RIGHT ELEVATION



REAR ELEVATION

SHEET TITLE  
**ELEVATIONS**

DRAWING FILE NAME: P022001.VWF

REVISION

PRELIMINARY #2

PROJECT TITLE

**GILL RESIDENCE**

BUILDING SITE: CUMBERLAND COUNTY, ME

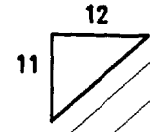
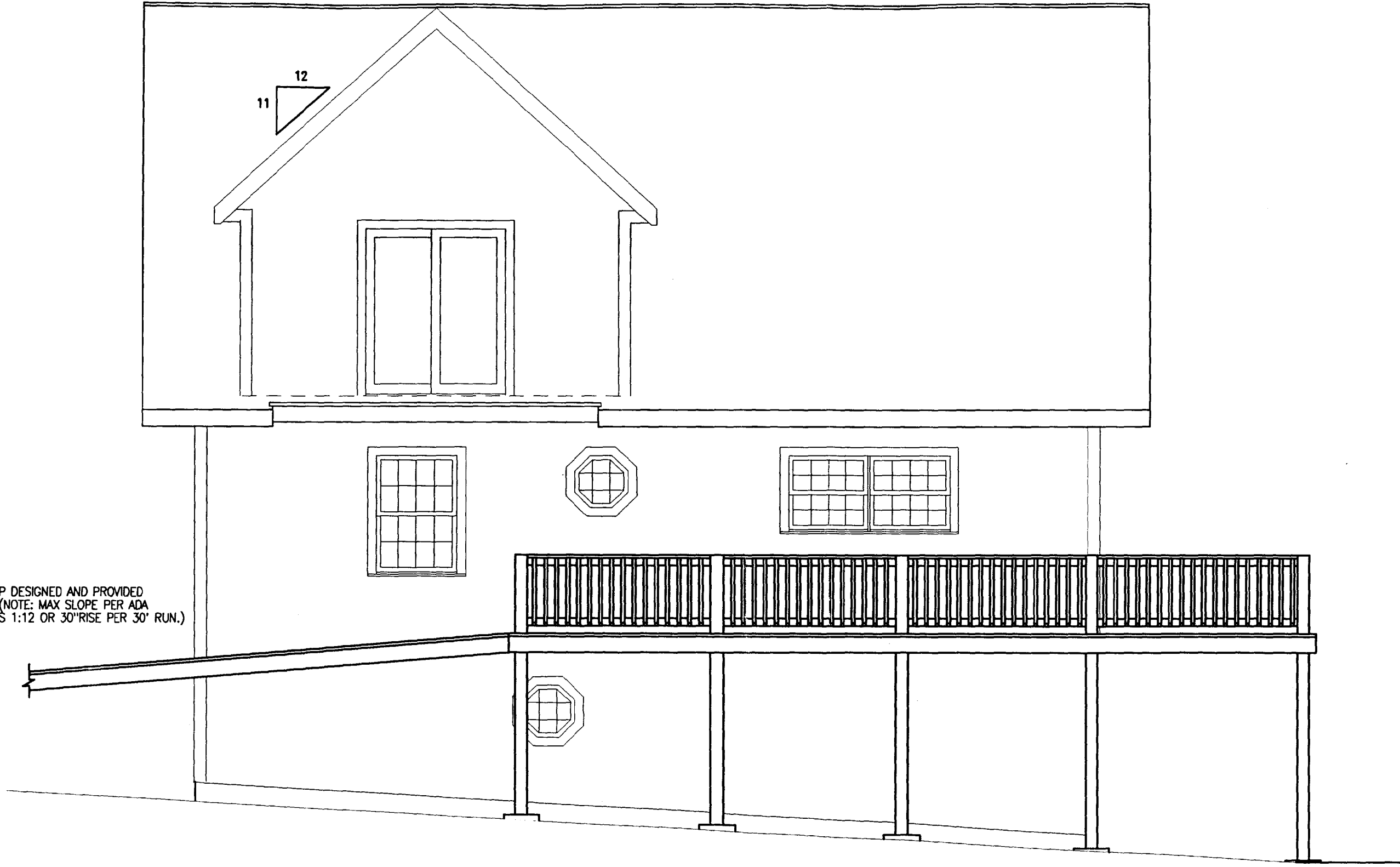
ORDER NUMBER: 02201

REVISION

DATE

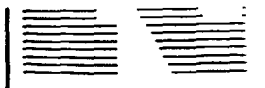
5/11/01





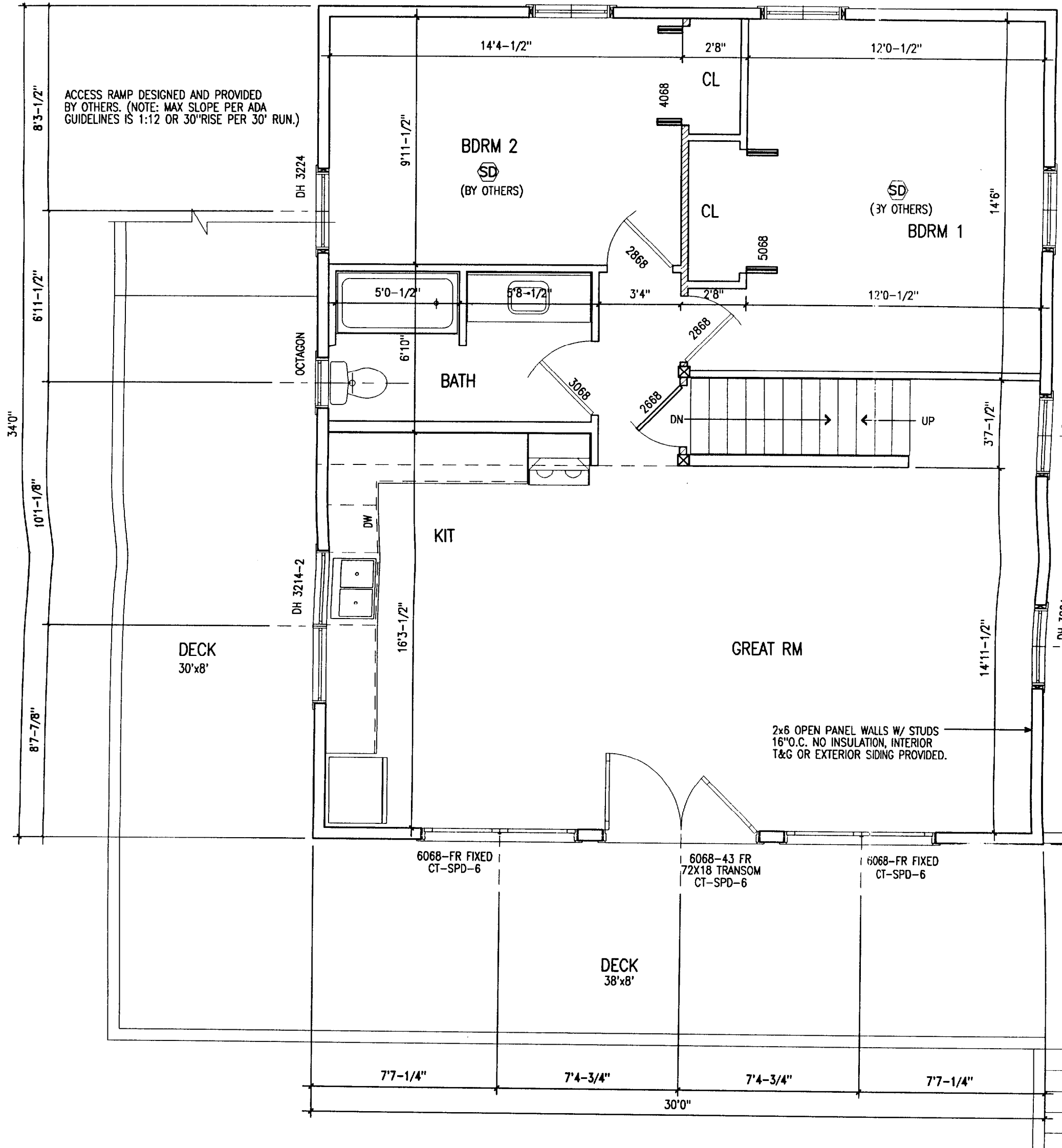
ACCESS RAMP DESIGNED AND PROVIDED BY OTHERS. (NOTE: MAX SLOPE PER ADA GUIDELINES IS 1:12 OR 30"RISE PER 30' RUN.)

LEFT ELEVATION

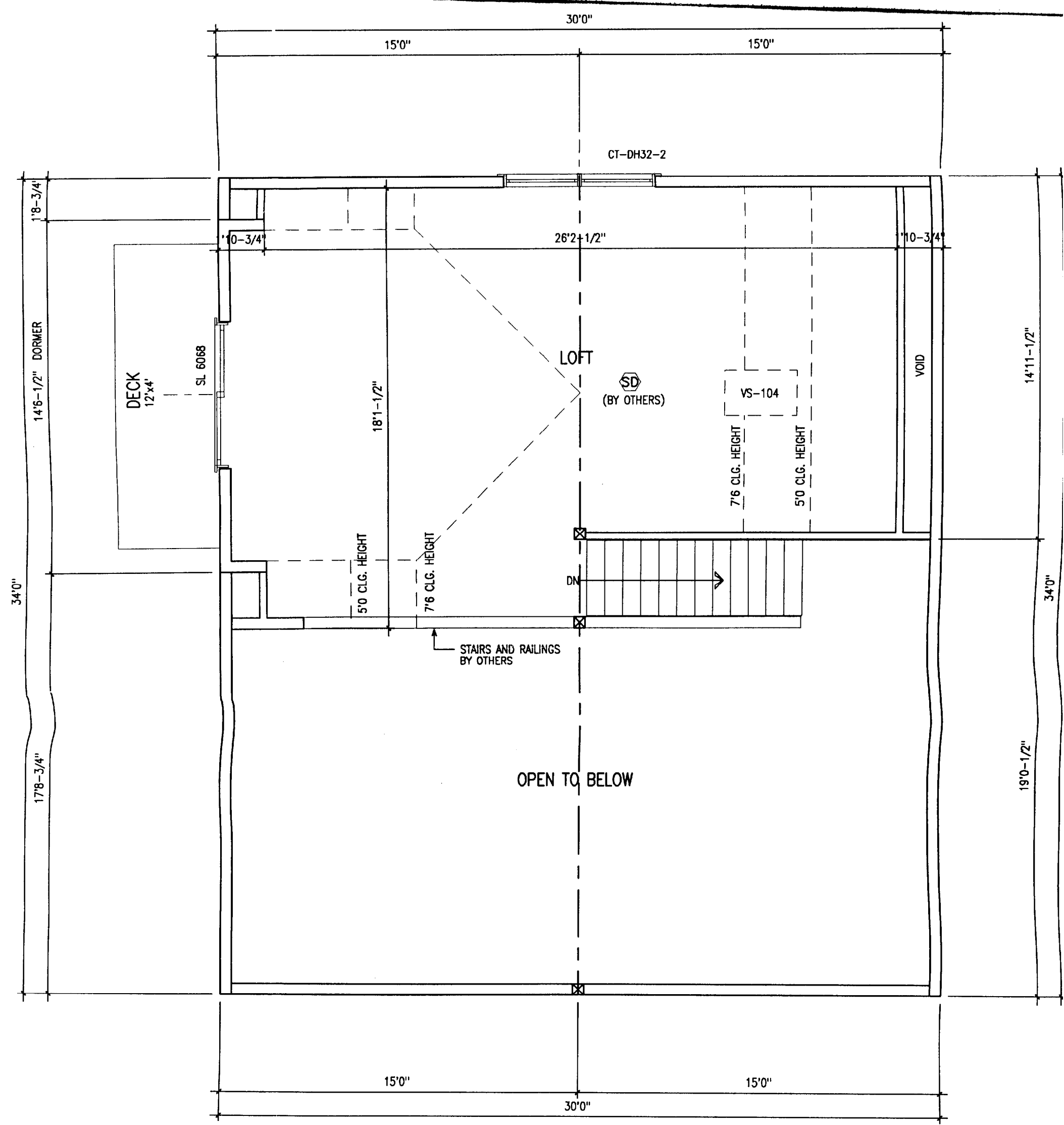


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**Lincoln Logs®**

SCALE : 1/4" = 1'0" OR AS NOTED	DATE : 04-23-01	DRAWN BY : CJO	CHECKED BY :
BER: 022001B-584	DATE		



FIRST FLOOR PLAN 1020 SF



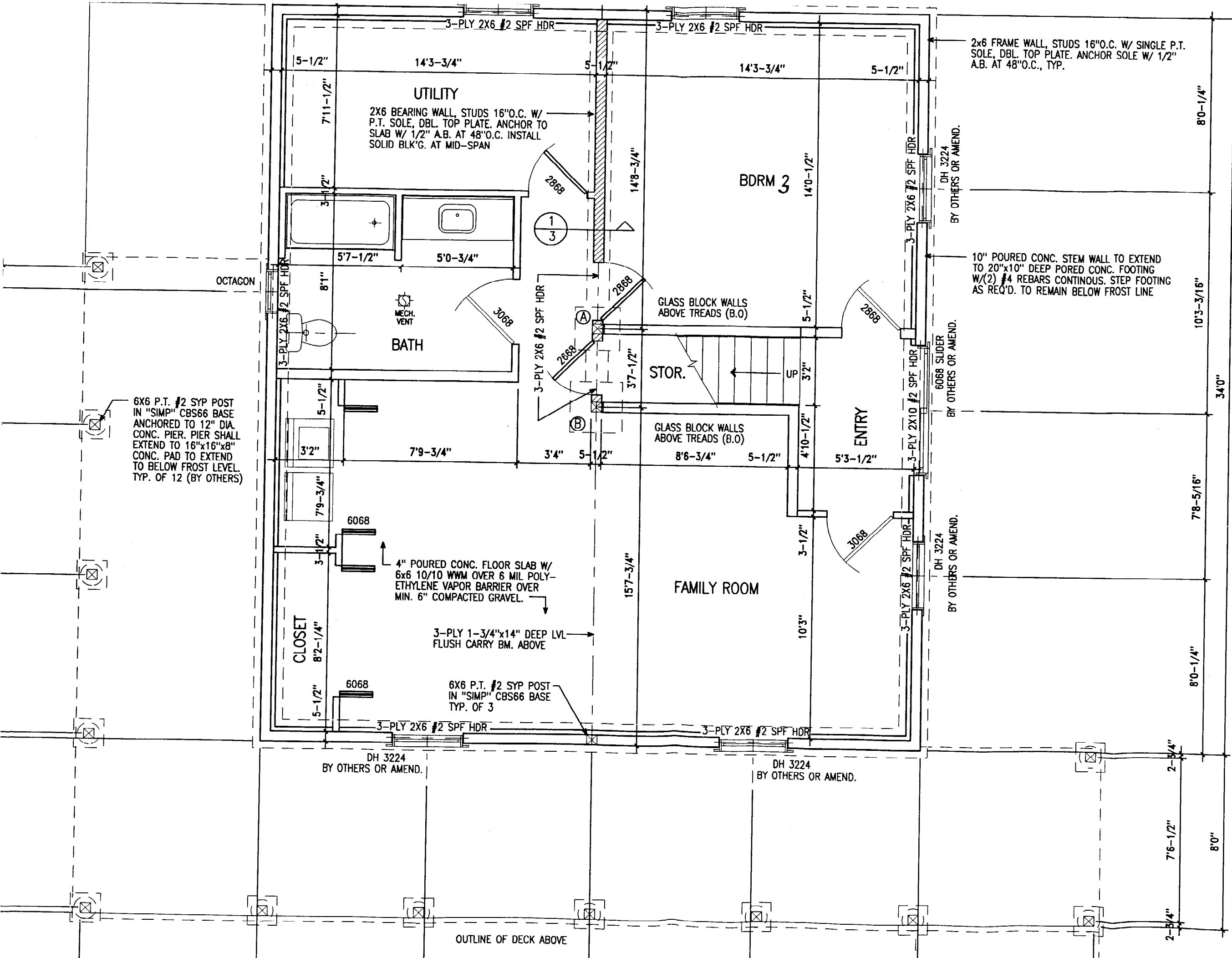
SECOND FLOOR PLAN 419 SF

DATE

PER

S  
NING  
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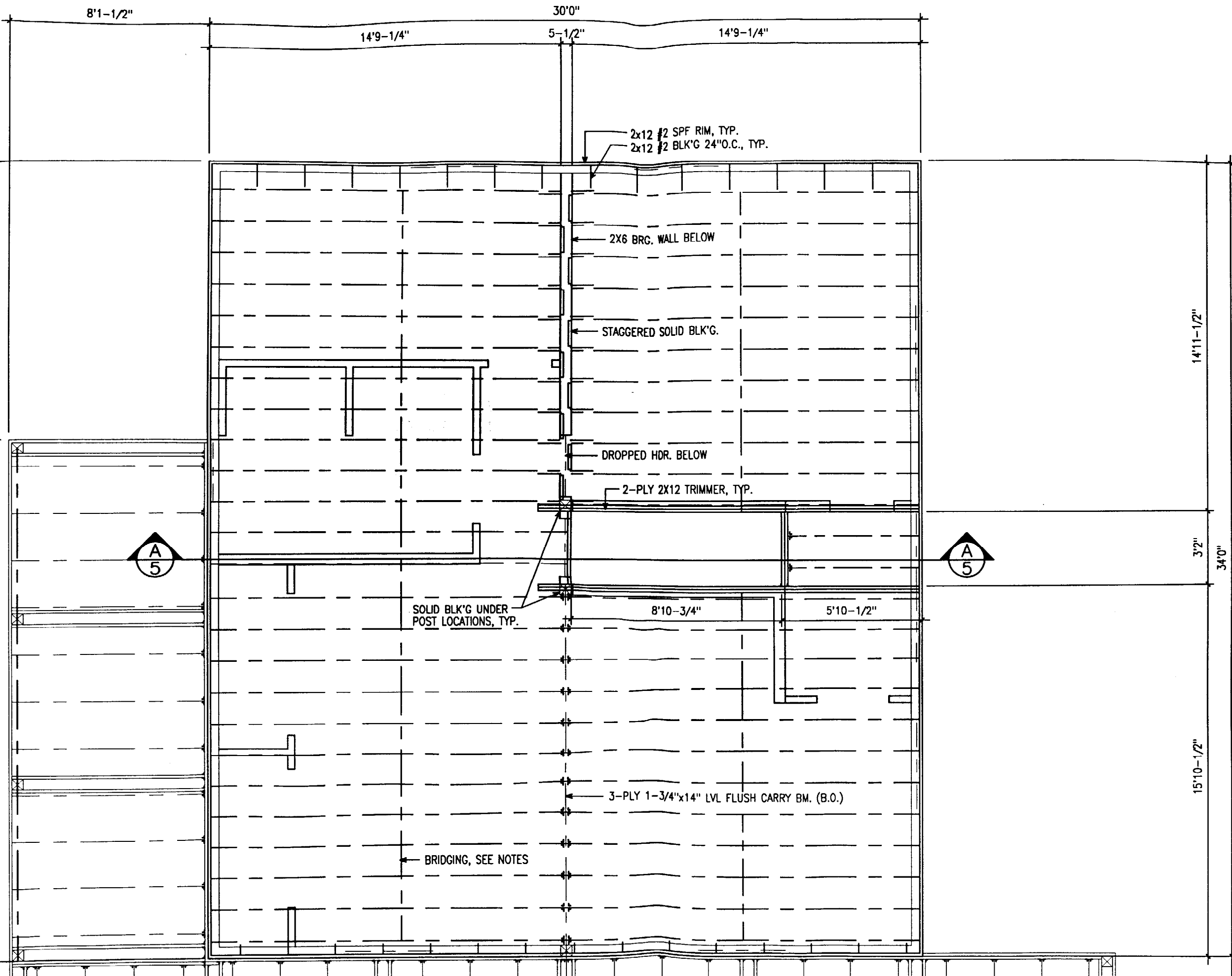
CTIONS



FOUNDATION / LOWER LEVEL

- FOUR**
- 1.
  - 2.
  - 3.
  - 4.
  - 5.
  - 6.
  - 7.
  - 8.
  - 9.

OUTLINE OF DECK ABOVE

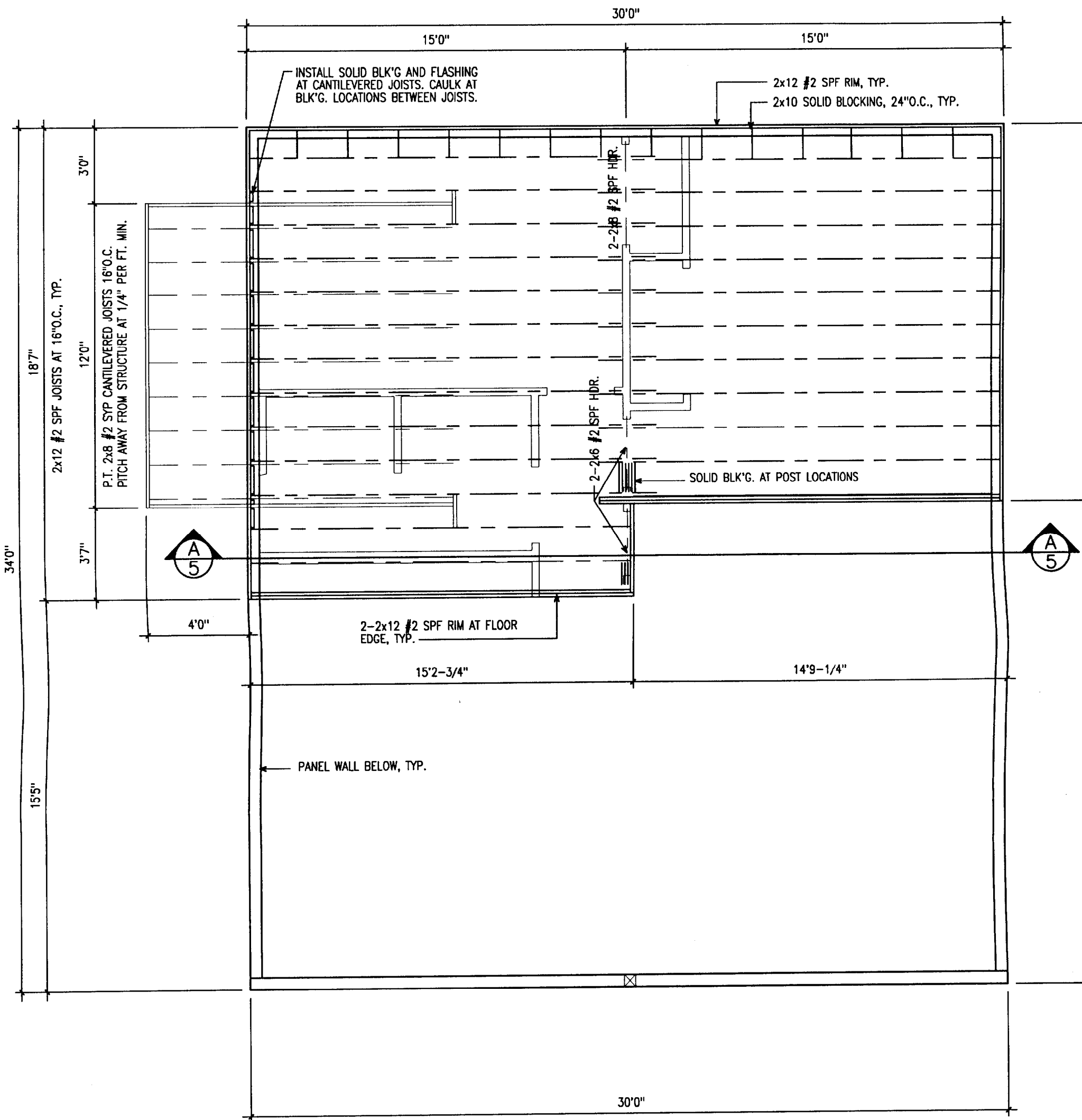


FIRST FLOOR FRAMING

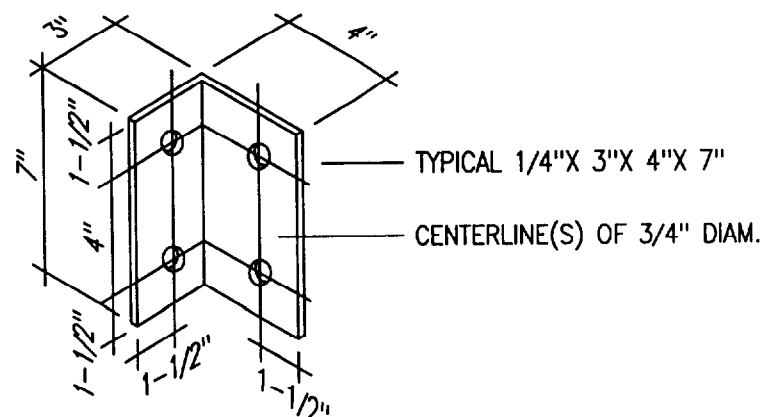
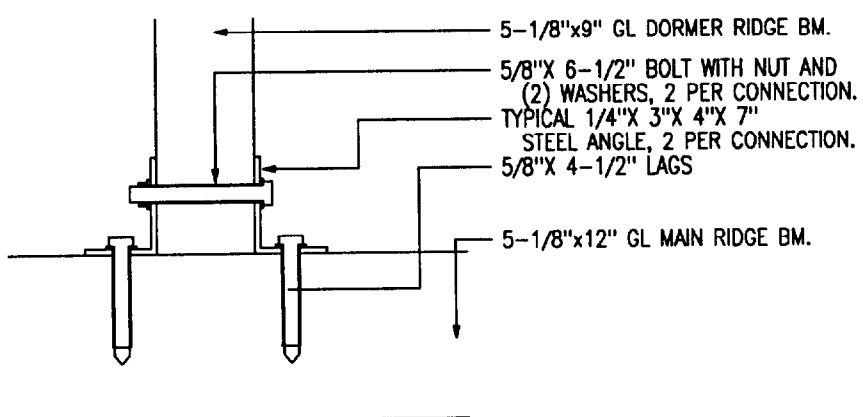
2X6 CEDAR DECKING  
 2x NO.2 SYP P.T. DECK JOISTS. (SEE APPLICABLE PLAN SHEETS FOR SIZES AND SPACING)

"SIMPSON" BC6 ABOVE AND BELOW BEAM

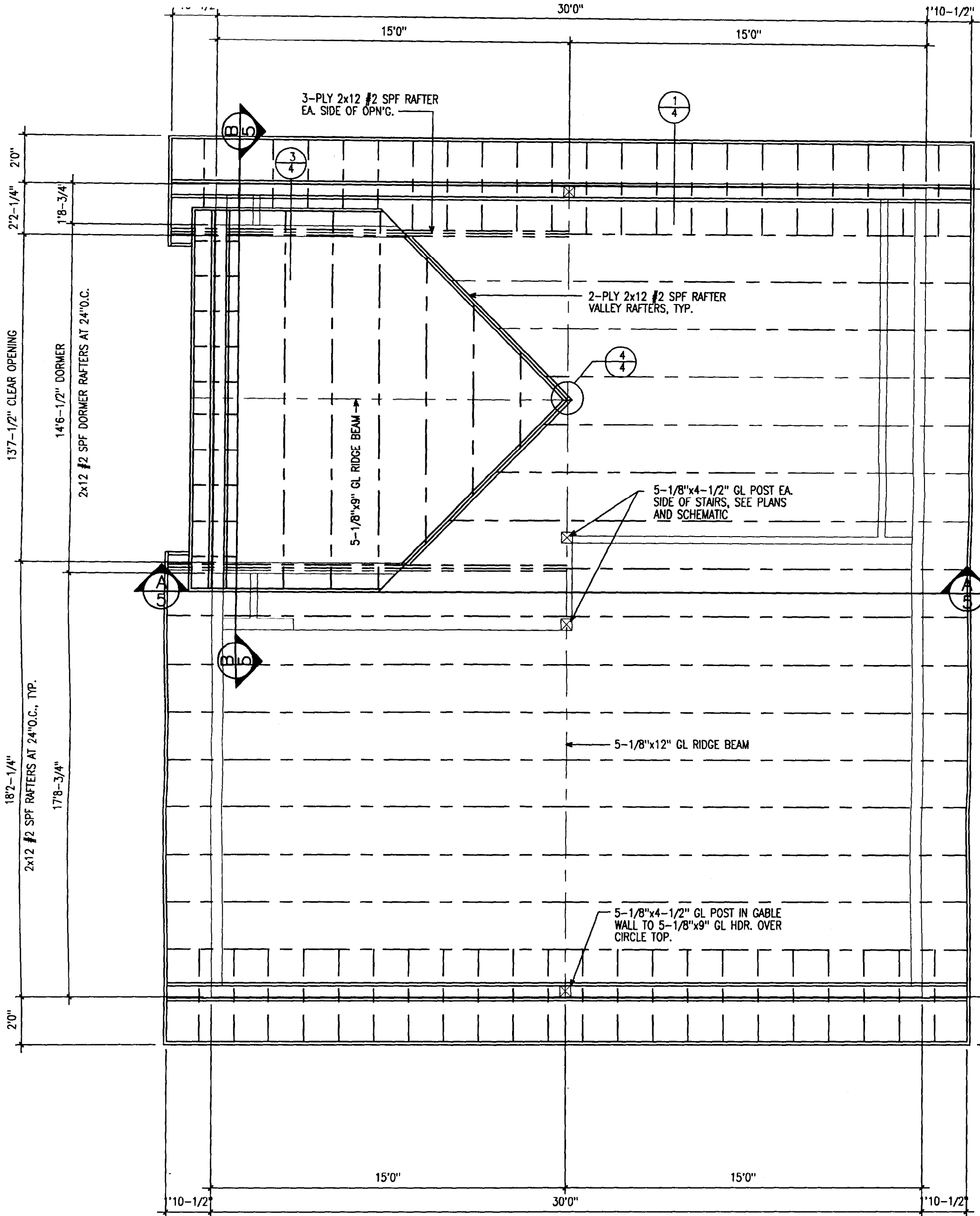
3'0"



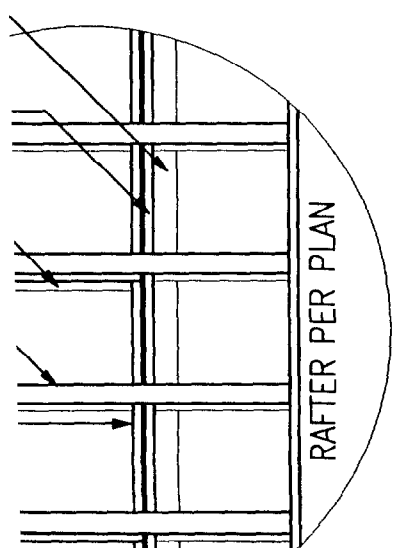
## SECOND FLOOR FRAMING



STEEL ANGLE CONFIGURATION



**ROOF FRAMING PLAN**



GLULAM BEAM SPLICED (TYPICALLY) OVER CENTER OF GLULAM POST.

