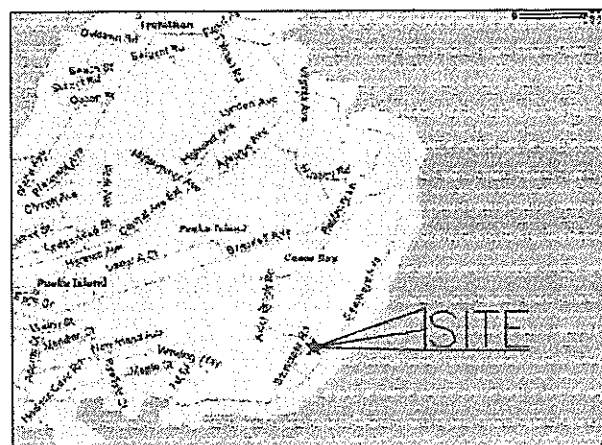


SITE LOCATION MAP



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: ARTHUR H. & MARY E. HARMON BOOK 10205 PAGE 168 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR AND A HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 20,754.3 SQ. FT. 0.48 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) OCEANSIDE PROJECT PEAKS ISLAND, MAINE, SOUTH GATE SUBDIVISION BY THEODORE T. RAND, DATED JAN 1969, RECORDED IN THE C.C.R.D. PLAN BOOK 79 PAGE 39. SAID LOT IS SHOWN ON PLAN AS LOT 19.
b.) CITY OF PORTLAND, MAINE TAX ASSESSORS PLAN NO. 85 BLOCK M LOT 8
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY.
6. ZONING: IR-1 ISLAND RESIDENTIAL ZONE 1
SETBACKS :
FRONT- 30 FEET
REAR- 30 FEET
SIDE- 20 FEET
7. RECORD LOT MEETS STANDARDS BASED ON LAND USE CHAPTER 14 SEC. 14-433 IN THE CURRENT ZONING ORDINANCE OF THE CITY OF PORTLAND.
8. NO CHANGES TO TOPOGRAPHY ARE PLANNED.
9. SEE THE REPORT FILED WITH THE BUILDING PERMIT APPLICATION TO SUPPORT OUR OPINION THAT THIS IS A BUILDABLE LOT PURSUANT TO CITY OF PORTLAND LAND USE CODE SEC. 14-433 LOTS OF RECORD.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 15B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- | | | | |
|-------|----------------------------------|----------------|---------------------------------------|
| IPF © | Iron Pipe Found | - - -100 - - - | Contour Line |
| - - - | Abutter Line | - E - | Overhead Utility |
| — | Property Line | ⊙ | Utility Pole |
| - - - | Street Line | ⊕ | Hydrant |
| - - - | Edge of traveled way | (50.00') | Distance from reference plan or deed. |
| - - - | Set Back Line | N/F | Now Or Formerly |
| SF | Silt Fence or Erosion Cntrl. Mix | ⊗ | 2-1/2" DIAMETER (MIN.) TREE TO REMAIN |

SURVRYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS WERE SET

DATE: JUNE 20, 2005

ROBERT T. GREENLAW P.L.S.
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED 06-20-2005: MOVED FRONT DOOR & DRIVE, ADDED TREES & SILT FENCE.
REVISED 05-24-2005: ADDED FRONT DOOR, ABUTTER AND LOT WIDTH.

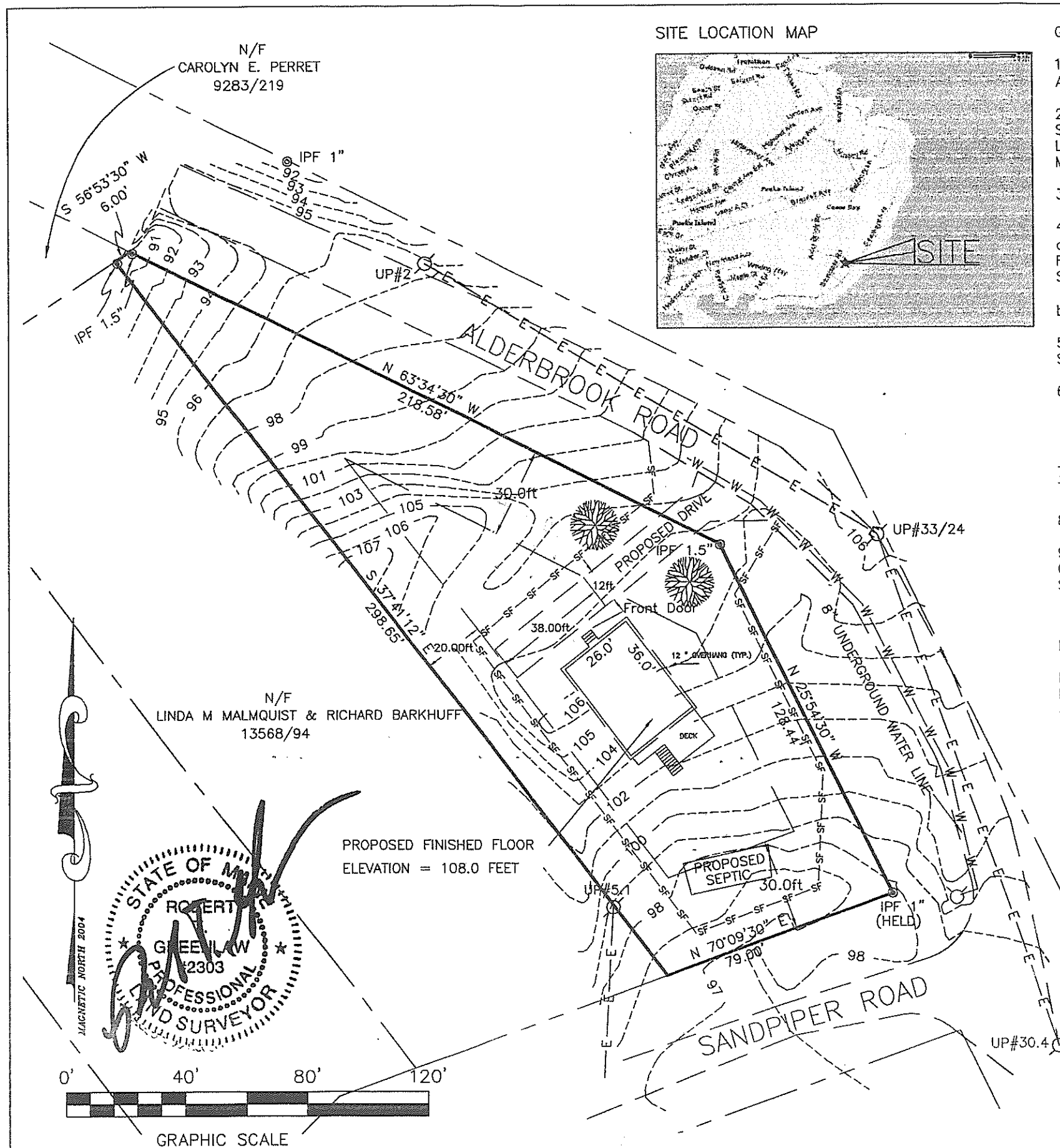
PROPOSED SINGLE FAMILY DWELLING
32 ALDERBROOK ROAD PEAKS ISLAND, MAINE

FOR:
ROBERT MCTIGUE

DRAWN BY: DMD
CHECKED BY: KCC
SCALE: 1"=40'
DATE: 12-09-2004
JOB NUMBER: 2004118
SHEET: 2 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207 347-4346

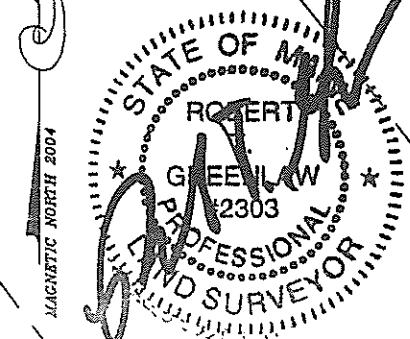
DRAWER: 2004 NO: 118



N/F
CAROLYN E. PERRET
9283/219

N/F
LINDA M MALMQUIST & RICHARD BARKHUFF
13568/94

PROPOSED FINISHED FLOOR
ELEVATION = 108.0 FEET



GRAPHIC SCALE

SURVEY