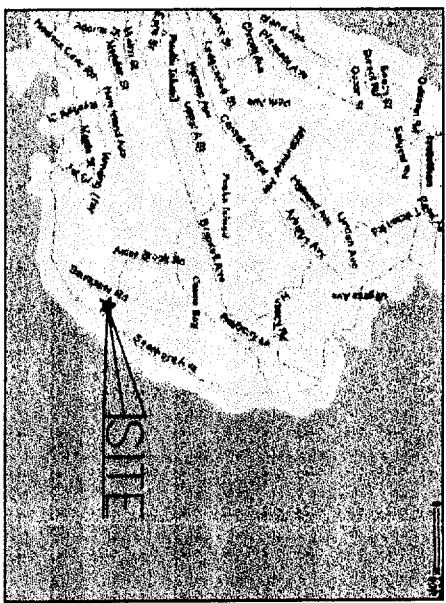


SITE LOCATION MAP



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: ARTHUR H. & MARY E. HARMON BOOK 10205 PAGE 168 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SOKKISHA SET 4 TOTAL STATION, LEITZ SDR 33 DATA COLLECTOR AND A HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 20,754.3 SQ. FT. 0.48 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a) OCEANSIDE PROJECT PEAKS ISLAND, MAINE, SOUTH GATE SUBDIVISION BY THEODORE T. RAND, DATED JAN 1969, RECORDED IN THE C.C.R.D. PLAN BOOK 79 PAGE 39. SAID LOT IS SHOWN ON PLAN AS LOT 19.
- b) CITY OF PORTLAND @ MAINE TAX ASSESSORS PLAN NO. 85 BLOOM M LOT 8
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITTING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
6. ZONING: IR-1 ISLAND RESIDENTIAL ZONE 1
SETBACKS:
FRONT - 30 FEET
REAR - 30 FEET
SIDE - 20 FEET
7. RECORD LOT MEETS STANDARDS BASED ON LAND USE CHAPTER 14 SEC. 14-433 IN THE CURRENT ZONING ORDINANCE OF THE CITY OF PORTLAND.
8. NO CHANGES TO TOPOGRAPHY ARE PLANNED.
9. SEE THE REPORT FILED WITH THE BUILDING PERMIT APPLICATION TO SUPPORT OUR OPINION THAT THIS IS A BUILDABLE LOT PURSUANT TO CITY OF PORTLAND LAND USE CODE SEC. 14-433 LOTS OF RECORD.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 15B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

IPF © Iron Pipe Found	---100---	Contour Line
Abutter Line	—E—	Overhead Utility
Property Line	—	Utility Pole
Street Line	∩	Hydrant
Edge of traveled way		(50.00') Distance from reference point
Set Back Line	N/F	Now Or Formerly

SURVYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS WERE SET

ROBERT T. GREENLAW P.L.S.

V. PRESIDENT BACK BAY BOUNDARY, INC.

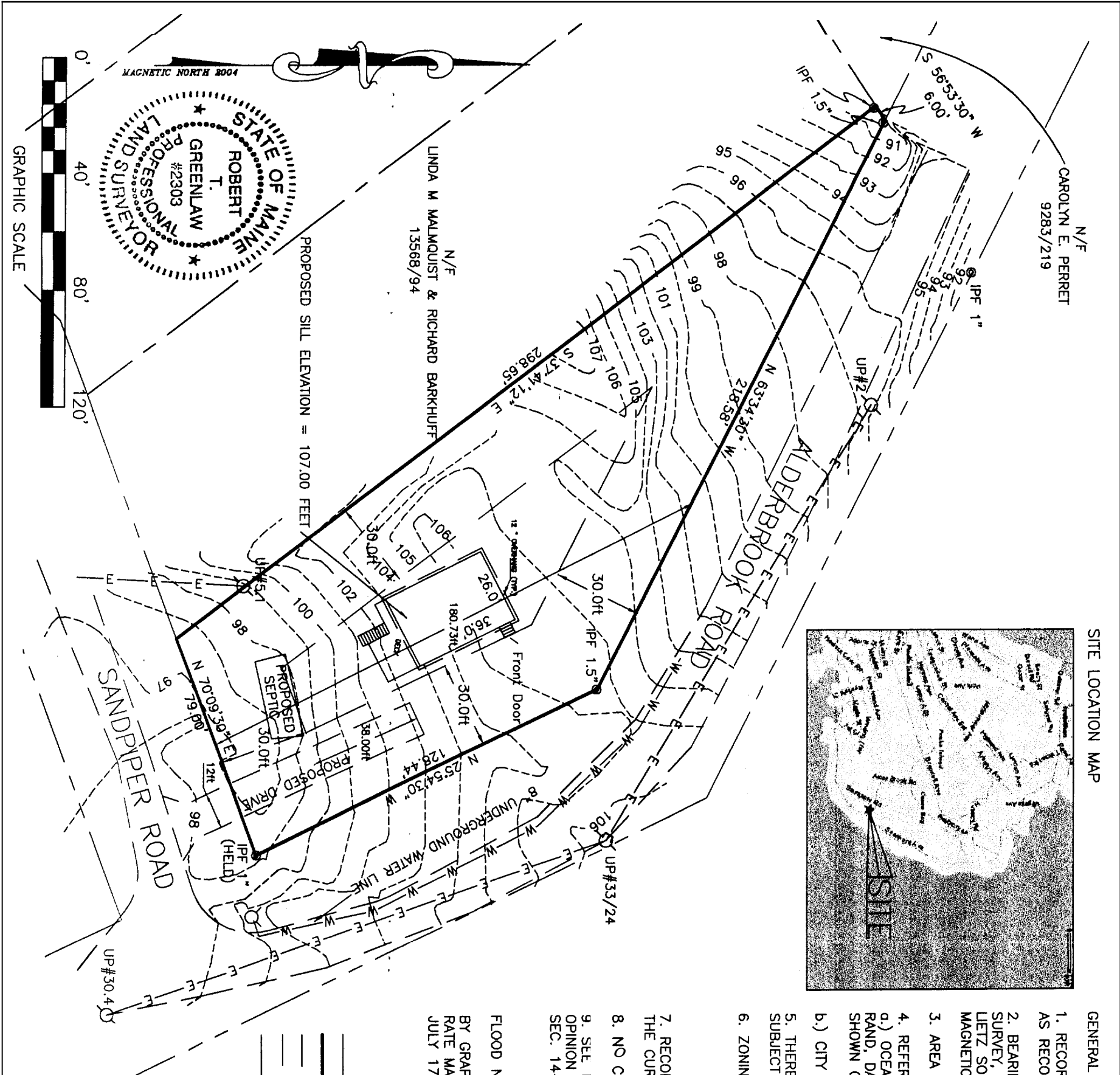
DATE: MAY 24, 2005

REVISED 05-24-2005: ADDED FRONT DOOR, ABUTTER AND LOT WIDTH.

PROPOSED SINGLE FAMILY DWELLING
32 ALDERBROOK ROAD PEAKS ISLAND, MAINE

FOR:

ROBERT MCTIGUE



MAGNETIC NORTH 2004



N/F
LINDA M MALMQUIST & RICHARD BARKHUFF
13568/94

PROPOSED SILL ELEVATION = 107.00 FEET

N/F
CAROLYN E. PERRET
9283/219

GRAPHIC SCALE

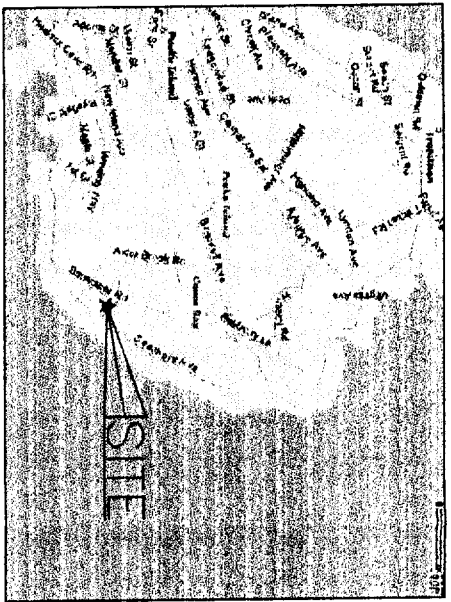
0' 40' 80' 120'

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207 347-4346

DRAWN BY: DMD
CHECKED BY: KCC
SCALE: 1"=40'
DATE: 12-09-2004
JOB NUMBER:
20041 18
SHEET: 2 OF 2

DRAWN BY: 2004 18

N/F
CAROLYN E. PERRET
9283/219



SITE LOCATION MAP

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: ARTHUR H. & MARY E. HARMON BOOK 10205 PAGE 168 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SOKKISHA SET 4 TOTAL STATION, LEITZ SDR 33 DATA COLLECTOR AND A HAND-HELL MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 20,754.3 SQ. FT. 0.48 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
d.) OCEANSIDE PROJECT PEAKS ISLAND, MAINE, SOUTH GATE SUBDIVISION BY THEODORE T. RAND, DATED JAN 1969, RECORDED IN THE C.C.R.D. PLAN BOOK 79 PAGE 39. SAID LOT IS SHOWN ON PLAN AS LOT 19.
- b.) CITY OF PORTLAND DUNE TAX ASSESSOR'S PLAN NO. 25 BLOCK M LOT 2
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY.
6. ZONING: IR-1 ISLAND RESIDENTIAL ZONE 1
SETBACKS :
FRONT- 30 FEET
REAR- 30 FEET
SIDE- 20 FEET
7. RECORD LOT MEETS STANDARDS BASED ON LAND USE CHAPTER 14 SEC. 14-433 IN THE CURRENT ZONING ORDINANCE OF THE CITY OF PORTLAND.
8. NO CHANGES TO TOPOGRAPHY ARE PLANNED.
9. SEE THE REPORT FILED WITH THE BUILDING PERMIT APPLICATION TO SUPPORT OUR OPINION THAT THIS IS A BUILDABLE LOT PURSUANT TO CITY OF PORTLAND LAND USE CODE SEC. 14-433 LOTS OF RECORD.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 15B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

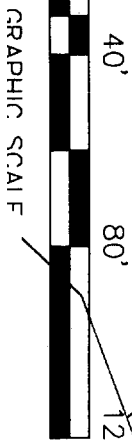
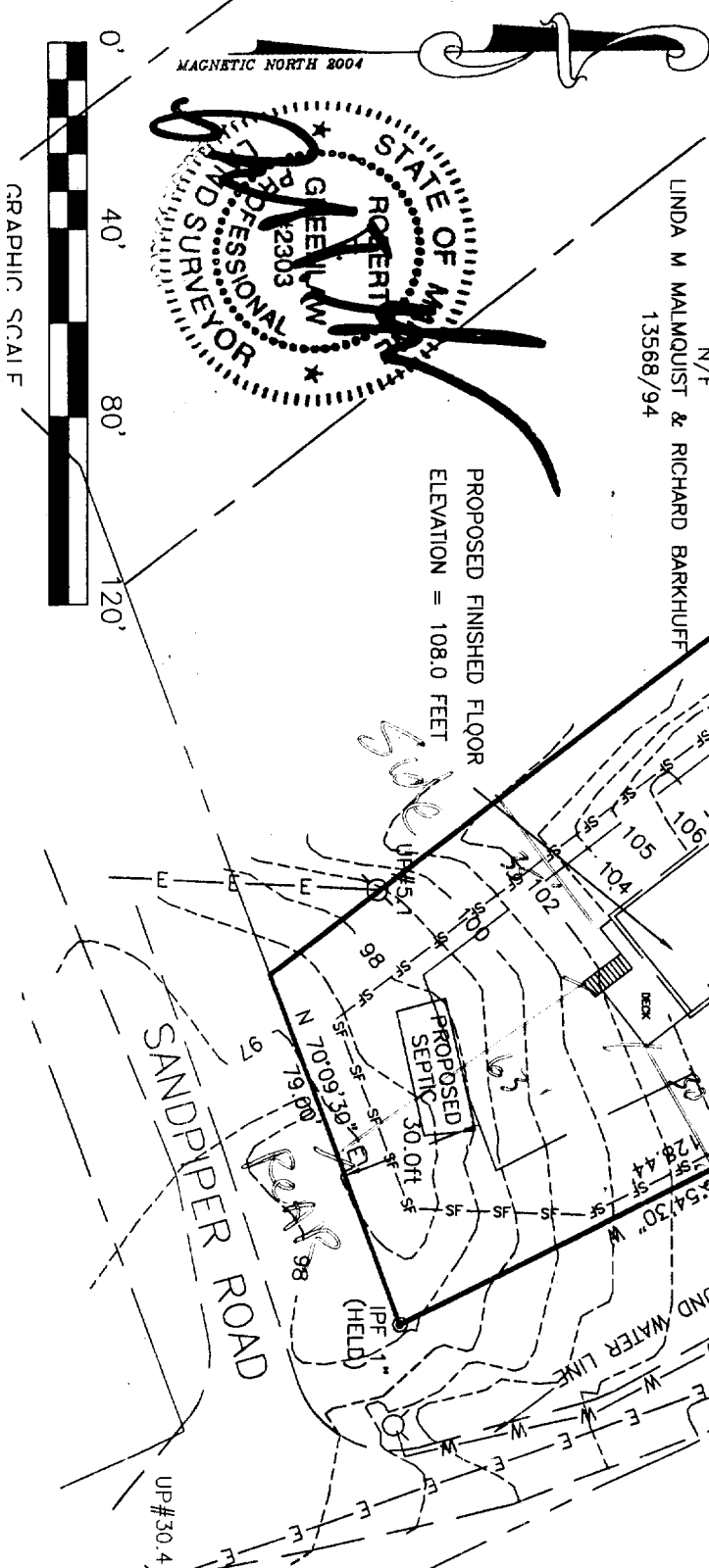
IPF © Iron Pipe Found	---100--- Contour Line
Abutter Line	—E— Overhead Utility
Property Line	⊕ Utility Pole
Street Line	⊕ Hydrant
Edge of traveled way	(50.00') Distance from reference plan or deed.
Set Back Line	N/F Now Or Formerly
SF — Silt Fence or Erosion Cntrl. Mix	2-1/2" DIAMETER (MIN) TREE TO REMAIN

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE NATIONAL BOARD OF SURVEYORS' STANDARDS FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE FOR PORTLAND, MAINE, 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS WERE SET

ROBERT T. GREENLAW P.L.S.
V. PRESIDENT BACK BAY BOUNDARY, INC.



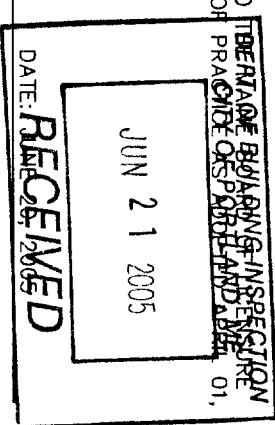
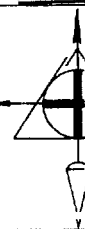
REVISED 06-20-2005: MOVED FRONT DOOR & DRIVE, ADDED TREES & SILT FENCE.
REVISED 05-24-2005: ADDED FRONT DOOR, ABUTTER AND LOT WIDTH.

PROPOSED SINGLE FAMILY DWELLING
32 ALDERBROOK ROAD PEAKS ISLAND, MAINE

FOR: **ROBERT MCTIGUE**

DRAWN BY: DMD
CHECKED BY: KCC
SCALE: 1"=40'
DATE: 12-09-2004
JOB NUMBER: 2004118
SHEET: 2 OF 2

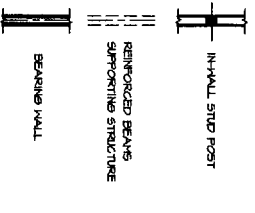
PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207 347-4346



GENERAL NOTES

- FRAMING LUMBER BEAMS, LINTELS, JOISTS TO BE GRADE NO 112
- ALL LINTELS TO BE 2"x2" X 12' UNLESS OTHERWISE NOTED.
- USE OF FLOOR JOISTS OR ROOF BATTENS MAY REQUIRE ADJUSTMENTS TO PLAN REFER TO MANUFACTURER'S INSTRUCTIONS.
- FLOOR JOISTS ARE TO BE DOUBLED UNDER PARALLEL PARTITIONS AND SHALL BE PLACED 4' APART TO ACCOMMODATE PARTITIONING.
- PROVIDE 2"x2" CROSS-BRIDGING SITUATED AT NO MORE THAN 7'-0" FROM A SUPPORT OR ROW OF BEAMS.
- ALL BEAMS SHALL BE SUPPORTED AT EXTERIORS BY BEAMS SUPPORTED ON MASONRY WALLS.
- AS A PRECAUTION, A FIREPROOF LAYER SHOULD BE INSTALLED BETWEEN FIREBOX OF REFRIGERATED FREEZER AND CONTROLLED ROOM.
- THE TOP FOUNDATION CENTER BEAM FINISHED GRADE LEVEL IS 4'-6".
- BEAMS OF STEEL SHALL BE SUPPORTED ON FOUNDATION SHALL BE INSTALLED ON A MINIMUM DISTANCE OF 24" FROM THE FACE OF THE FOUNDATION.
- THE MINOR DIMENSIONS DESCRIBED IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.
- WATERPROOFING BELOW GRADE SHALL BE PROTECTED BY GRAVEL COVERED WITH POLYETHYLENE SHEET AND A GRAVEL FILL 4" THICK TO BE INSTALLED OVER SHEET AND INSULATED ACCORDING TO THIS PLAN.
- CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND / OR THE CONTRACTOR'S BUILDING METHODS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THESE DIMENSIONS, CONTACT THE DESIGNER AS SOON AS POSSIBLE.
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE REPRESENTATION.
- BUILDING CONTRACTOR MUST:
 - 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
 - 2) VERIFY IF ANY LOCAL REGULATIONS OF DOCUMENTATION AND METHODS OF CONSTRUCTION, VENTILATION PLAN ETC) CHANGES TO PLAN.
 - 3) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
- DRUMMOND DESIGNS INC. DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS ON THESE PLANS.

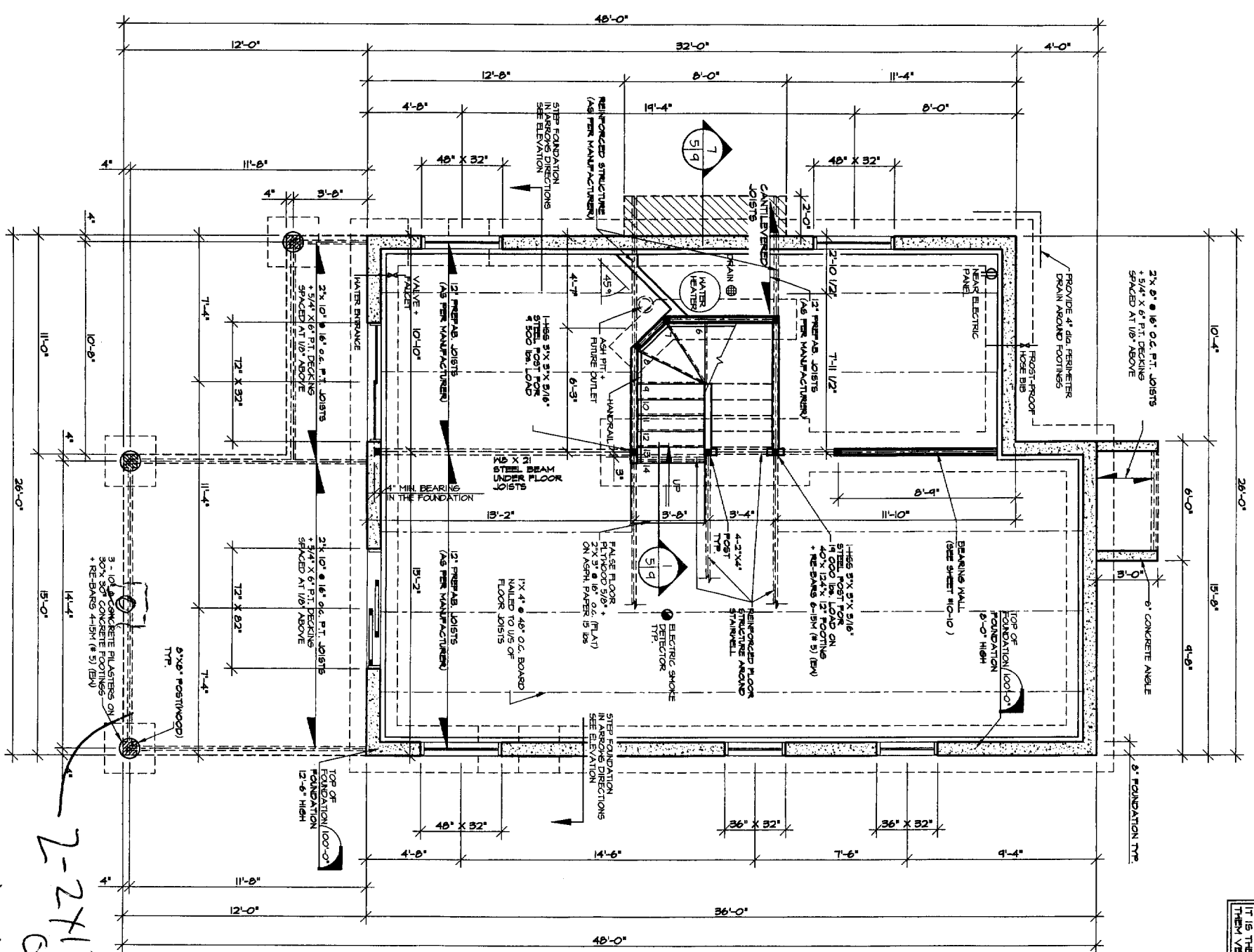
STRUCTURAL LEGEND



ABBREVIATION

- CL. CLOSET
- GV. GATE VALVE
- HR. HAND RAIL
- LIN. CL. LINEN CLOSET
- M.M. MICROWAVE OVEN
- MARK REFERRED TO DOOR SIZE SCHEDULE

THESE STAIRS HAVE BEEN DRAWN ACCORDING TO THE UNIVERSAL BUILDING CODE AND MIGHT NEED SOME ADJUSTMENTS TO COMPLY TO YOUR LOCAL CODE AND REGULATIONS. IT IS THEREFORE YOUR RESPONSIBILITY TO HAVE THEM VERIFIED BY YOUR REPRESENTATIVE.



DOOR SCHEDULE

MARK	SIZE
A	16' x 80"
B	16' x 80"
C	24' x 80"
D	26' x 80"
E	30' x 80"
F	32' x 80"
G	32' x 80"
H	48' x 80"
I	60' x 80"
J	64' x 80"
K	72' x 80"



DRUMMOND DESIGNS INC.
Your Home Plan Experts

2950 Lemire Blvd., Drummondville
(Quebec) Canada, J2B 7J6
1-800-567-5267

ATTENTION!

FOR ALL TECHNICAL INFORMATION THAT IS NEGLIGENT PLEASE REFER TO THE NUMBER ABOVE BEFORE OR DURING THE COURSE OF THIS PROJECT.

COMMENTS

SEND OFFICE: 1-800-567-5267

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND REGULATIONS AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, CONDITIONS VARY AND AS SUCH MAY REQUIRE CHANGES. THE CLIENT, CONTRACTOR, INSURER, AND INSURER WITH GOVERNMENTAL AND/OR BUILDING CODE REGULATIONS IN THEIR RESPECTIVE JURISDICTIONS SHALL BE RESPONSIBLE FOR ANY NECESSARY CHANGES TO THE PLAN. DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR ANY CHANGES MADE TO THESE PLANS AFTER THE USE OF THESE PLANS. THIS HOME PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. THE REVISION OF A HOME PLAN DOES NOT INCLUDE THE REVISED WORK UNLESS THE REVISED WORK IS TO BE BUILT WITH THIS HOME PLAN. DRUMMOND DESIGNS INC. IS A CERTIFIED RESIDENTIAL ENGINEER THAT YOU HAVE A PLAN AND MARK THE SEAL TO THE PLAN FOR SAFETY REASONS ON PARTICULAR REGULATIONS.

IMPORTANT STRUCTURAL NOTE
THE FLOOR FRAMING STRUCTURE AS BEEN DESIGNED CONFORMING TO THE STANDARD IN THE DRAWING. HOWEVER, LUMBER AND CONVENTIONAL DIMENSION WOOD MEMBERS, REINFORCED LUMBER SPLICERS OR MANUFACTURERS MAY PROVIDE COMPANION FLOOR FRAMING SYSTEMS, SHOWN IN THESE DRAWINGS. THE SUPPLIER OR MANUFACTURER MUST NOTIFY THE DESIGNER WITH ALL DESIGN CONTROL FOR REINFORCED LUMBER AND CONVENTIONAL DIMENSION WOOD MEMBERS IN THE CONSTRUCTION. EX. FOUNDATION STAIRS ETC.) ALL STRUCTURAL DESIGN CHANGES MUST BE REVIEWED BY A LICENSED PROFESSIONAL ENGINEER.

REVISION	NO	DATE	BY



DESIGNED BY: D.C.
DRAWN BY: C.B./E.S.T.H.
CHECKED BY: M.P.

PROJECT: NEW CONSTRUCTION (BASEMENT)
DRAWING: FOUNDATION PLAN

DATE: 24/04/2004
SCALE: 1/4"=1'-0"
PLAN NO.: 2916 eng.
SHEET NO.: 5-10

Ext. Lamn beam
2-2x10 beam

GENERAL NOTES

- FRAMING LIGERS, GENERAL LIMITS, JOIST TO BE GRADE NO. 1 & 2 UNLESS OTHERWISE INDICATED.
- ALL LIMITS TO BE 2'-2" X 12" UNLESS OTHERWISE NOTED.
- USE OF FLOOR JOISTS OR ROOF RAFTERS MAY REQUIRE ADJUSTMENTS TO PLAN REFER TO MANUFACTURER'S INSTRUCTIONS.
- FLOOR JOISTS ARE TO BE PARALLEL UNLESS PARALLEL PARTITIONS AND SHALL BE PLACED 4" APART TO ACCOMMODATE FLOORING FROM A SUPPORT OR JOIN OF BEAMS.
- PROVIDE 2" X 2" CROSS-BRIDGING SITUATED AT NO MORE THAN 7'-0" APART.
- APPLICATION OF MOIST RESISTANT FINISHES AT EXTERIORITIES AS SPECIFIED IN THE FINISH SCHEDULE.
- AS A PRECAUTION, A REINFORCED LIGER SHOULD BE INSTALLED BETWEEN FLOOR JOISTS OR RAFTERS.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE LEVEL: 5'-4" - THIS DEPTH MAY VARY ACCORDING TO TOPO LOCATION.
- SLOPE OF STEEL MEMBERS SUPPORTING ON EXTERIOR WALL SHALL BE 1/4" PER FOOT UNLESS OTHERWISE NOTED.
- THE HORIZONTAL DIMENSIONS DESCRIBED IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.
- BASEMENT WINDOWS BELOW GRADE WILL BE PROTECTED BY GALVANIZED STEEL WINDOWS WELLS AND A GRAVEL-FILLED SAND FILTER UNDER EACH WINDOW.
- CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND / OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLAN, AS SOON AS POSSIBLE ADVISE PROJECT ARCHITECT AND/OR ARCHITECT'S CONSULTANT.
- WRITTEN ORDERS ALWAYS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
- BUILDING CONTRACTOR MUST:

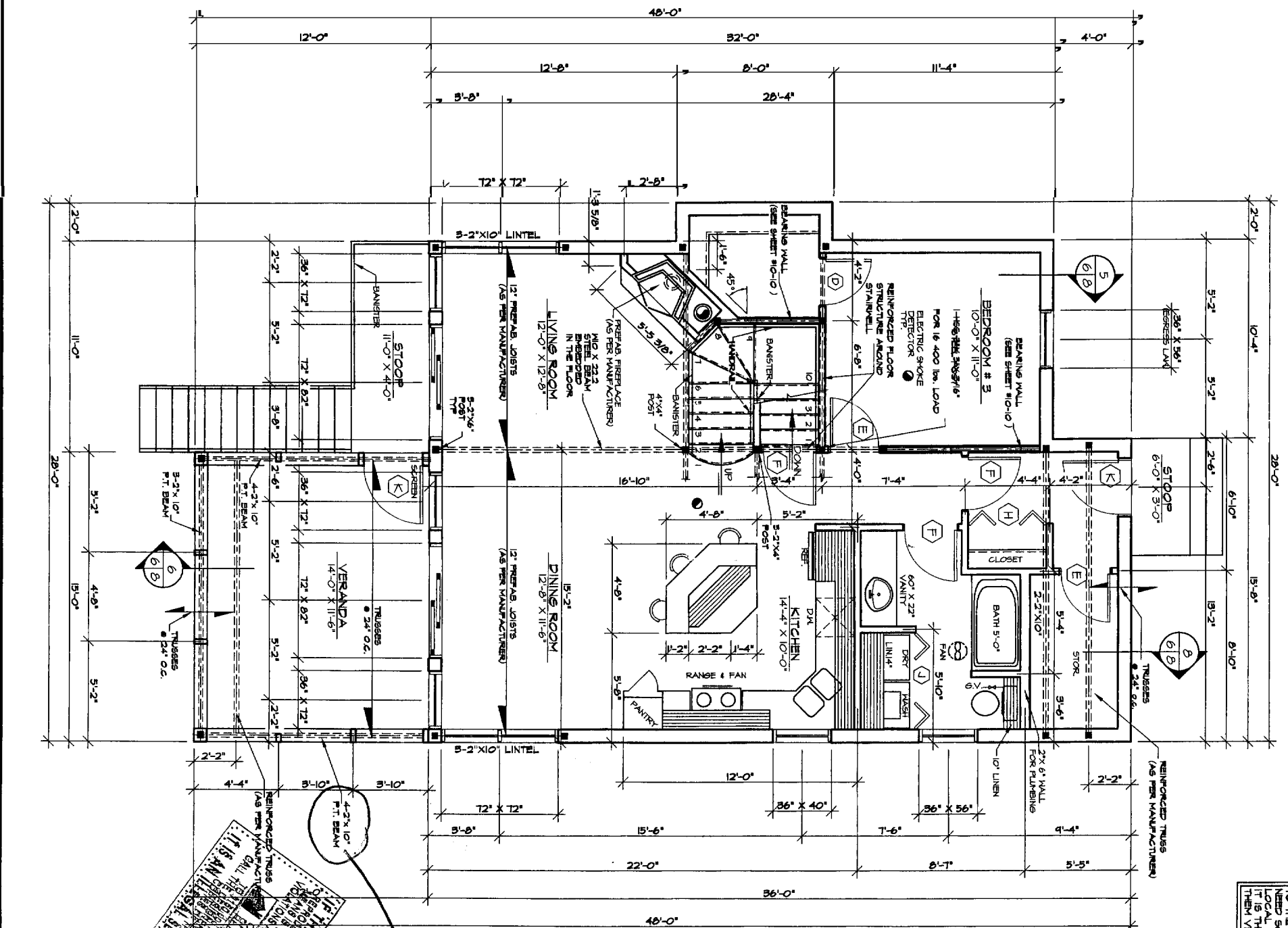
STRUCTURAL LEGEND

- I I I I I IN-WALL STD POST
- ||| REINFORCED BEAMS
- ||| REINFORCED STRUCTURE
- || BEARING WALL

ABBREVIATION

- CL CLOSET
- GV GATE VALVE
- HR HAND RAIL
- LN CL LINER CLOSET
- HWL MIDDRAWN OPEN

⊗ MARK REFERING TO DOOR
⊙ SIZE SCHEDULE



THESE STAIRS HAVE BEEN DRAWN ACCORDING TO THE UNIVERSAL BUILDING CODE AND MIGHT NEED SOME ADJUSTMENTS TO COMPLY TO YOUR LOCAL CODE AND REGULATIONS. IT IS THE USER'S RESPONSIBILITY TO HAVE THEM VERIFIED BY YOUR REPRESENTATIVE.

NOTE: THIS STAIR IS NOT RECORDED.
 THE STAIR IS NOT RECORDED BECAUSE THE STAIR IS NOT RECORDED IN THE LOCAL JURISDICTION. THE USER MUST OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION BEFORE CONSTRUCTION.

Per Reply M.
 6/29/05
 4-2X12

DOOR SCHEDULE	
MARK	SIZE
A	16" X 80"
B	16" X 80"
C	24" X 80"
D	28" X 80"
E	30" X 80"
F	32" X 80"
G	36" X 80"
H	40" X 80"
I	44" X 80"
J	54" X 80"
K	72" X 80"



DRUMMOND DESIGNS, INC.
 Your Home Plan Experts

2950 Lemire Blvd., Drummondville
 (800) 277-3738
 1-800-567-5287

ATTENTION!
 FOR ANY TECHNICAL INFORMATION THAT IS UNCLEAR AT THE USER'S ABOVE REFER OR DRAWING AT THE CORNER OF THE PROJECT.
COMMENTS
 E-MAIL: info@drummonddesigns.com
 TEL OFFICE: 1-800-567-5287

NOTES:
 THESE PLANS HAVE BEEN DRAWN ACCORDING TO THE UNIVERSAL BUILDING CODE. THE USER MUST OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION BEFORE CONSTRUCTION.
 THE USER MUST OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION BEFORE CONSTRUCTION.
 THE USER MUST OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION BEFORE CONSTRUCTION.

IMPORTANT STRUCTURAL NOTE
 THE FLOOR FINISHING STRUCTURE AS BEEN DESIGNED ACCORDING TO THE STANDARDS IN USE, USING A REINFORCED CONCRETE SLAB ON GRADE. THE USER MUST OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION BEFORE CONSTRUCTION.
 THE USER MUST OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION BEFORE CONSTRUCTION.



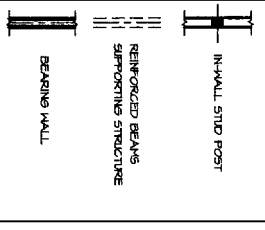
DESIGNED BY: D.C.
 DRAWN BY: C.B./E.S.T.-H.
 CHECKED BY: M.P.
 COMPUTER ASSISTED DRAFTING

PROJECT: **NEW CONSTRUCTION**
 (BASEMENT)
 DRAWING: **GROUND FLOOR PLAN**
 DATE: 24/09/2004
 SCALE: 1/4" = 1'-0"
 PLAN NO.: 2416 enq.
 SHEET NO.: 6-10

GENERAL NOTES

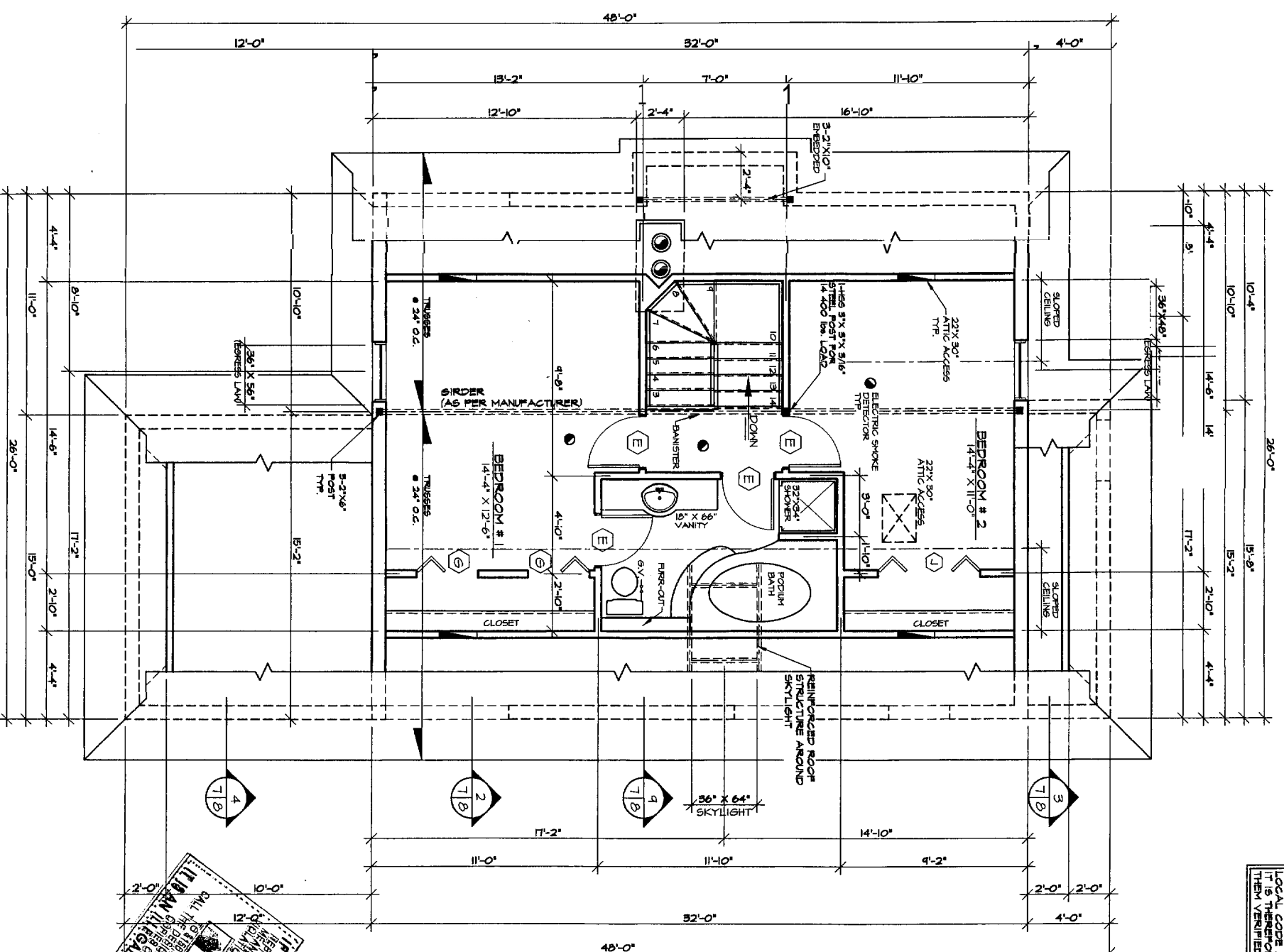
- FRAMING LUMBER BEAMS, LISTS, JOIST TO BE GRADE NO 1 & 2 SPECIES UNLESS OTHERWISE INDICATED.
- ALL LIMITS TO BE 3/4" X 1/2" UNLESS OTHERWISE NOTED.
- USE OF FLOOR JOISTS OR ROOF RAFTERS MAY REQUIRE ADJUSTMENTS TO PLAN REFER TO MANUFACTURER'S INSTRUCTIONS.
- FLOOR JOISTS ARE TO BE DOUBLED UNDER PARALLEL PARTITIONS AND SHALL BE PLACED 4" APART TO ACCOMMODATE FINISHING.
- PROVIDE 2" X 2" CROSS-RODING SITUATED AT NO MORE THAN 7'-0" FROM A SUPPORT OR END OF BEARING.
- APPLICATION OF MOOR PROTECTIVE REQUIRED AT EXTERIORITIES.
- ALL EXTERIOR WALLS TO BE FINISHED WITH WEATHER RESISTANT FINISH.
- AS A PRECAUTION, A FIRESTOPPING LAYER SHOULD BE INSTALLED BETWEEN FIRESTOP OF PREFABRICATED INTERLACE AND COMBUSTIBLE FINISHING.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED SECOND LEVEL IS 4'-6".
- FINISH FLOOR VENT ACCORDING TO YOUR LOCATION.
- SIZE OF STEEL AND BRACKETED ON EXTERIOR WALL.
- THE HATCHED DIMENSIONS DESCRIBED IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.
- BAY-BENT WINDOW SILLON GRADE WILL BE PROTECTED BY GALVANIZED STEEL WINDOW WELLS AND A GRAVEL-FILLED 4" ACCORDING TO THIS PLAN. REFER DOWN AND INSTALLED.
- CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND / OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLAN, AS SOON AS POSSIBLE, COVER DRAFTSMAN DESIGNING INC.
- INTERNAL DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.
- BUILDING CONTRACTOR MUST:
 - 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
 - 2) VERIFY IF APPLICABLE REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS FOR SPECIFICATIONS, VENTILATION PLAN ETC. APPLIED TO PLAN.
 - 3) VERIFY ALL DIMENSIONS RESULTING FROM CHANGES TO PLAN.
- DRUMMOND DESIGNS INC. DOES NOT ASSUME LIABILITY FOR AIR OPERATIONS ON THESE PLANS.

STRUCTURAL LEGEND



ABBREVIATION

- CL. CLOSET
 - G.V. GATE VALVE
 - H.R. HAND RAIL
 - LIN. CL. LINEN CLOSET
 - M.V. MICROWAVE OVEN
- ⊕ MARK REFERENCING TO DOOR
⊕ SIZE SCHEDULE



THESE STAINS HAVE BEEN DRAWN ACCORDING TO THE UNIVERSAL BUILDING CODE AND MIGHT BE A SOURCE OF DISTRESS TO YOU. IT IS THEREFORE YOUR RESPONSIBILITY TO HAVE THEM VERIFIED BY YOUR REPRESENTATIVE.

IMPORTANT NOTE:
THIS IS A PRELIMINARY DRAWING. IT IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY DRUMMOND DESIGNS INC. BEFORE PROCEEDING.

MARK	DOOR SCHEDULE	SIZE
A	16" X 80"	
B	24" X 80"	
C	28" X 80"	
D	30" X 80"	
E	32" X 80"	
F	36" X 80"	
G	40" X 80"	
H	44" X 80"	
I	48" X 80"	
J	52" X 80"	
K	56" X 80"	
L	60" X 80"	
M	64" X 80"	
N	68" X 80"	
O	72" X 80"	

DRUMMOND DESIGNS INC.
Your Home Plan Experts

2990 Lemire Blvd, Drummondville
(Quebec) Canada J2B 7J6
1-800-567-5267

ATTENTION!
FOR AIR TIGHTNESS INFORMATION THAT IS UNCLARIFIED AT THE NUMBER ABOVE BEFORE OR DURING THE COURSE OF THIS PROJECT.

COMMENTS

NOTES:
THESE PLANS HAVE BEEN DRAWN ACCORDING TO LOCAL QUALITY STANDARDS AND PROVISIONS AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR MUST VERIFY AND INSURE WITH GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE AREA WHERE THE HOME WILL BE BUILT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY DRUMMOND DESIGNS INC. BEFORE PROCEEDING.

IMPORTANT STRUCTURAL NOTE
THE FLOOR FRAMING STRUCTURE AS BEEN DESIGNED ACCORDING TO THE STANDARDS IN USE UNDER A LICENSED PROFESSIONAL ENGINEER'S SUPERVISION. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY DRUMMOND DESIGNS INC. BEFORE PROCEEDING.

REVISION	NO	DATE	BY



DESIGNED BY: D.C.
DRAWN BY: C.B./EST-H.
CHECKED BY: M.P.

PROJECT: NEW CONSTRUCTION (BASEMENT)
DRAWING: SECOND FLOOR PLAN
DATE: 24/09/2004
SCALE: 1/4"=1'-0"
PLANNING: 2416 ENG.
SHEET NO.: 7-10



DRUMMOND DESIGNS INC.
Your Home Plan Experts

2550 Lemire Blvd., Drummondville
(Quebec) Canada, J2B 7J6
1-800-567-5267

ATTENTION!

FOR ANY TECHNICAL INFORMATION THAT IS UNCLEAR PLEASE CONTACT DRUMMOND DESIGNS INC. AT THE ABOVE ADDRESS OR BY PHONE OR E-MAIL.

COMMENTS

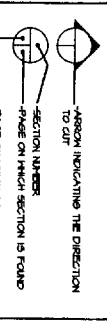
E-MAIL: head@drummondsg.com
HEAD OFFICE: 1-800-567-5267

NOTES:

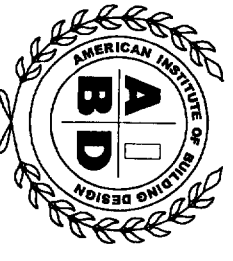
THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-LEVEL BUILDING CODES AND LOCAL BUILDING CODES. LOCAL REGULATIONS AND LOCAL BUILDING CODES REQUIRE THE BUILDING CONTRACTOR MUST REVIEW AND AGREE WITH THE CLIENT THAT THE PLANS CONFORM TO ALL CURRENT IN THE JURISDICTION WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF THE BUILDING REGULATIONS. WE WILL NOT ASSUME LIABILITY FOR REMOVALS BEFORE DURING OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.
THIS HOME PLAN HAS BEEN ORIGINALLY DRAWN BY AN ARCHITECT. THE ARCHITECT'S PROFESSIONAL LIABILITY INSURANCE COVERAGE DOES NOT INCLUDE THE REMOVAL FOR ADVERTISING USE. THIS LICENSE CAN BE REVOKED FOR VIOLATION OF THE LICENSE OR A LICENSE IS BUILT WITH THIS HOME PLAN.
YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS FOR CONSTRUCTION. CONTACT YOUR LOCAL BUILDING DEPARTMENT FOR PARTICULAR REGULATIONS.

NOTE: MANUFACTURER MUST VERIFY ALL DIMENSIONS TO CHECK FOR COMPLIANCE WITH LOCAL REAL CODES. MANUFACTURERS DESIGN, SPECIFICATIONS, HOLDINGS, REGULATORY AND RELEVANT TRUSS BEAMS MUST BE REVIEWED AS PER TRUSS MANUFACTURER AND CODE REQUIREMENTS.

CROSS SECTION



REVISION	NO.	DATE	BY

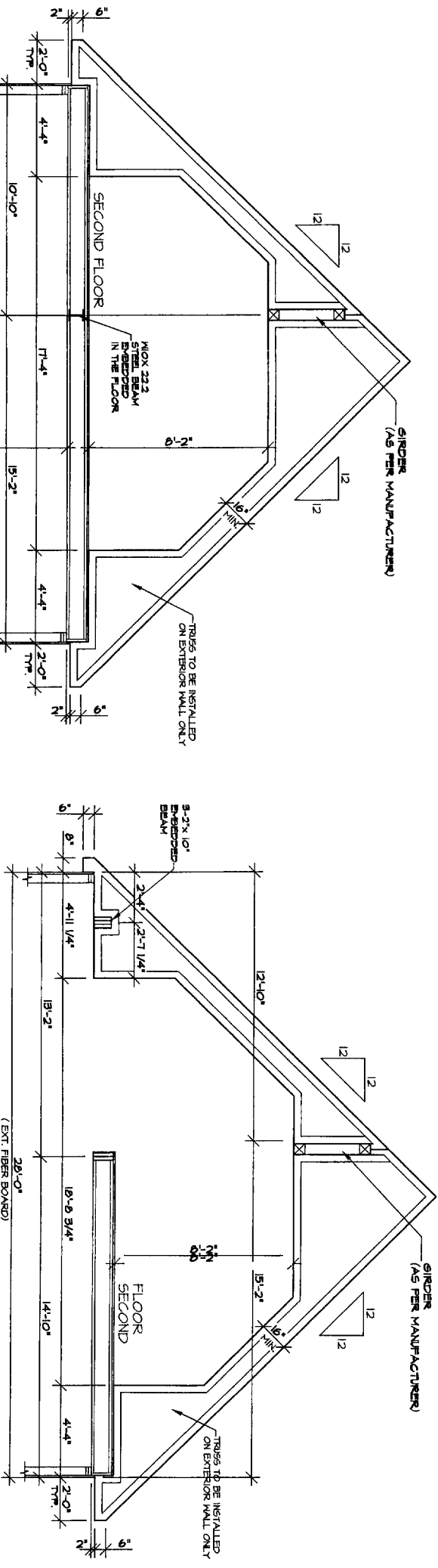


DESIGNED BY: D.C.
DRAWN BY: C.B./E.S.T.H.
CHECKED BY: M.P.
COMPUTER ASSIGNED DRAWING
CLIENT:

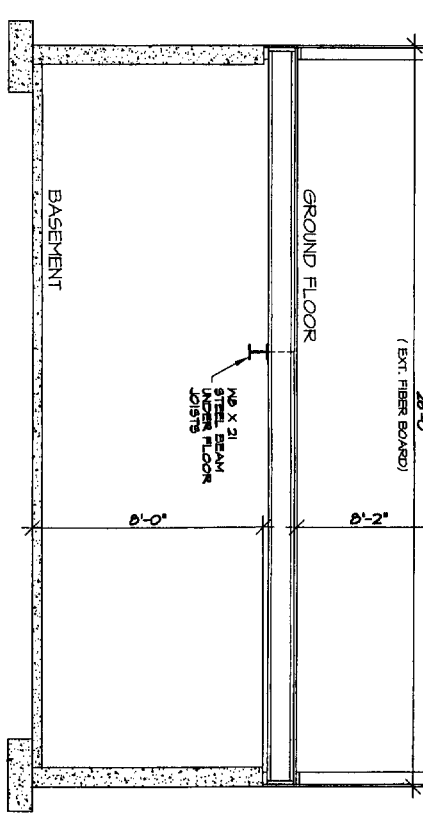
PROJECT: **NEW CONSTRUCTION**
(BASEMENT)

DRAWING: **TRUSS DIAGRAM**

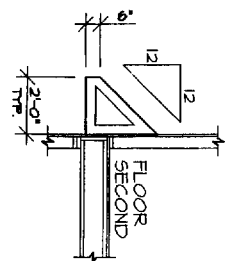
DATE: 24/04/2004
SCALE: 1/4"=1'-0"
PLAN NO.: 2416 eng.
SHEET NO.: 8-10



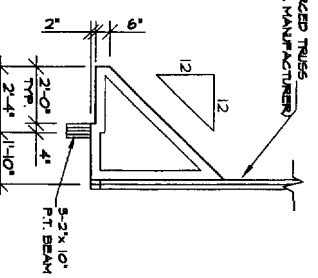
SECTION 9
7/8



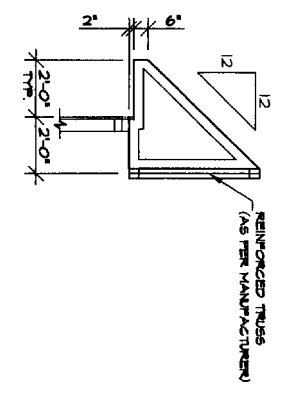
SECTION 2
7/8



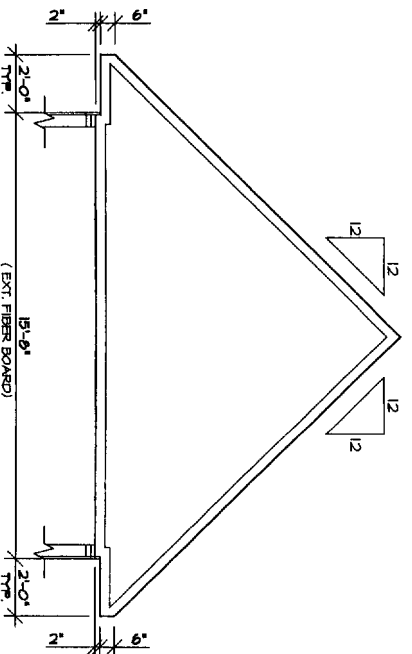
SECTION 5
6/8



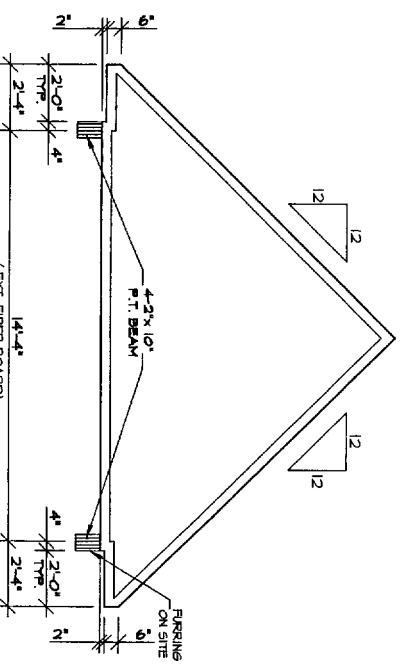
SECTION 6
6/8



SECTION 8
6/8



SECTION 3
7/8



SECTION 4
7/8

THESE STAIRS HAVE BEEN DRAWN ACCORDING TO THE UNIVERSAL BUILDING CODE AND MIGHT NEED SOME ADJUSTMENTS TO COMPLY TO YOUR LOCAL CODES. IT IS THEREFORE YOUR RESPONSIBILITY TO HAVE THEM VERIFIED BY YOUR REPRESENTATIVE.



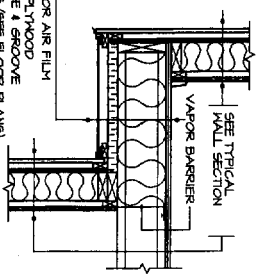
DRUMMOND DESIGNS INC.
Your Home Plan Experts

2350 Laramie Blvd., Drummondville
(Quebec) Canada J2B 7J6
1-800-567-5267

ATTENTION!
FOR AIR TECHNICAL INSULATION THAT IS INCLINED AT THE WALLS ABOVE BEFORE OR DURING THE COURSE OF THIS PROJECT.

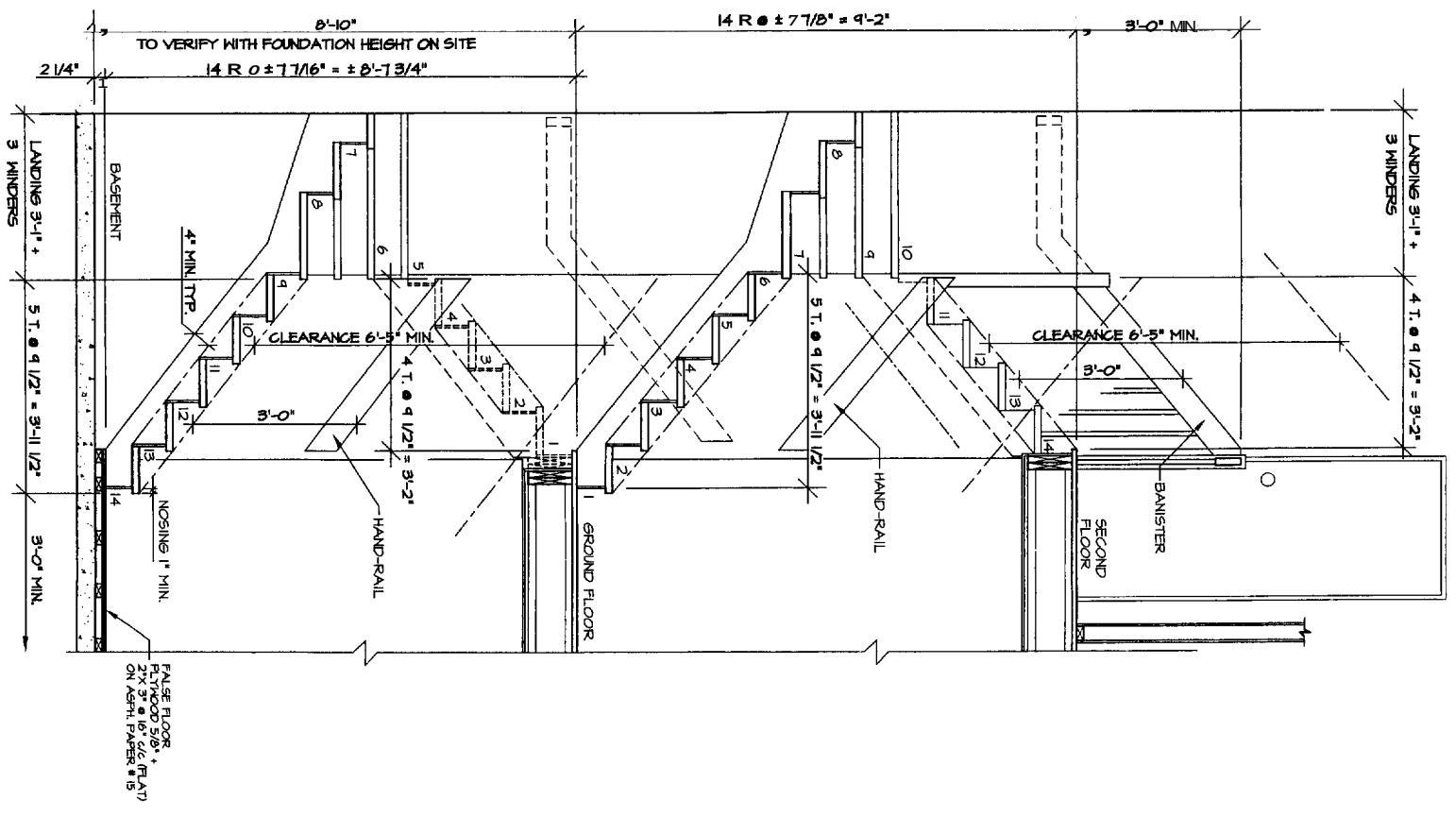
COMMENTS
E-MAIL: info@drummondsigns.com
HEAD OFFICE: 1-800-567-5267

NOTES:
1. THESE STAIRS HAVE BEEN DRAWN ACCORDING TO HIGH-BUILDING STANDARDS AND REQUIRE CONSTRUCTION, WORKER SAFETY, VENTILATION AND AS SUCH MAY REQUIRE CODE REVISIONS. THE BUILDING CONTRACTOR MUST REVIEW AND INSURE WITH AN APPROPRIATE INSURANCE POLICY. THE BUILDING CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL MUNICIPALITY BEFORE THE HOME WILL BE BUILT. THE CONTRACTOR MUST VERIFY THE VERIFICATION OF THE INSULATION RESOLUTIONS.
2. DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR DAMAGES BEFORE DURING OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.
3. THIS HOME PLAN HAS BEEN ORIGINALLY DRAWN BY AN ARCHITECT AND IS NOT A CONTRACT DOCUMENT.
4. THE PURCHASE OF A HOME PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING. THE LICENSE CAN BE OBTAINED FROM THE ARCHITECTURE BOARD OF THE PROVINCE OF QUEBEC. THE LICENSE IS MORE THAN ONE HOUR TO BE BUILT WITH THE HOME PLAN.
5. YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A PLAN AND APPROX 16 SOIL TO THE PLAN FOR SAFETY REASONS OR PARTICULAR REGULATIONS.



- 0.01 INTERIOR AIR FILM
- 0.00 5/8" PLYWOOD TONGUE & GROOVE
- 1.00 JOISTS (SEE FLOOR PLAN)
- 3.10 R-31 BATT INSULATION
- 1.00 1/2" RIGID INSULATION
- 0.11 AIR BARRIER
- 1" X 3" FASERIS
- SOFFIT + J HOLDING
- 0.11 EXTERIOR AIR FILM
- 40.49 TOTAL

SECTION 7/59
NO SCALE



SECTION 5/9
SCALE: 1/2" = 1'-0"

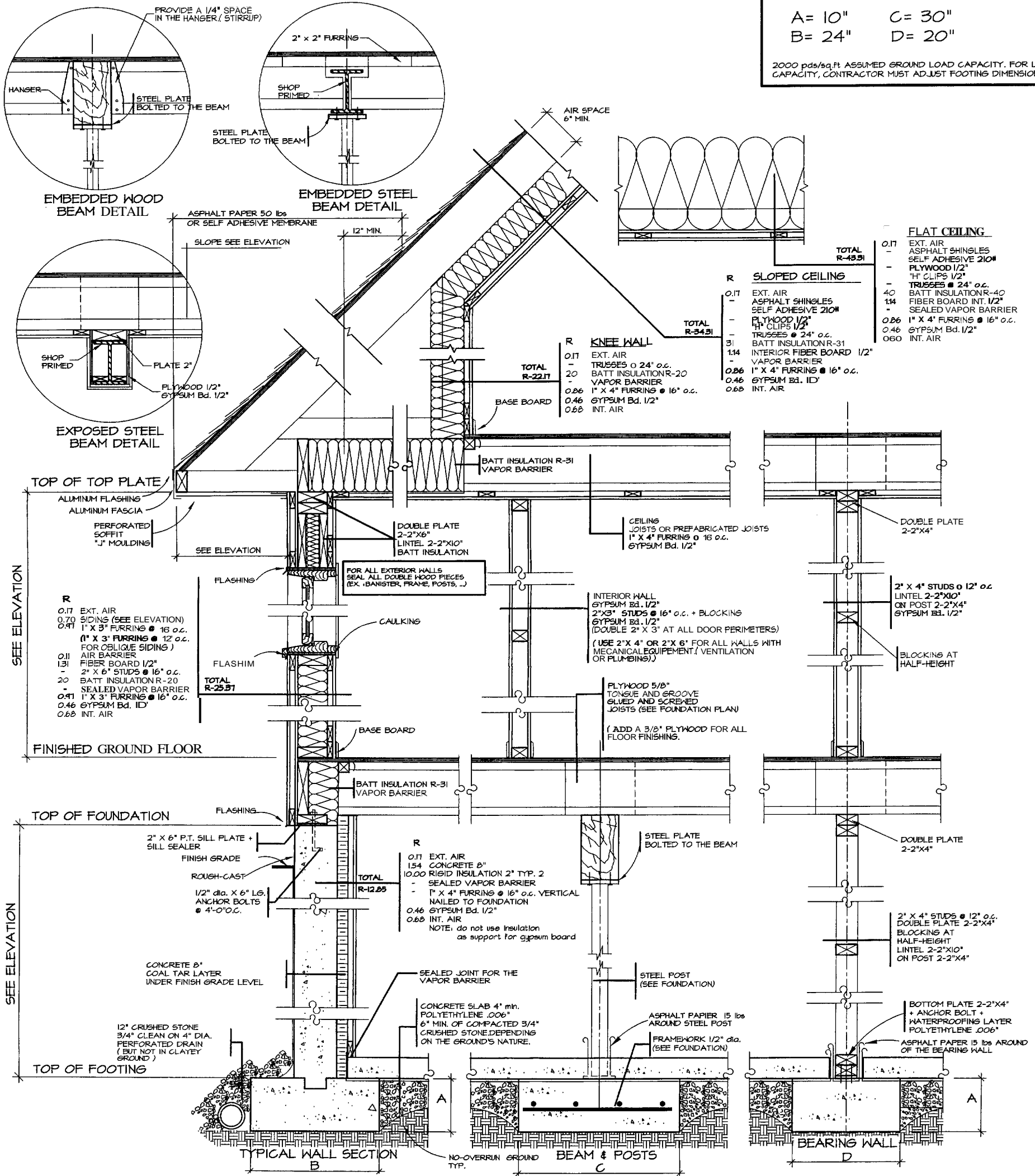
		DESIGNED BY D.C.
		DRAWN BY C.B./E.S.T.-H.
CLIENT M.P.		CHECKED BY M.P.
PROJECT NEW CONSTRUCTION (BASEMENT)		
DRAWING SECTIONS and DETAILS		
DATE 24 / 04 / 2004	SCALE AS SHOWN	
PLAN NO. 2416 eng.	SHEET NO. 4-10	



FOOTING DIMENSION (UNLESS OTHERWISE NOTED)

A = 10" C = 30"
 B = 24" D = 20"

2000 pds/sq.ft ASSUMED GROUND LOAD CAPACITY. FOR LESSER CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS.



<p>PROJECT NEW CONSTRUCTION (BASEMENT)</p>		<p>DATE 24/09/2004</p>		<p>SCALE AS SHOWN</p>	
<p>DRAWING SECTIONS and DETAILS</p>		<p>PLAN NO. 2/16 enq.</p>		<p>SHEET NO. 10-10</p>	

AMERICAN INSTITUTE OF BUILDING DESIGN

PREPARED BY
 D.C.

DRAWN BY
 C.B./E.S.T.-H.

CHECKED BY
 M.P.

COMPUTER ASSISTED DRAWING

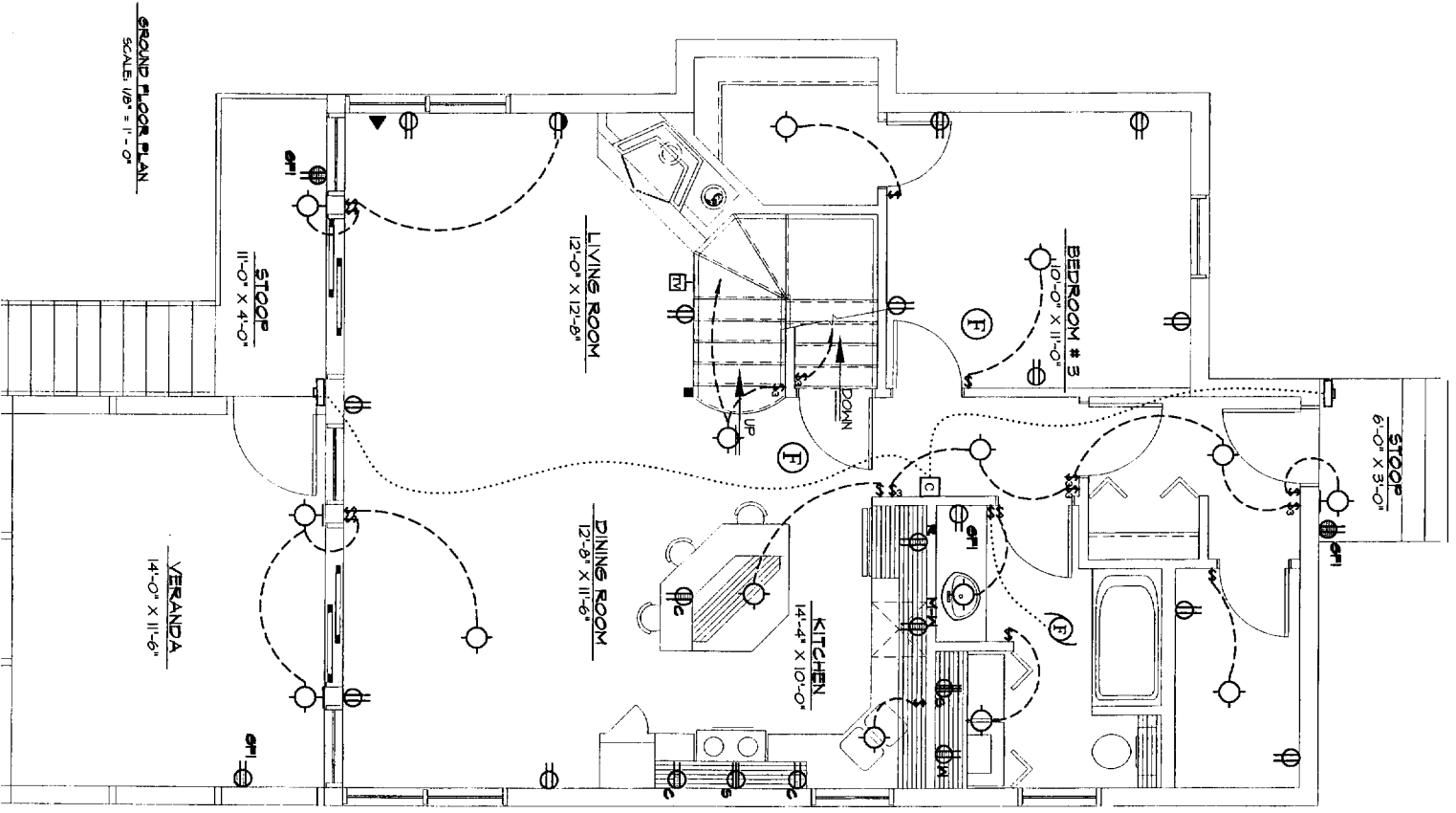
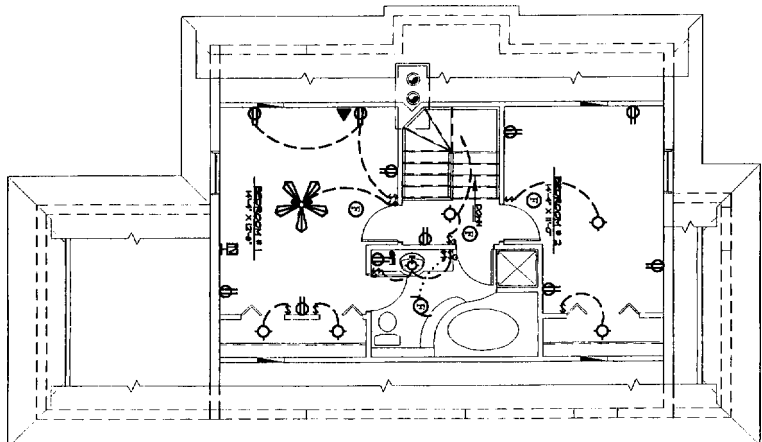
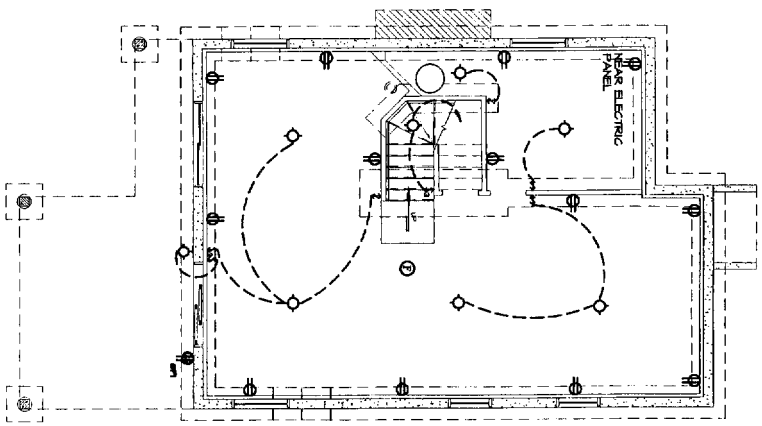
ATTENTION!
 FOR ANY TECHNICAL, INFORMATIONAL, OR CONTRACTUAL REVISIONS, PLEASE CONTACT THE PROJECT MANAGER AT THE NUMBER ABOVE BEFORE THE BEGINNING OF THE CONSTRUCTION OF THIS PROJECT.

COMMENTS
 None

NOTES
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

DRUMMOND DESIGNS INC.
 Your Home Plan Experts

2950 Boul. Lemire, Drummondville
 (Québec) Canada J2B 7R8
 1-800-561-3267



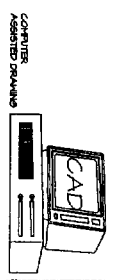
ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	HEAD-WAVE OUTLET
	WASHER OUTLET
	REFRIGERATOR OUTLET
	RANGE OUTLET
	COUNTER TOP RANGE OUTLET
	DISHWASHER OUTLET
	SMOKE OUTLET
	SEALED AIR OUTLET
	RANGE OUTLET
	GAS ELECTRIC PANEL
	CENTRAL VAULT
	EXHAUST FAN
	LIGHT
	ELECTRIC LIGHT
	ELECTRIC SMOKE DETECTOR
	TELEVISION CABLE
	PHONE OUTLET
	DOOR BELLS
	RADIATOR

TYPICAL ELECTRICAL LAYOUT PLAN AND INSTALLATION

THE LOCATION OF THE ELECTRICAL MAIN ENTRANCE OF THE RESIDENCE IS DECIDED ON THE CONSTRUCTION SITE AND CAN BE PLACED ON EITHER ONE OF THE FOUR FOUNDATIONS WALLS OF THE CONSTRUCTION.

THERE ARE MULTITUDES OF INSTALLATION POSSIBILITIES FOR AN ELECTRICAL SYSTEM AND ITS COMPONENTS. A QUALIFIED ELECTRICIAN WILL ADAPT YOUR ELECTRICAL SYSTEM TO THIS PLAN IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THESE JURISDICTIONS.

PLEASE TAKE NOTE THAT THE ELECTRICAL LAYOUT INDICATED ON THIS PLAN IS DESCRIBED AS A PREVIEW FOR THE FUTURE OWNER.



DRUMMOND DESIGNS INC.
Your Home Plan Experts

TITLE		BASEMENT	
DESIGNER	DATE	SCALE	NO. PER FILE
C.B./EST-H	24-04-04	2x1/8" = 1'-0"	SHEET NO.