

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 070183

Please Read Application And Notes, If Any, Attached

This is to certify that WINTER-DIGIROLAMO JAMES & COLLEEN WINTER-DIGIROLAMO
has permission to Expand & Reconfigure existing deck & stairs on front of building
AT 26 MAPLE ST SE 085 J019001

PERMIT ISSUED	
MAY 11 2007	

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

4/10/07 *Cheryl A. [Signature]*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0183	Issue Date:	CBL: 085 J019001
-----------------------	-------------	---------------------

Location of Construction: 26 MAPLE ST <i>Peak's Island</i>	Owner Name: WINTER-DIGIROLAMO JACK &	Owner Address: 26 MAPLE ST	Phone:
Business Name:	Contractor Name: Home owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family Home	Proposed Use: Single Family Home - Expand & Reconfigure existing deck & steps on front of building	Permit Fee: \$170.00	Cost of Work: \$15,000.00	CEO District: 2
Proposed Project Description: Expand & Reconfigure existing deck & steps on front of building		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>Q-3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>2/20/07 CL</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 02/20/2007	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input checked="" type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan <i>O.K.</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>4/10/07 CL-MH</i>	Date: _____	Date: <i>4/10/07 CL-MH</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0183	Date Applied For: 02/20/2007	CBL: 085 J019001
------------------------------	--	----------------------------

Location of Construction: 26 MAPLE ST	Owner Name: WINTER-DIGIROLAMO JACK &	Owner Address: 26 MAPLE ST	Phone:
Business Name:	Contractor Name: Home owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Expand & Reconfigure existing deck & steps on front of building	Proposed Project Description: Expand & Reconfigure existing deck & steps on front of building
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 04/10/2007**Note:** **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 04/10/2007**Note:** **Ok to Issue:**

- 1) This permit is issued based on the plans submitted. Variations in actual construction that effect grades may change the requirements for handrails and guards.
- 2) Fastener schedule per the IRC 2003
- 3) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 5) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.

Comments:

3/1/2007-csh: Applicants figures on setback averaging and lot coverage exceed allowable increase CSH 03/01/2007

3/26/2007-jmb: Spoke with Marge and verified the averaging procedure. All the dimensions should be measured to the same reference line, ie. The edge of the ROW or the lot lines. In this case it's to the edge of the paved road which can be verified using the 40' ROW from PW. Called Jack and asked to submit a new revised plot plan showing the proposed deck with dimensions to the ROW (same as adjacent lots), and reduction in dimensions to meet the 20% lot coverage max. The steps can be under Sec. 14-436 for 50 S. F. The calcs on the average are 14' + 25'(min for zone)= 39', average = 19.5' at the shortest point at the right corner.

Jack DiGirolamo
40 Hilltop Drive
North Salem, New York 10560

914-669-5000 phone and fax
Cell 914-760-5933

FAX

To: Chris Hansen	From: Jack DiGirolamo
Co: Portland Building Dept.	Pages: 3
Fax: 207-874-8716	Date: 04-06-07
Re: 26 Maple Ave., Peaks Island	CC:
Revised Plan and Elevation	

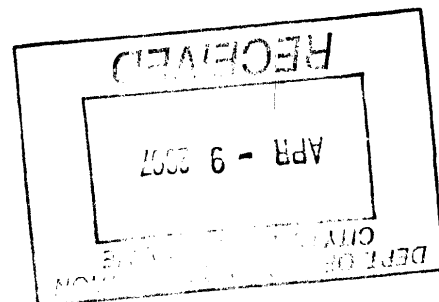
Urgent
 For Review
 Please Comment
 Please Reply
 Please Recycle

Chris,

Here is the revised plan and elevation of the deck as discussed. Please approve and issue a permit.

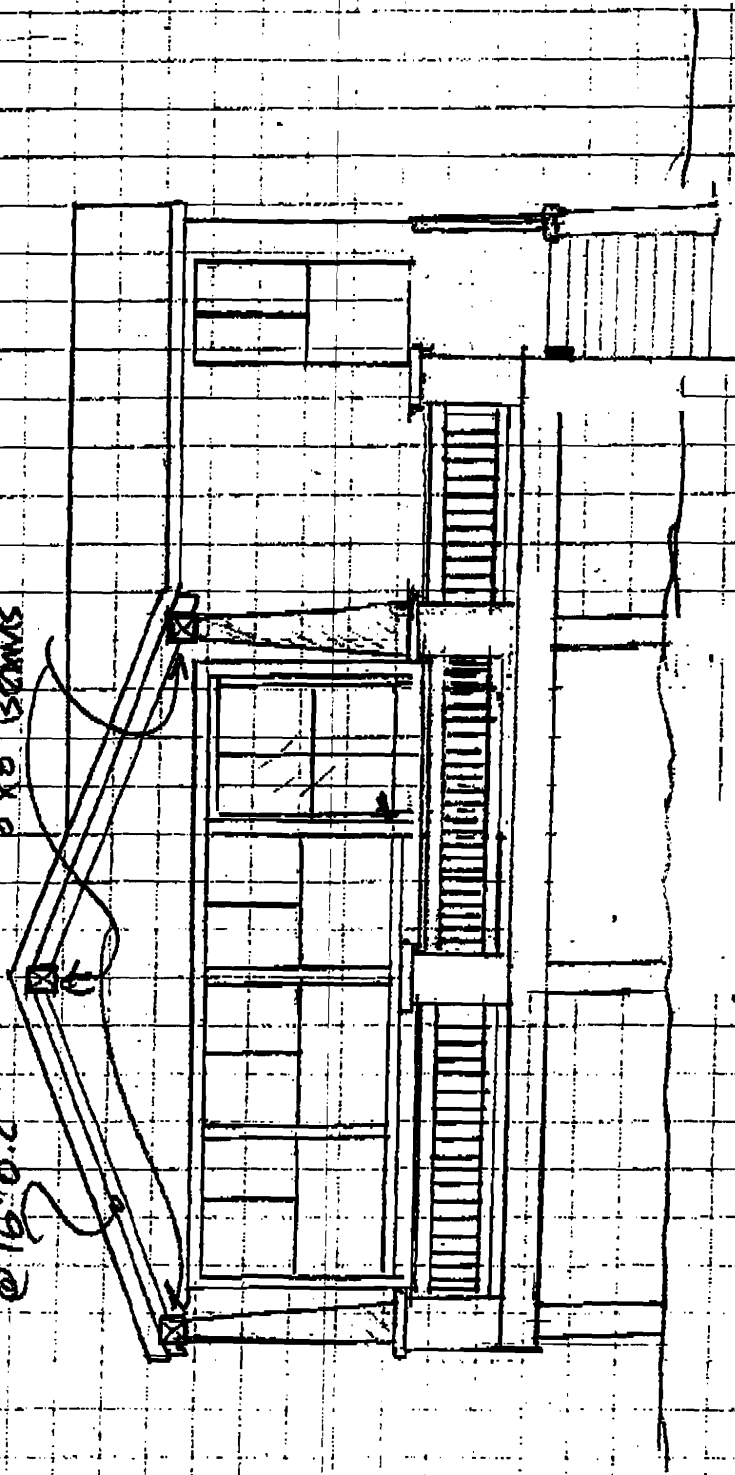
Regards,

Jack

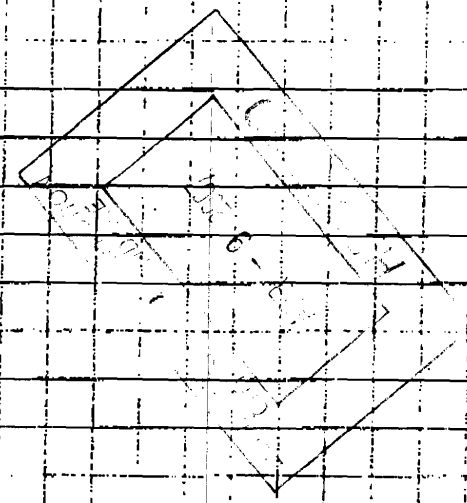


(3) 8" x 8" BEAMS

2" x 6" ROOF PATTERNS @ 16" O.C.



NO TO SCALE



- c. 14.417. Reserved.
- Sec. 14-418. Reserved.
- Sec. 14-419. Reserved.
- Sec. 14-420. Reserved.

DIVISION 25. SPACE AND BULK REGULATIONS AND EXCEPTIONS

Sec. 14-421. Generally.

The requirements of this article shall be subject to the space and bulk regulations and exceptions of this division.
(Code 1968, § 602.19.A)

Sec. 14-422. Reduction of lot area prohibited.

No lot shall be so reduced that yards, lot width, lot frontage, lot area, area per dwelling unit, and space for off-street parking and/or off-street loading shall be less than the minimum required under this article.
(Code 1968, § 602-19.A)

Sec. 14-423. Joint occupancy.

When two (2) or more uses occupy the same building or premises, the off-street parking and loading requirements and the area per dwelling unit requirements of both uses shall be met in full.
(Code 1968, § 602.19.B)

Sec. 14-424. Required open space.

No part of a yard or other open space required about any building under this article shall be included as a part of a yard or other open space required for another building.
(Code 1968, § 602.19.C)

Sec. 14-425. Projections in required yard areas.

Any yard may be occupied by a one-story entrance porch not enclosed, with or without a roof, if the area of the porch does not exceed fifty (50) square feet nor the projection from the building exceed six (6) feet. A basement bulkhead of similar size, but not more than twenty four (24) inches in height, is also permitted. A cornice eave, sill, canopy, chimney, or other similar architectural feature, but not including a bay window, may project into any

Required yard a distance of not more than two (2) feet.
(Code 1968, § 602.19.D; Ord. No.78-03/04, 10-20-03)

Sec. 14-426. Fences.

In residence zones no wall or fence along a street line or within twenty-five (25) feet of a street line shall be more than four (4) feet in height unless said fence is located in the side or rear yard and is reviewed by the public works authority and found not to be a traffic or public safety hazard, subject to the provisions of section 14-434.

(Code 1968, § 602.19.E; Ord. No. 247-97, 4-9-97)

Sec. 14-427. Enclosure of porches.

Any open porch existing with a roof over the same on June 5, 1957, an encroaching upon any yard required by this article may be enclosed if the major portion of the enclosure is of glass.

(Code 1968, § 602.19.F)

Sec. 14-428. Corner lots.

In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.

(Code 1968, § 602.19.G)

Sec. 14-429. Lot surrounded by streets or alleys.

Where a lot containing ten thousand (10,000) square feet or less is completely surrounded by streets or alleys, the building area may be increased twenty (20) percent.

(Code 1968, § 602.19.H)

Sec. 14-430. Height limits.

(a) *Roof structure.* Roof structures for the housing of elevators, stairways, tanks, fans, or other building operating equipment not intended for human occupancy, skylights, steeples,

Jack DiGirolamo
40 Hilltop Drive
North Salem, New York 10580

914-669-5000 phone and fax
Cell 914-760-5933

FAX

To: Jeannie **From:** Jack DiGirolamo

Cc: Portland Building Dept. **Pages:** 3

Fax: 207-874-8716 **Date:** 03-26-07

Re: 26 Maple Ave., Peaks Island **CC:**

Set backs & Area of Deck/Steps

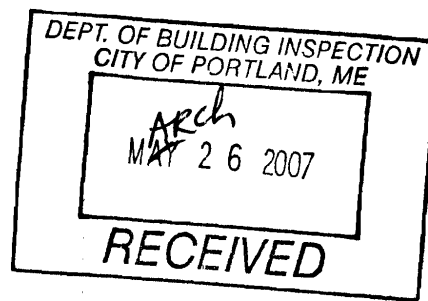
Urgent For Review Please Comment Please Reply Please Recycle

Hi Jeannie,

Here is the information that you requested. Please give me a call if any additional information is needed and thank you for your help.

Regards,

Jack





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>26 MAPLE ST., PEAKS ISLAND, ME</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>JACK & COLLEEN WINTER-DIGIROLAMO</u>	Telephone: <u>914 - 760-5933</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>JACK WINTER-DIGIROLAMO 26 MAPLE ST. PEAKS ISLAND, ME</u>	Cost Of Work: \$ <u>15,000⁰⁰</u> Fee: \$ <u>120⁰⁰</u> C of O Fee: \$ _____
Current Specific use: _____ If vacant, what was the previous use? _____ Proposed Specific use: _____		
Project description: <u>EXPAND & RECONFIGURE EXISTING WOOD DECK & STEPS AT THE FRONT OF THE COTTAGE.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>JACK DIGIROLAMO</u> Mailing address: _____ Phone: <u>914-760-5933</u>		

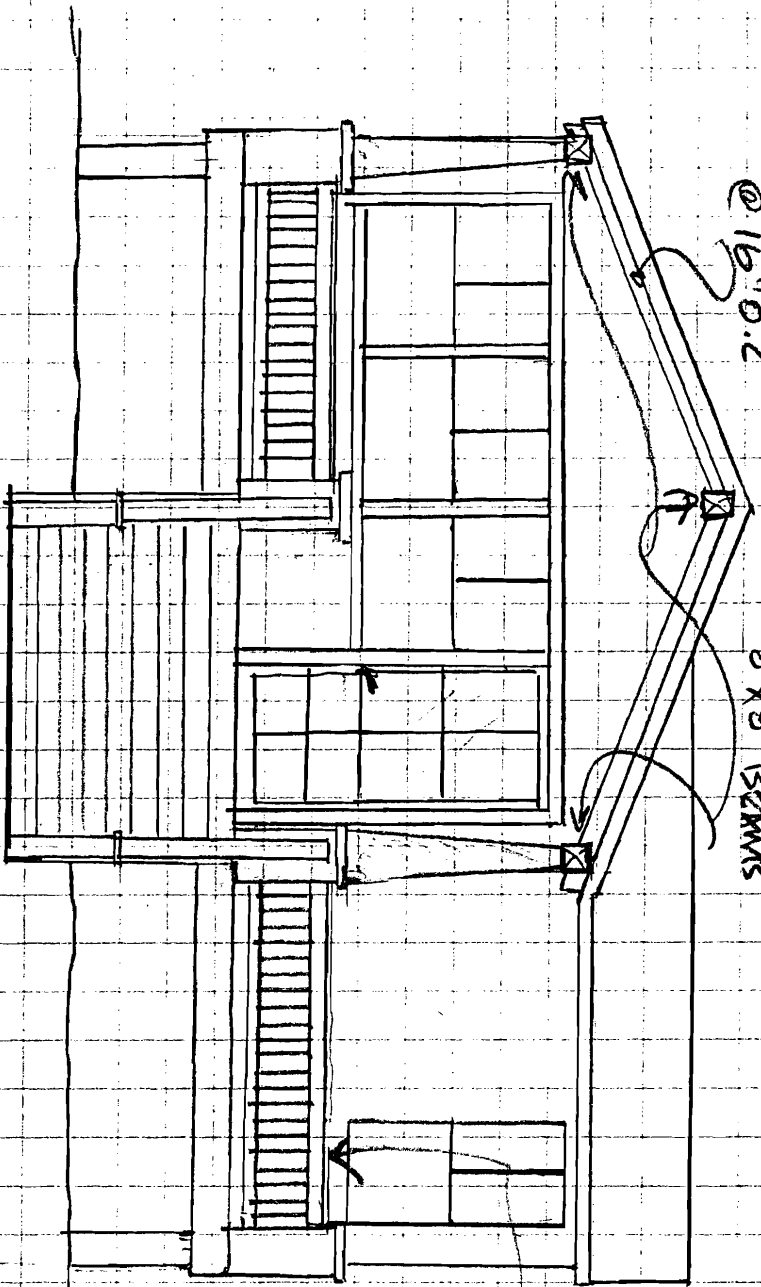
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>1-03-07</u>
---	----------------------

This is not a permit; you may not commence ANY work until the permit is issued.



2 1/2" DOG PATTERNS @ 16" O.C

(3) - 8" X 8" BEAMS

TO P GROUND FLOOR 5/4" X 6"

RAIL HEIGHT 36"

BALUSTERS SLATS @ 4"

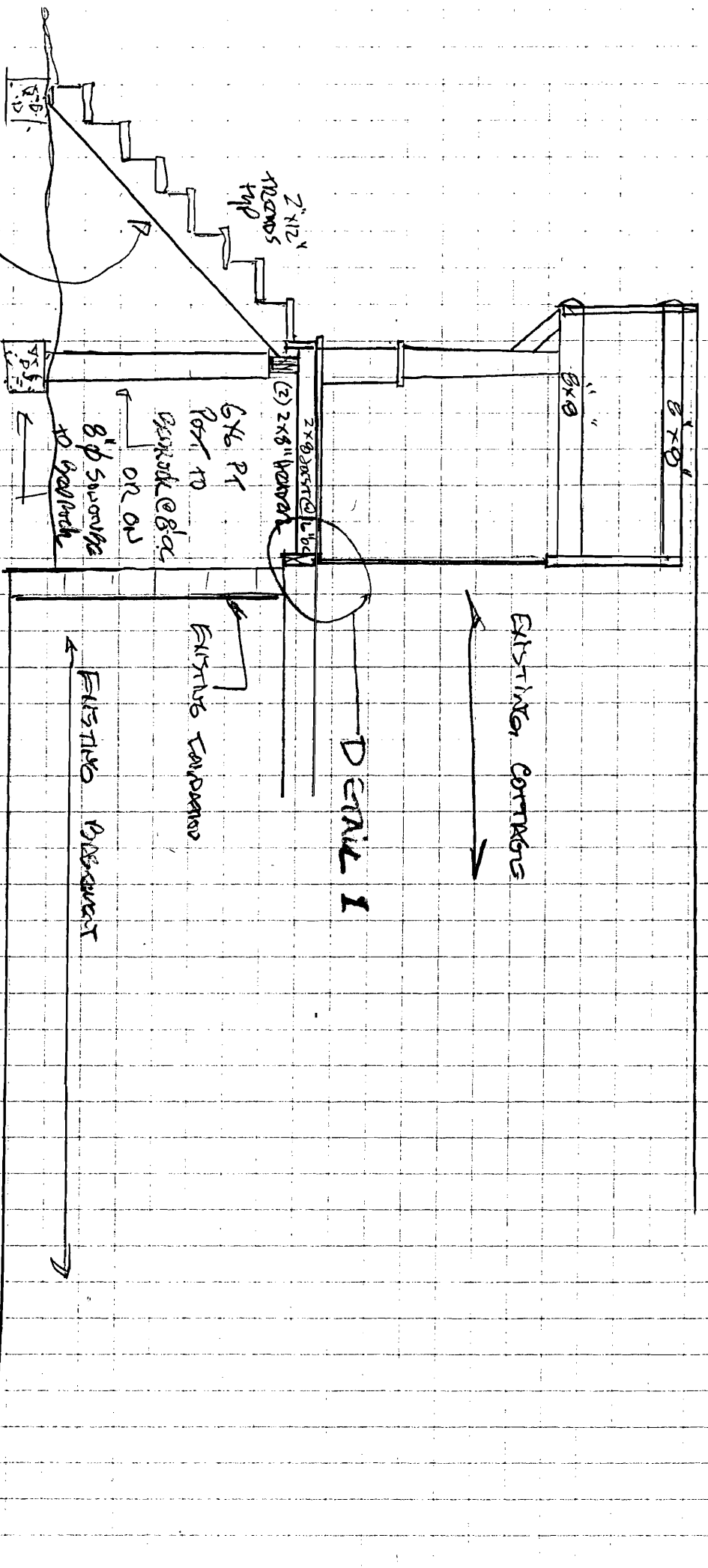
SMALL BALUSTERS SPACING

4 3/8"

OR SAME

- NOT TO SCALE -

(A)



EXISTING CORRUGS

DETAIL I

EXISTING FLOORING

EXISTING BRACKET

2x8 LEDGER THROUGH BOLTED THROUGH
 EXISTING 2x4 JOIST HUB

JOIST HUB

DETAIL 1

2x12 STRINGER
 @ 16" OC

2x12
 TREADS
 TOP

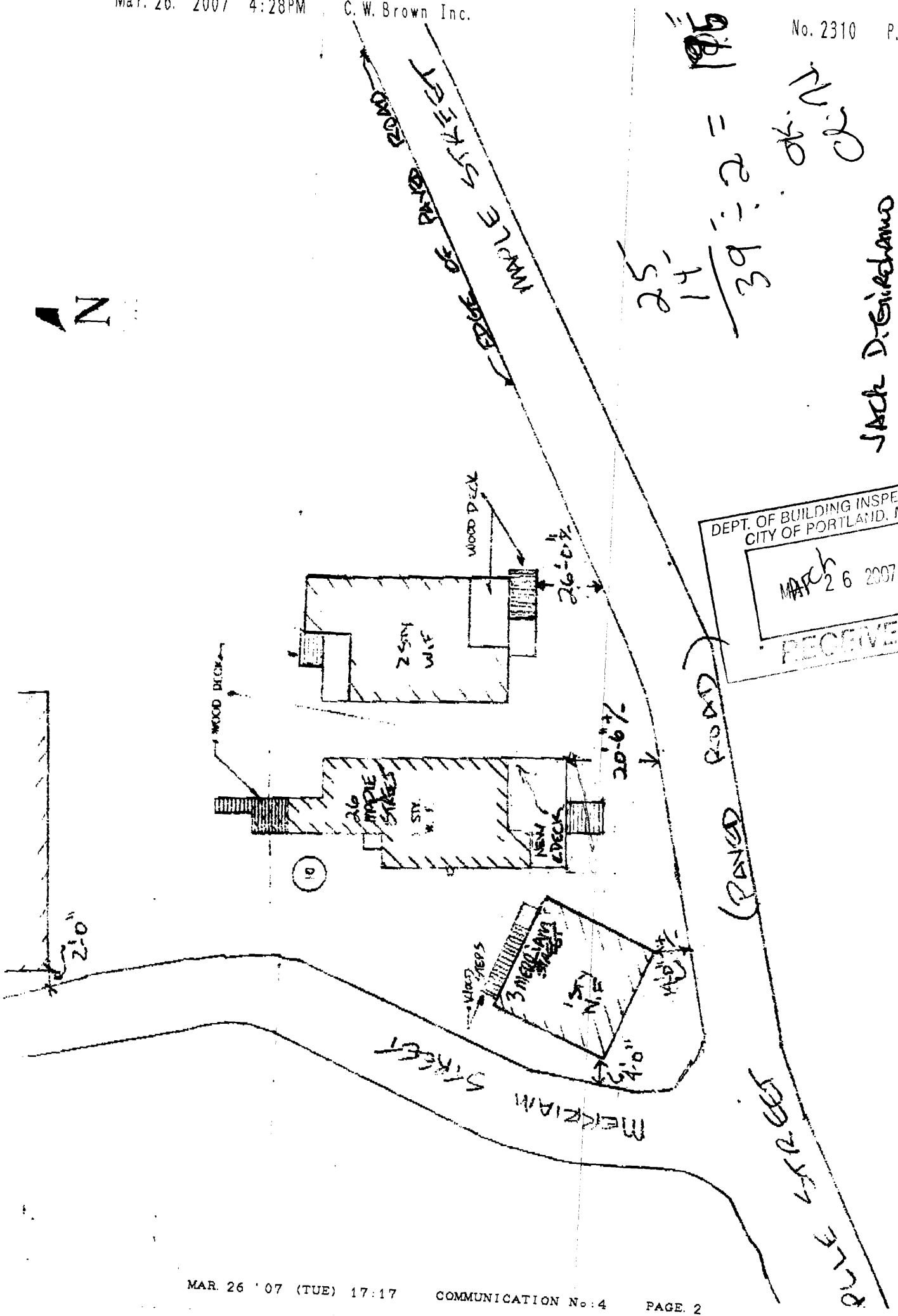
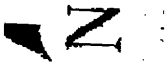
6x6 PT
 POST TO
 BRACKET @ 8' OC
 OR ON

8" SLOTTED
 TO BRACKET

(2) 2x8 BOARD
 @ 16"

6x8

6x8



$$\frac{25}{14} = 1.7857$$

$$\frac{39}{2} = 19.5$$

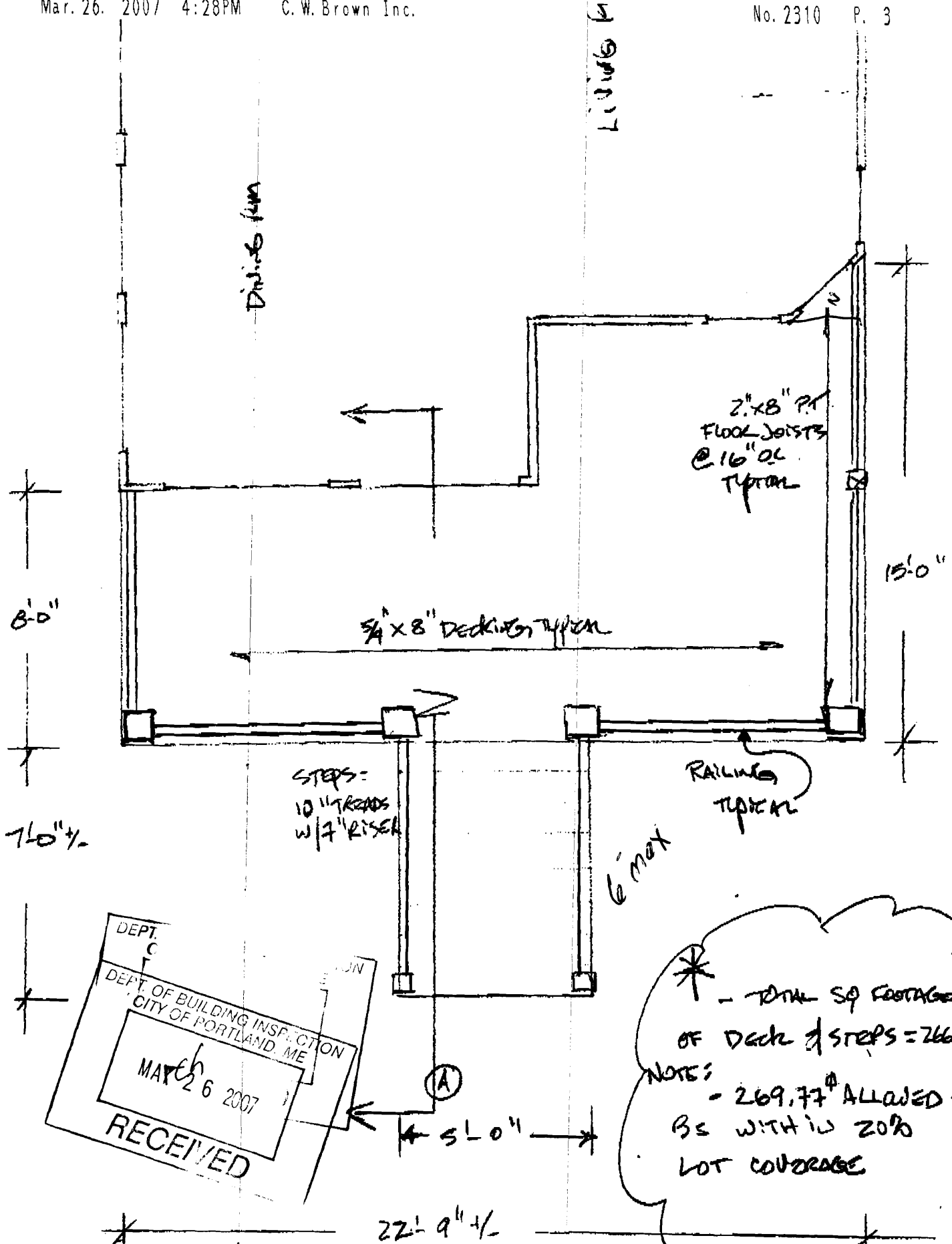
ok N
ok N

JACK D. GIBBARD
260 MAPLE ST
PEAKS ISLAND, ME

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MARCH 26 2007

RECEIVED



* - Total sq footage of Deck & steps = 266.75
 NOTE: - 269.77[#] Allowed to Bs with in 20% lot coverage

DEPT. C
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 March 26 2007
 RECEIVED

Jack D. Birokano
 700 Maple St.

Jack DiGirolamo
40 Hilltop Drive
North Salem, New York 10560

914-669-5000 phone and fax
Cell 914-760-5933

FAX

To: Chris Hanson	From: Jack DiGirolamo
Co: Portland Building Dept.	Pages: 2
Fax: 207-874-8715	Date: 03-14-07
Re: Road dimensions and ROW info	CC:

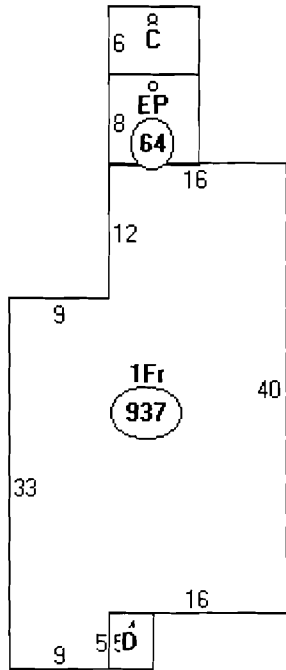
Urgent
 For Review
 Please Comment
 Please Reply
 Please Recycle

Hi Chris,

Here is the information that you requested. Please give me a call after you have had a chance to review.

Thanks,

Jack



Descriptor/Area

- A: 1Fr
937 sqft
- B: EP
64 sqft
- C: WD
48 sqft
- D: OFP
20 sqft

~~1069 #~~ 6292 # lot
 Bldg + lot coverage. .17%
 $\frac{6292}{1069} = .17$

$$\begin{array}{r} 1069 \\ + 269 \\ \hline 1338 \end{array}$$

$$\begin{array}{r} 1069 \\ + 302 \\ \hline 1371 \end{array} \div 6292 = .22\%$$

Living Room

Dining Room

2" x 8" P.I.
FLOOR JOISTS
@ 16" O.C.
TYPICAL

5/4" x 8" Decking TYPICAL

STEPS:
12" TREADS
w/ 7" RISE

RAILINGS
TYPICAL

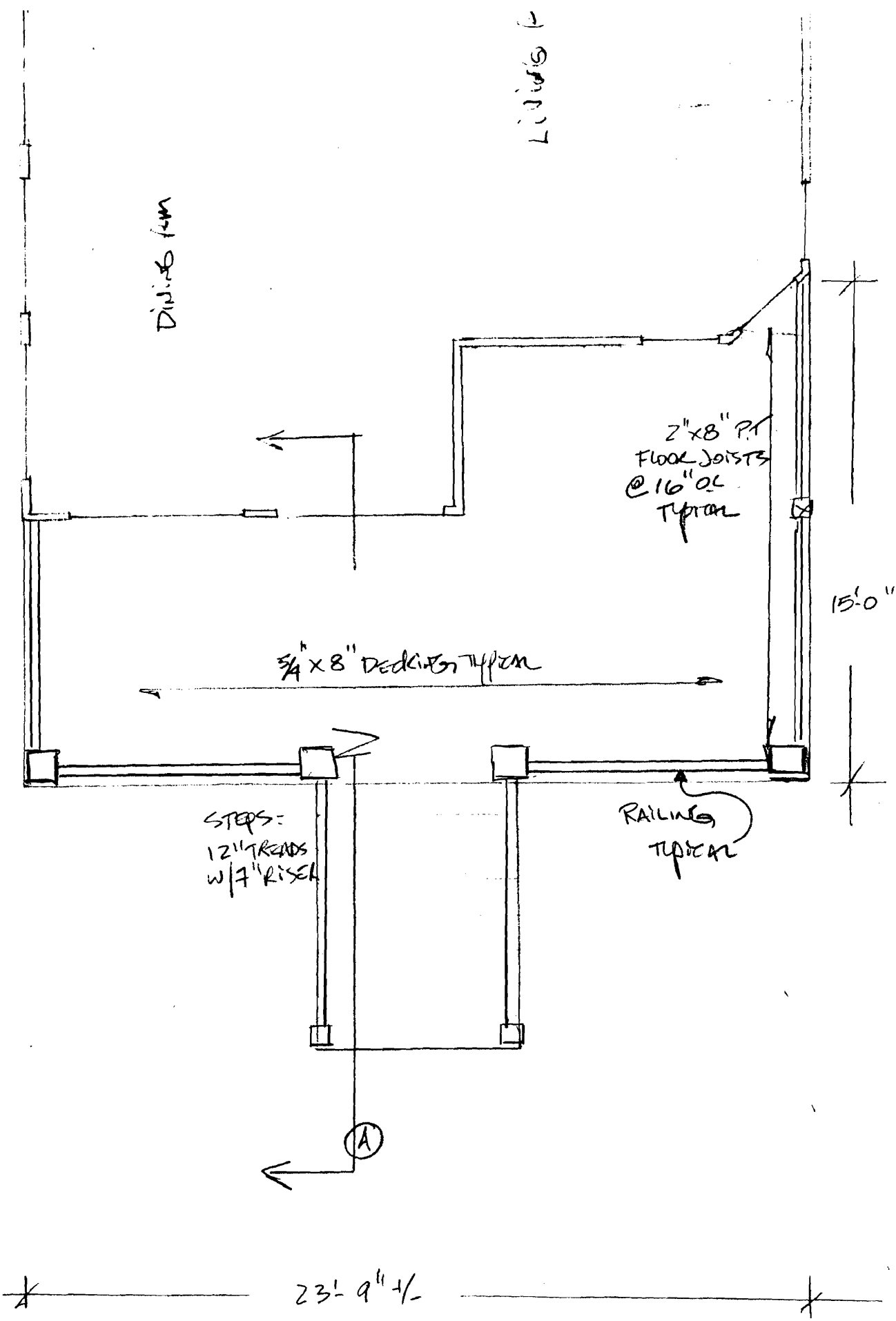
(A)

23'-9" +/-

8'-0"

6'-0"

15'-0"



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 085 J019001
Location 26 MAPLE ST
Land Use SEASONAL

Owner Address WINTER-DIGIROLAMO JACK & COLLEEN WINTER-DIGIROLAMO JTS
 26 MAPLE ST
 PEAKS ISLAND ME 04108

Book/Page 23485/150
Legal 85-J-19-48
 MAPLE ST MERRIAM ST
 PEAKS ISLAND
 6292 SF

Current Assessed Valuation

Land	Building	Total
\$163,800	\$52,500	\$216,300

Property Information

Year Built 1900	Style Cottage	Story Height 1	Sq. Ft. 937	Total Acres 0.144		
Bedrooms 1	Full Baths 1	Half Baths	Total Rooms 4	Attic None	Basement Pier/slab	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type	Price	Book/Page
12/12/2005	LAND + BLDING	\$315,000	23485-150
06/01/1997	LAND + BLDING	\$42,000	13124-146
10/01/1994	LAND + BLDING	\$48,400	11668-064

Picture and Sketch

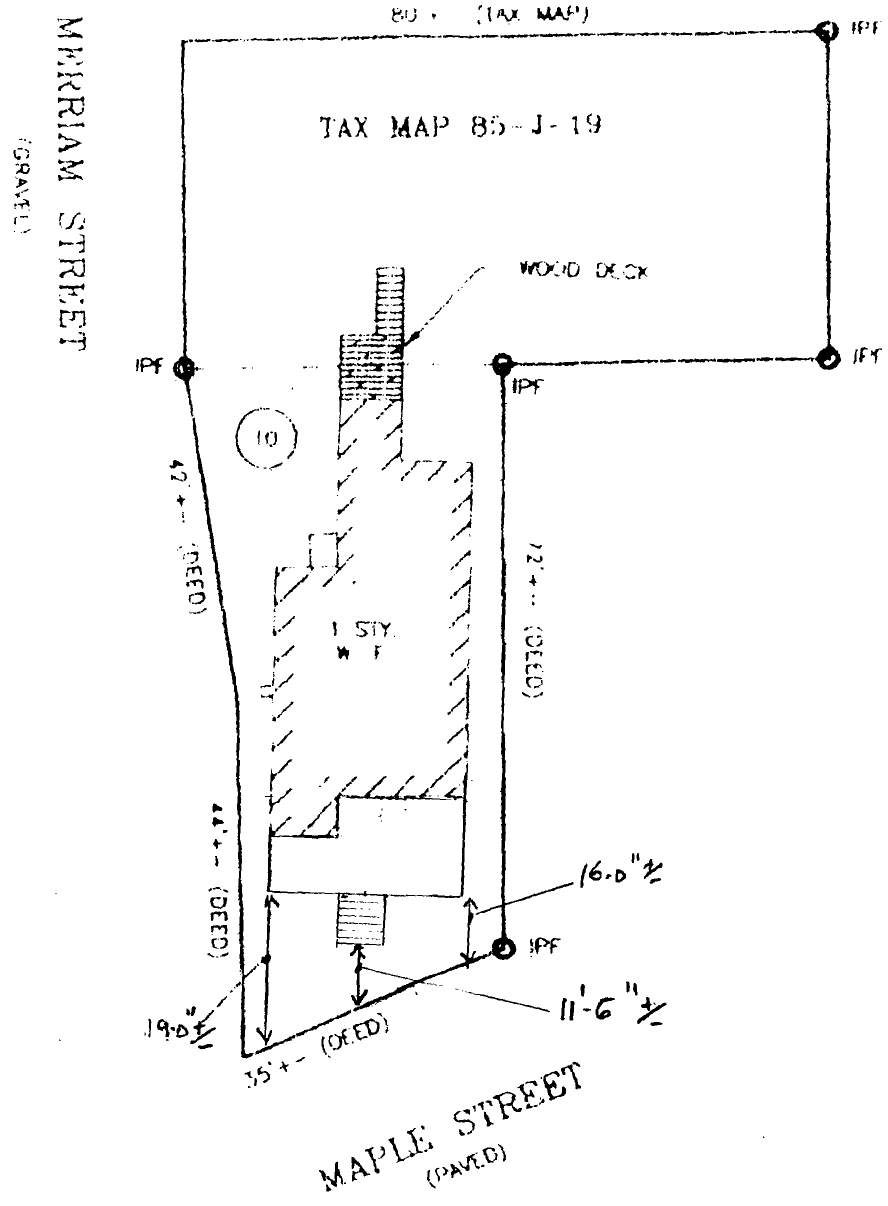
[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

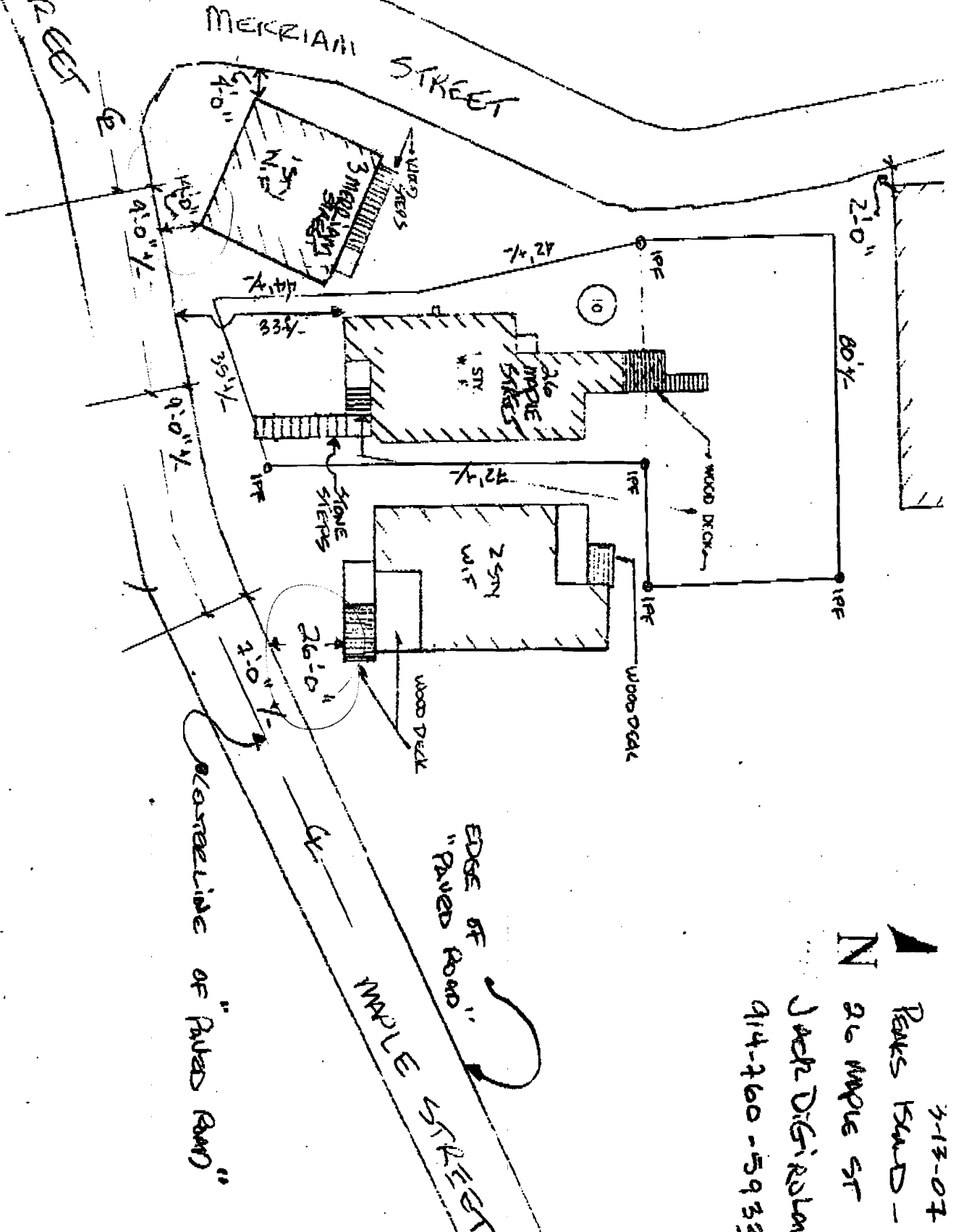
New Search!





NEW PROPOSED

AS PER JESSICA AT THE CITY OF BERNARD
 DEPT OF PUBLIC WORKS
 THE WIDTH OF THE STREET ROW = 40'-0"



3-13-07
 Peaks Stand -
 216 Maple St
 Jack Digriston
 914-760-5932