

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1120	Issue Date: AUG 05 2004	CBL: 085 G006001
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Location of Construction: 20 Spruce Ave	Owner Name: Bramn Scott M &	Owner Address: 20 Spruce Ave	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	Zone: IR-2

Past Use: single family	Proposed Use: single family - build 8' x 16' addition w/8' porch	Permit Fee: \$201.00	Cost of Work: \$20,000.00	CEO District: 2
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Proposed Project Description: - build 8' x 16' addition w/8' porch	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB BOCA 1999
	Signature:	Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: trm	Date Applied For: 08/05/2004	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/5/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/5/04
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

9/28/04 pins drilled into ledge 6" for sensor
tubs - avg ~~height~~ depth 32" to ledge - set backs
okay go -

9/28/04 electrical & plumbing w/ tot okay for first floor
bath - go

12/02/04 Framing, electric, pb. rough in etc AR



CITY OF PORTLAND, MAINE

Department of Building Inspections

8/5/2004

Received from Suzanne Parrott

Location of Work 20 Spruce Ave.

Cost of Construction \$ 20,000

Plan Fee \$ 201

Building (1L) Plumbing (1S) Electrical (1Z) Site Plan (U2)

Case No. 085-4.6

Check # 1873

Total Collected \$ 201

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete *Setbacks + Tube Depth*
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling *Close In*
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Paul G. Kelly 8.5.04
Signature of Applicant/Designee Date
[Signature] 8/5/04
Signature of Inspections Official Date
CBL: 085-G-6 Building Permit #: 04-1120

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

CONSTRUCTION

PERMIT

Permit Number: 041120

This is to certify that Bramm Scott M & /Thompson Johnson workers
has permission to - build 8' x 16' addition w/8' depth
AT 20 Spruce Ave 085 G006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is occupied or closed-in.
NO WORK NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.	
Health Dept.	AUG 05 2304
Appeal Board	
Other	CITY OF PORTLAND

Department Name

[Signature]
8/5/04
Director / Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>191 NEW ISLAND AVE, 20 SPRUCE STREET</u>		
Total Square Footage of Proposed Structure <u>2378</u>	Square Footage of Lot <u>18,205 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>85</u> Block# <u>G</u> Lot# <u>6,7,8</u>	Owner: <u>SCOTT BRAMAN</u> <u>SUZANNE PARROTT</u>	Telephone: <u>766-2344</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>THOMPSON JOHNSON WOODWORKS</u> <u>115 ISLAND AVE</u> <u>PEARS ISLAND 04108</u>	Cost Of Work: \$ <u>20,000</u> Fee: \$ <u>201</u>
Current use: <u>SF RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>KITCHEN AND PORCH ADDITION, BATHROOM, 2ND FLOOR PORCH</u> Project description: <u>RENOVATION</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>RACHEL CONLY</u> Mailing address: <u>THOMPSON JOHNSON WOODWORKS</u> <u>115 ISLAND AVE</u> <u>PEARS ISLAND, ME 04108</u> <u>207-766-5625</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Rachel Conly Date: 8-4-04

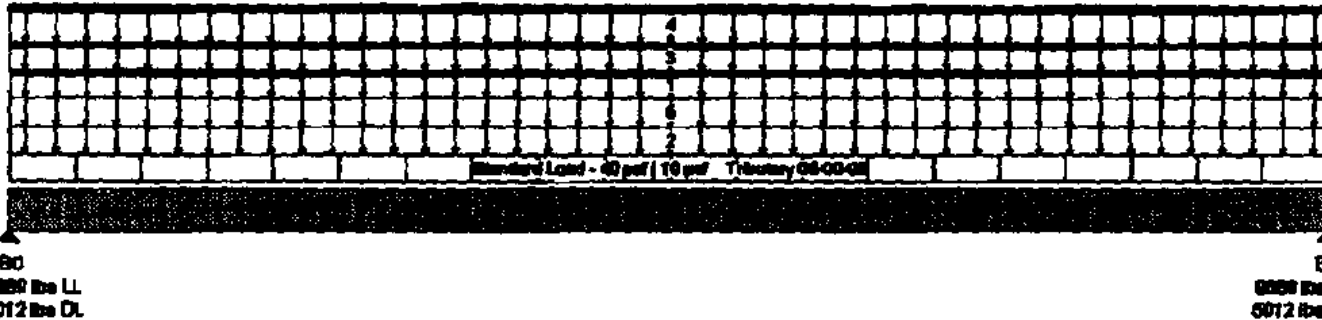
This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

5/8 DEF.

Triple 1 3/4" x 16" VERSA-LAMB 3100 SP

Job Name: PARROTT
 Address:
 City, State, Zip: PEAKS ISLE, NE
 Customer: THOMSON & JOHNSON
 Code reports: ICBO 5512, NER 628

File Name: BC CALC Projct : FBD1
 Description:
 Specifier: RACHEL
 Designer: BRIAN BIRKBEINE
 Company: WOOD STRUCTURES INC
 Misc:



Total Horizontal Length - 14-03-08

General Data

Version:	US Imperial
Member Type:	Floor Beam
Number of Spans:	1
Left Cantilever:	No
Right Cantilever:	No
Slope:	0/12
Tributary:	08-00-08

Live Load:	40 psf
Dead Load:	10 psf
Partition Load:	0 psf
Duration:	100

Disclosures
 The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)252-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BC™, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAMB®, VERSA-RIM®, VERSA-RIM PLUG®, VERSA-STRAND™, VERSA-STUD®, ALLOISTS® and AJS™ are trademarks of Boise Cascade Corporation.

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
8	Standard Load	Unf. Area	Left	00-00-00	14-03-00	Live	40 psf	08-03-08	100%
						Dead	10 psf	08-00-08	90%
1	1ST WALL	Unf. Lin.	Left	00-00-00	14-03-00	Live	0 plf	n/a	90%
						Dead	80 plf	n/a	90%
2	2ND FLOOR	Unf. Area	Left	00-00-00	14-03-00	Live	30 psf	08-00-08	100%
						Dead	10 psf	08-00-08	90%
3	2ND WALL	Unf. Lin.	Left	00-00-00	14-03-00	Live	0 plf	n/a	115%
						Dead	80 plf	n/a	90%
4	KNEE W/FLOOR	Unf. Lin.	Left	00-00-00	14-03-00	Live	748 plf	n/a	100%
						Dead	319 plf	n/a	90%
5	ROOF	Unf. Area	Left	00-00-00	14-03-00	Live	40 psf	02-00-00	115%
						Dead	20 psf	02-00-00	90%

Controls Summary

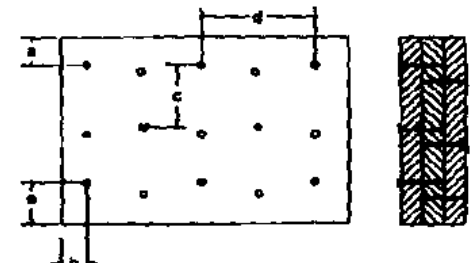
Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	81054 ft-lbs	91.1%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	11649 lbs	71.7%	100%	2	1 - Left
Total Load Defl.	L/316 (0.541")	78.0%		3	1
Live Load Defl.	L/476 (0.359")	78.6%		3	1
Max Defl.	0.541"	54.1%		3	1

Notes
 Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Minimum load deflection criteria.
 Minimum bearing length for B0 is 3-3/8".
 Minimum bearing length for B1 is 3-3/8".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Connection Diagram
 Nailing schedule applies to both sides of the member.
 Member has no side loads.

Connectors are: 16d Sinker Nails

- a = 2"
- b = 3"
- c = 6"
- d = 12"
- e = 3"



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	085 6006001
Location	20 SPRUCE AVE
Land Use	SINGLE FAMILY
Owner Address	BRANN SCOTT H & SUZANNE PARROTT JTS 20 SPRUCE AVE PEAKS ISLAND ME 04108
Book/Page	21342/170
Legal	85-6-6-7-8-32-33 SPRUCE AVE ISLAND AVE PEAKS ISLAND 18629 SF

Valuation Information

Land	Building	Total
\$46,620	\$55,020	\$101,640

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1900	Old Style	2	2304	0.428	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	6	Full Finish	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1900	16x20	C	D
SHED-FRAME	1	1900	250	D	P

Sales Information

Date	Type	Price	Book/Page
12/23/1999	LAND + BLDING		15244-048

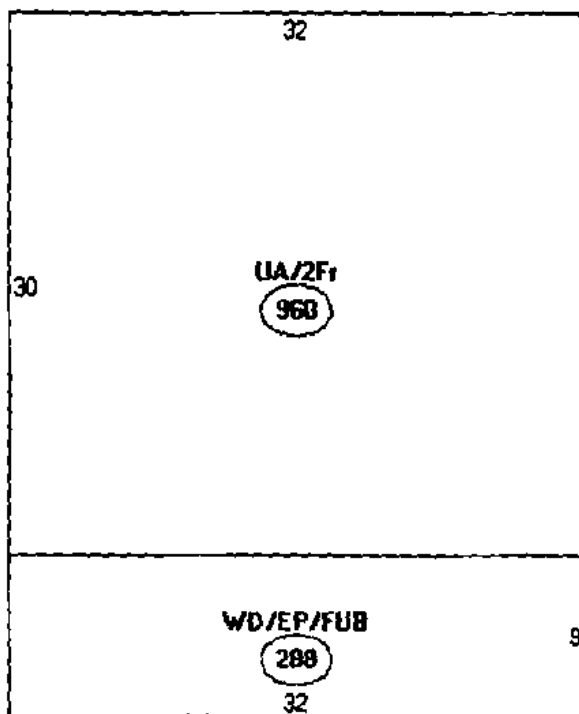
Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.





Descriptor/Area

A: UA/2F1
960 sqft

B: WD/EP/FUB
288 sqft

IR-2
Front - 1 row - 25'
Sides - 20'
Lot cov. 20% -
1907 ~~2007~~ SF left -
DK



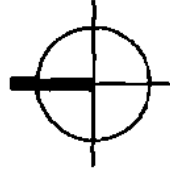
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEARS ISLAND ME 04108
207.766.5919

A3

Notes

Existing Second
Floor Plan

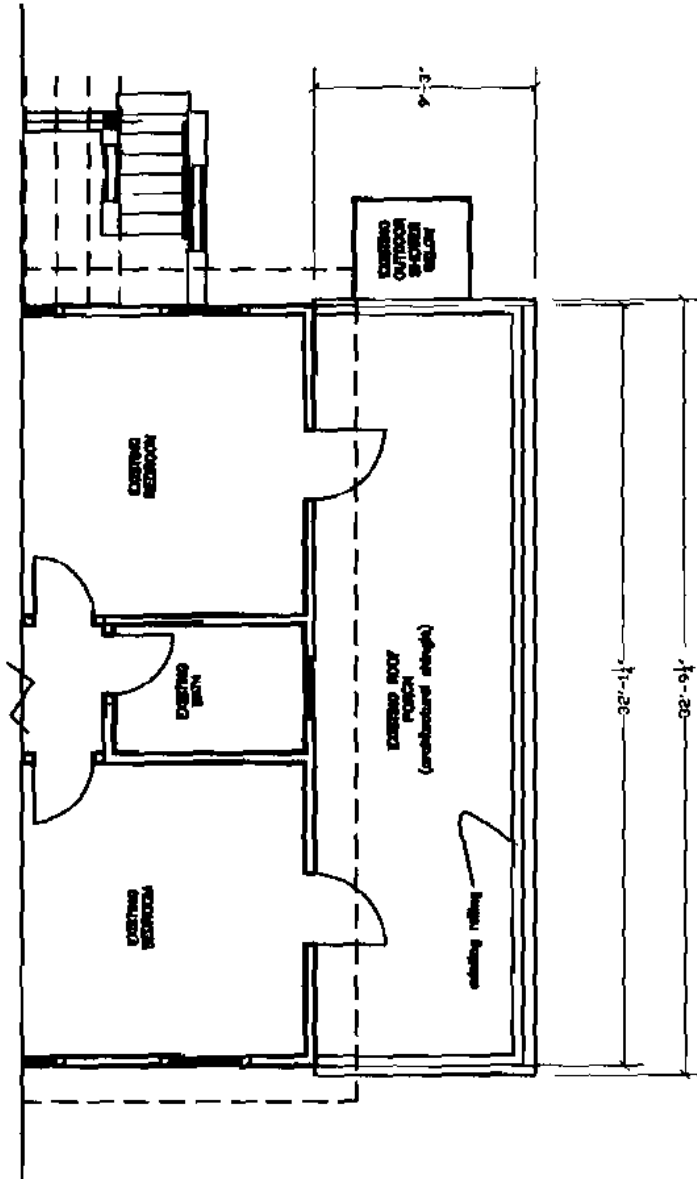


PROJECT Perrott/Braman
Residence

DATE 8.05.04 REVISED

SCALE 1/8"=1'-0" DRAWN BY

ITEM



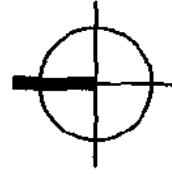
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

A4

Notes

proposed first
floor plan

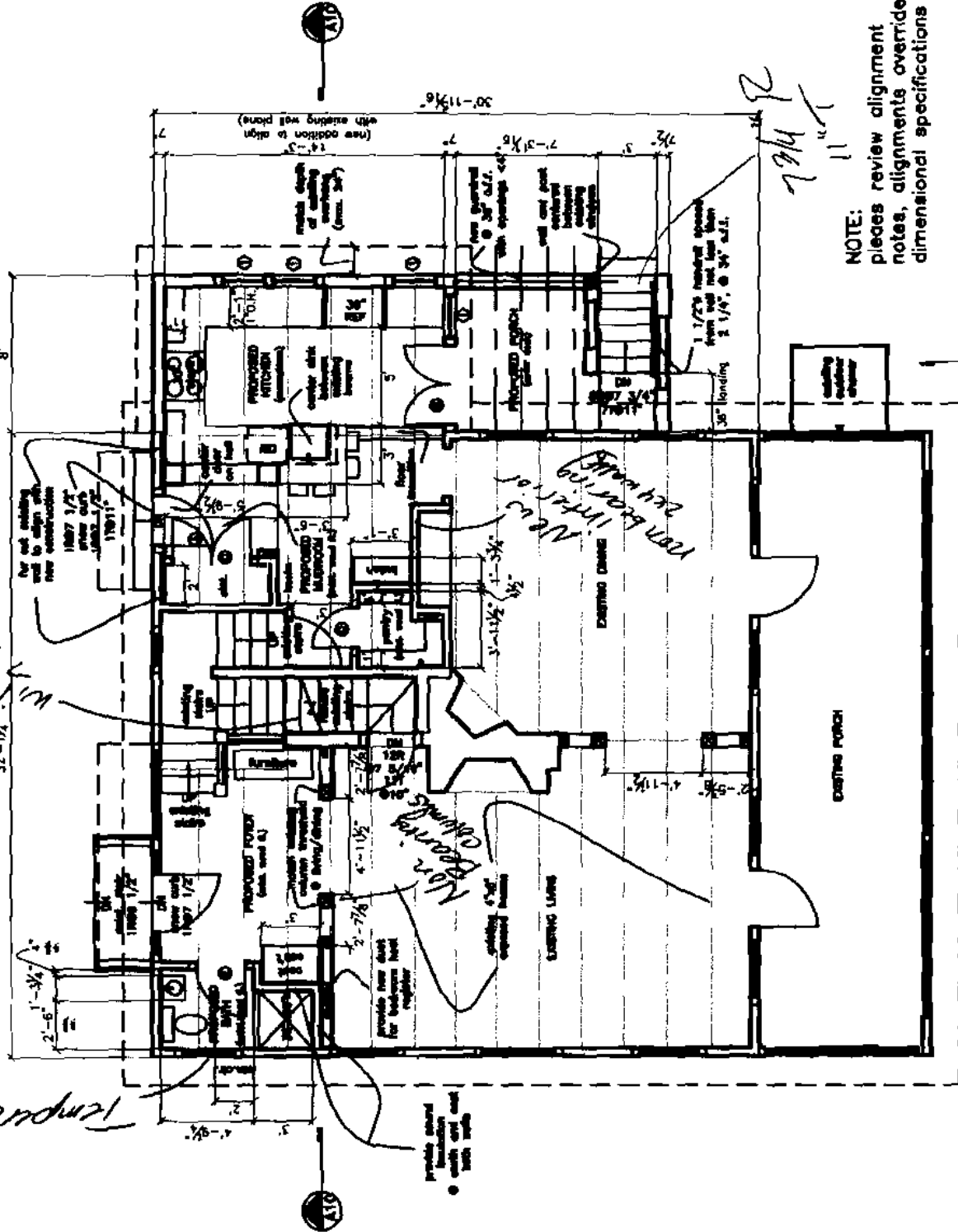


PROJECT Parrott/Broman
Residence

DATE 8.05.04
REVISED

SCALE 1/8"=1'-0"
DRAWN BY

ITEM



NOTE:
pieces review alignment
notes, alignments override
dimensional specifications

*Will be
10" track*

temporal

*North
bearing
columns*

*new
entrance*

2 1/2"

32'-1 1/2"

2'-6 1/2"

1'-0"

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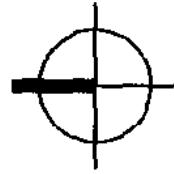
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEARS ISLAND ME 04108
207.766.5919

A6

Notes

proposed south
elevation



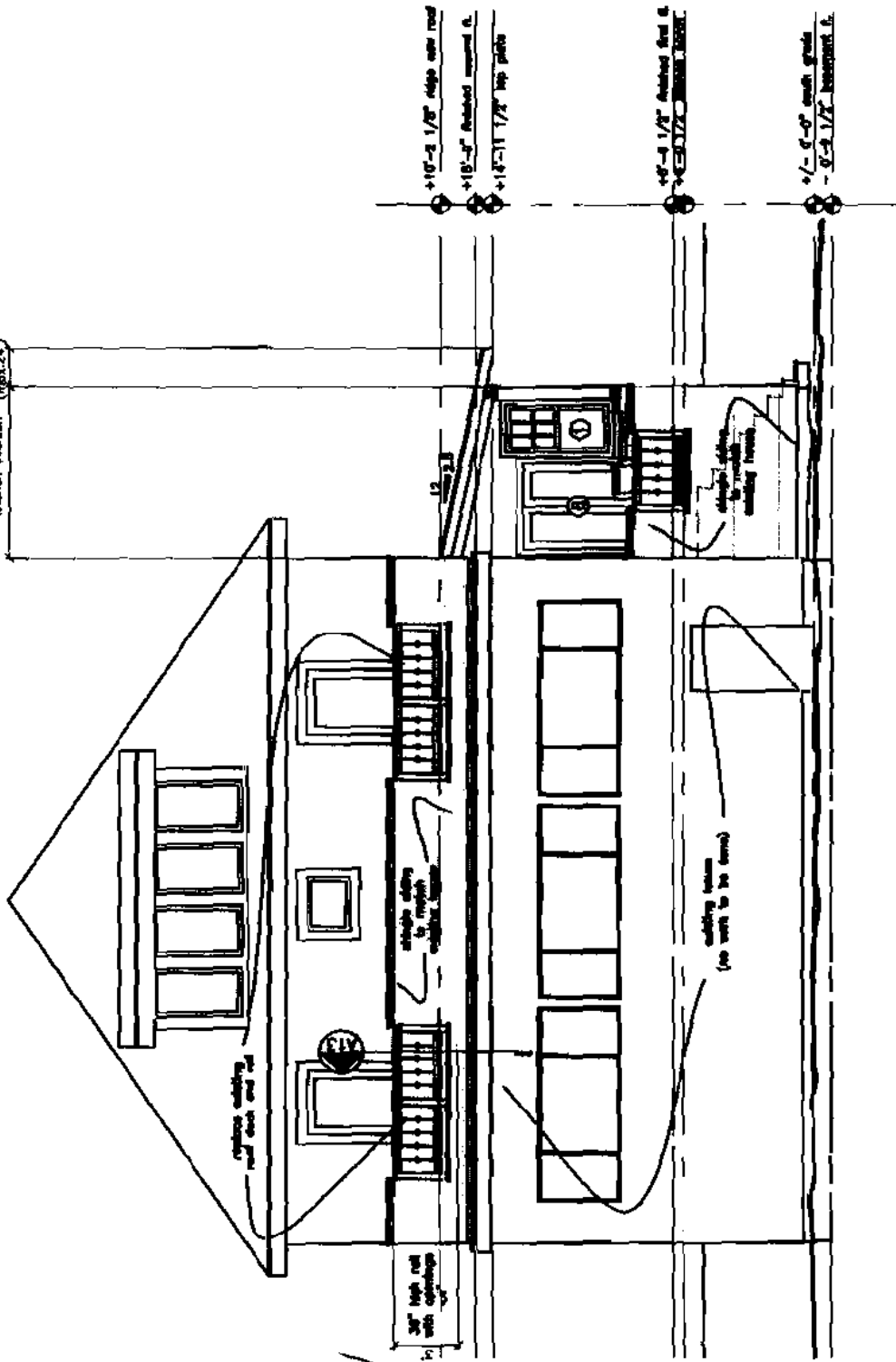
PROJECT Parrott/Braman
Residence

DATE 8.05.04 REVISED

SCALE 1/8"=1'-0" DRAWN BY

ITEM

8' overhang to
kitchen addition (repr. 25)



+10'-2 1/2" ridge over roof

+10'-3" finished basement A.

+12'-11 1/2" top plate

+4'-3 1/2" finished 2nd &
VERTICAL FINISH HERE.

+1'-0"-0" finish grade
- 9'-9 1/2" basement B.

OK

THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

A9

Notes

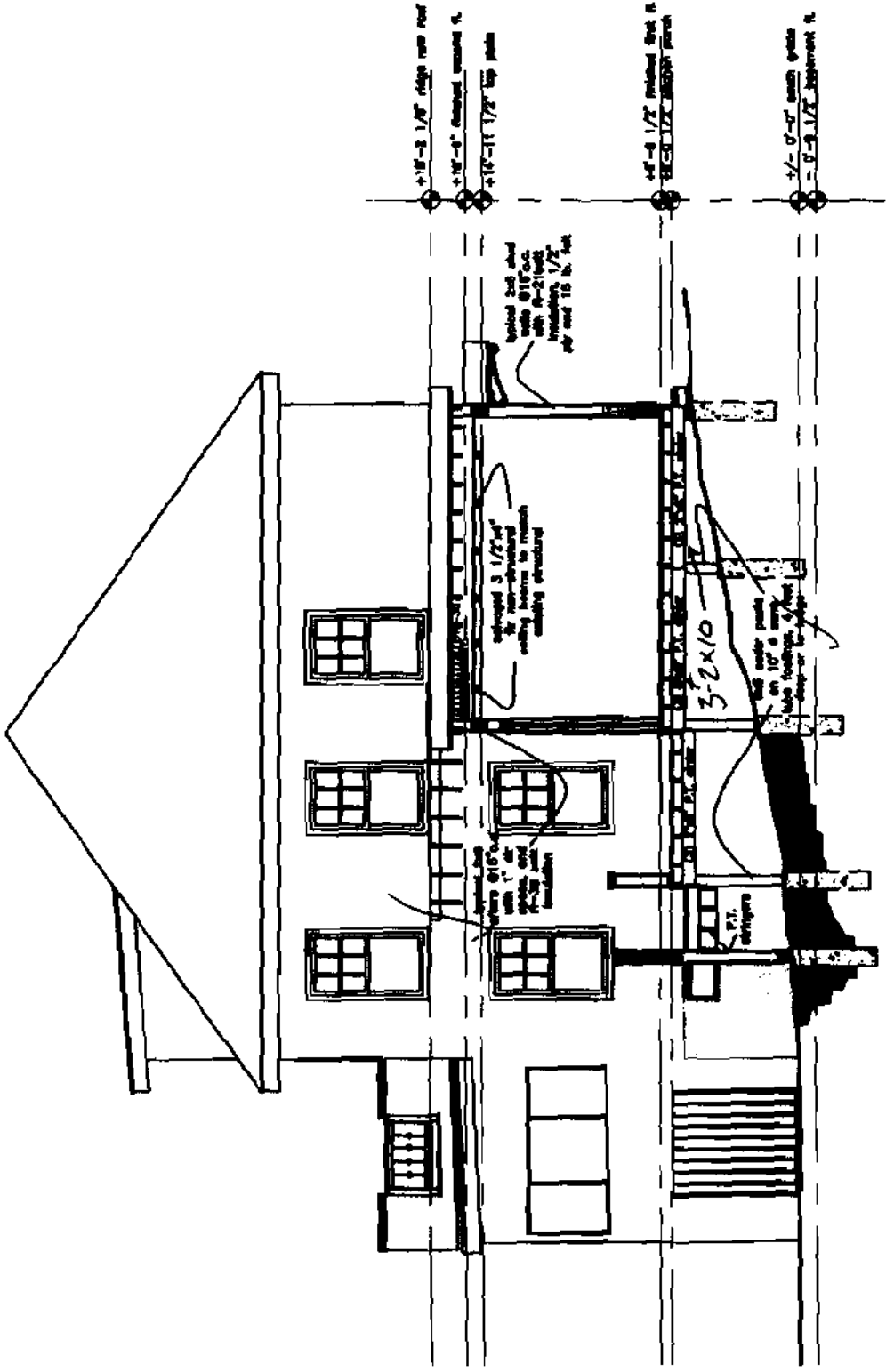
longitudinal section

PROJECT Berndt Residence

DATE 8.05.04 REVISED

SCALE 1/8"=1'-0" DRAWN BY

TJW



2x10-11 1/2" top joist

4x4-8 1/2" finished stud R.C.

1/2" - 6-8" mesh grade

2x8-8 1/2" joist R.C.

topical seal and with 615'

revised 3 1/2" x 4"

3-2x10

4x4-8 1/2" finished stud R.C.

1/2" - 6-8" mesh grade

2x8-8 1/2" joist R.C.

topical seal and with 615'

revised 3 1/2" x 4"

3-2x10

4x4-8 1/2" finished stud R.C.

1/2" - 6-8" mesh grade

2x8-8 1/2" joist R.C.

topical seal and with 615'

revised 3 1/2" x 4"

3-2x10

4x4-8 1/2" finished stud R.C.

1/2" - 6-8" mesh grade

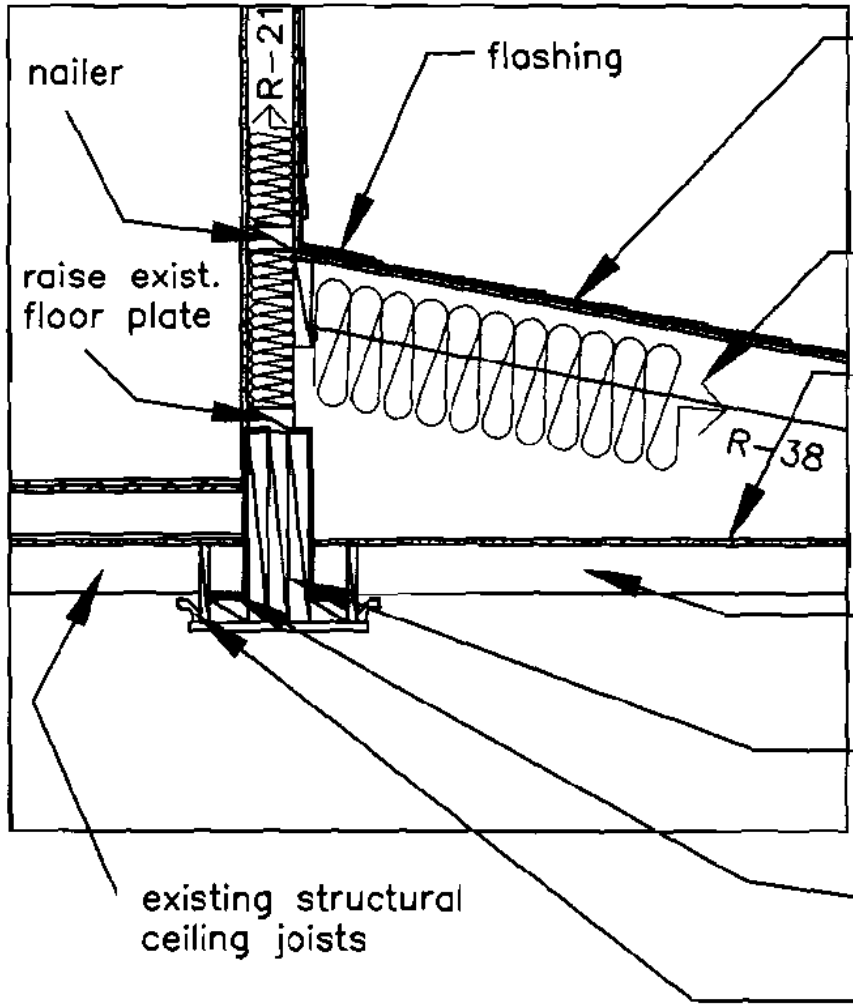
2x8-8 1/2" joist R.C.

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

A11

Notes

LVL detail



architectural shingle over 5/8" ply and dbl. underlayment of 30 lb. felt

2x6 rafters @16" o.c. with 1" air space, and R-38 batt insulation ✓

1/2" GWB attached to top of ceiling beams

3 1/2"x4" non-structural ceiling beams, to align and match existing structure

(3) 1 3/4"x16" LVL pocketed into existing floor diaphragm ✓

simpson custom hanger

crown and box around LVL to match existing beam/crown detail

PROJECT Parrott/Braman Residence	
DATE 8.05.04	REVISED
SCALE 3/4"=1'-0"	DRAWN BY
ITEM	

THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEARS ISLAND ME 04108
207.766.5919

A12

Notes

bird blocking
and ceiling beams

PROJECT Parrott/Braman
Residence

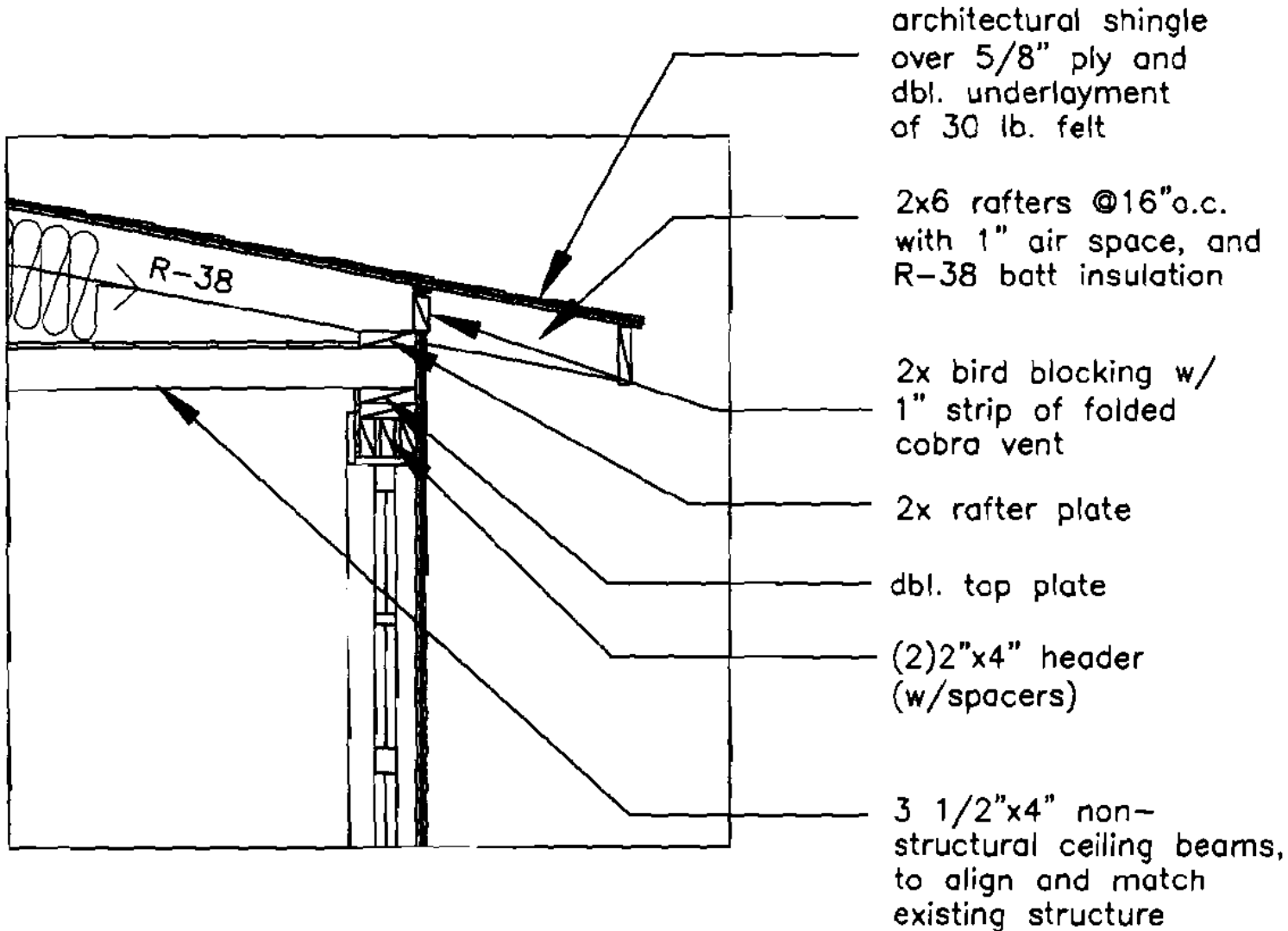
DATE 8.05.04

REVISED

SCALE 3/4"=1'-0"

DRAWN BY

ITEM



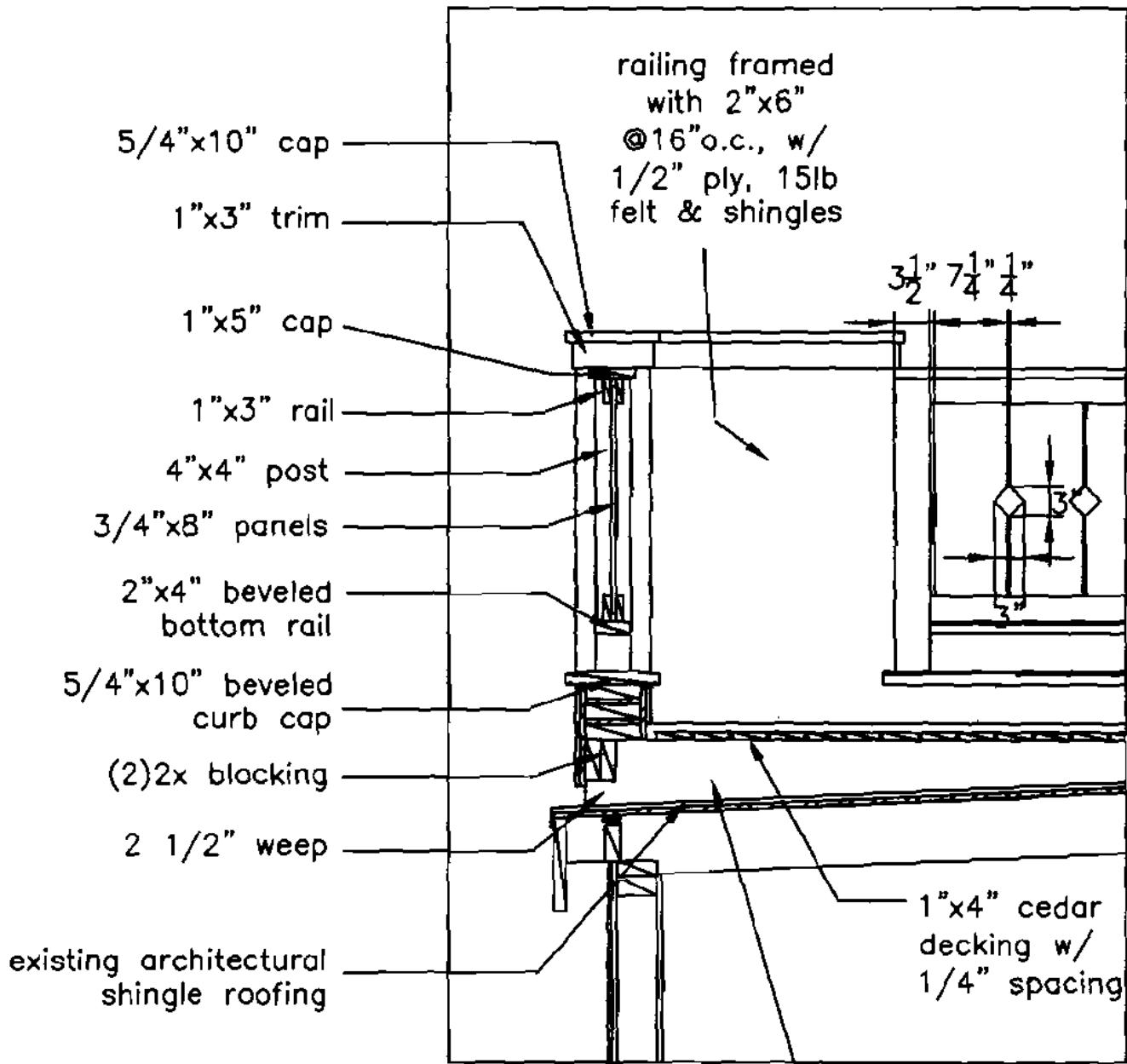
THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 YEARS ISLAND ME 04108
 207.766.5919

A13

Notes

roof deck railing detail

PROJECT Parrott/Braman Residence	
DATE 8.05.04	REVISED
SCALE 3/4" = 1'-0"	DRAWN BY
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- 5/4"x10" cap
- 1"x3" trim
- 1"x5" cap
- 1"x3" rail
- 4"x4" post
- 3/4"x8" panels
- 2"x4" beveled bottom rail
- 5/4"x10" beveled curb cap
- (2)2x blocking
- 2 1/2" weep
- existing architectural shingle roofing

railing framed
 with 2"x6"
 @16"o.c., w/
 1/2" ply, 15lb
 felt & shingles

3 1/2" 7 1/4" 1/4"

1"x4" cedar
 decking w/
 1/4" spacing

2"x8" joists @16"o.c
 ripped to slope of
 existing roof, braced
 with diagonal cable

*Non structural
 only to level
 deck*

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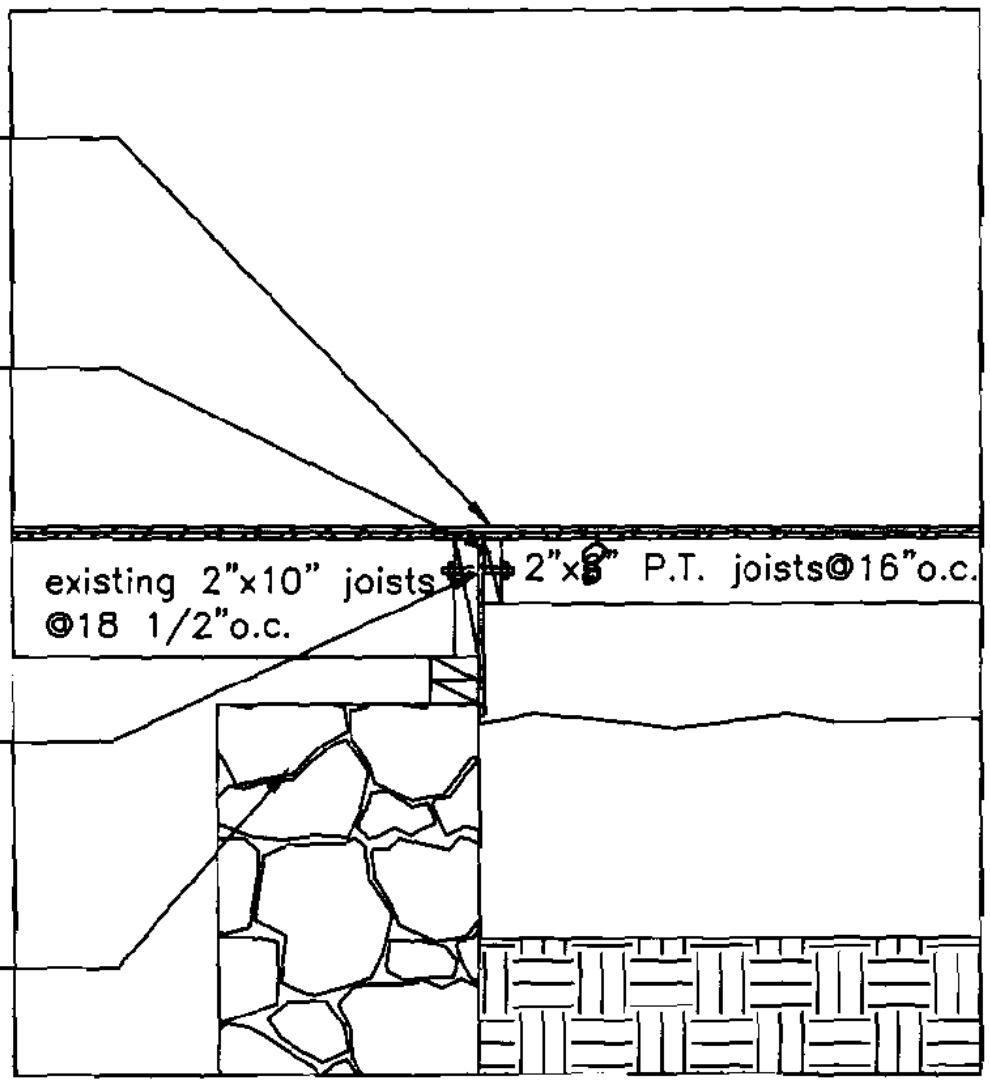
A14

Notes

ledger detail

floor transition
from existing
wood floor to
new marmoleum
over 3/4" ply

2"x6" ledger



existing 2"x10" joists @ 18 1/2" o.c. → 2"x8" P.T. joists @ 16" o.c.

1/2" through
bolt @ ledger
every 24"

existing stone
foundation

PROJECT Berndt Residence	
DATE 8.05.04	REVISED
SCALE 3" = 1'-0"	DRAWN BY
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A15

Parrott/Braman Residence

Door Schedule

QTY	DOOR	MANUFACT.	MATERIAL	GLASS	OPER	UNIT WIDTH	UNIT HEIGHT	JAMB	HINGE	MORTISE	LOCKSET	PREP	NOTES	HARDWARE
1	A	bonnetille	wood w/ single panel, glass	tempered	RH	30"	84"	v.l.t.						
1 PR	B	bonnetille	wood w/ single panel, glass	tempered	LH, RH	48"	84"	v.l.t.						
1 PR	C	salvage	5 panel doors	NA	LH, RH	60"	v.l.t.	v.l.t.					reuse existing	
1	D	bonnetille	5 panel doors	NA	LH	24"	v.l.t.	v.l.t.						
1	E	salvage	5 panel doors	NA	LH	30"	v.l.t.	v.l.t.					reuse existing	

Window Schedule

QTY	WIN.	MANUFACT.	MATERIAL	GLASS	OPER	UNIT WIDTH	UNIT HEIGHT	JAMB	NOTES	HARDWARE
4	1	bonnetille	wood	NA	double hung	25 5/8"	26 7/8"	v.l.t.		

Notes

window/door schedule

PROJECT Parrott/Braman
Residence

DATE 8.05.04

REVISED

SCALE 1/8"=1'-0"

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ITEM

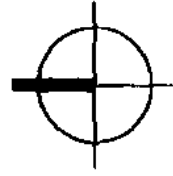
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S2

Notes

second floor framing,
exist. porch framing
& first floor addition
ceiling joists & roof rafters

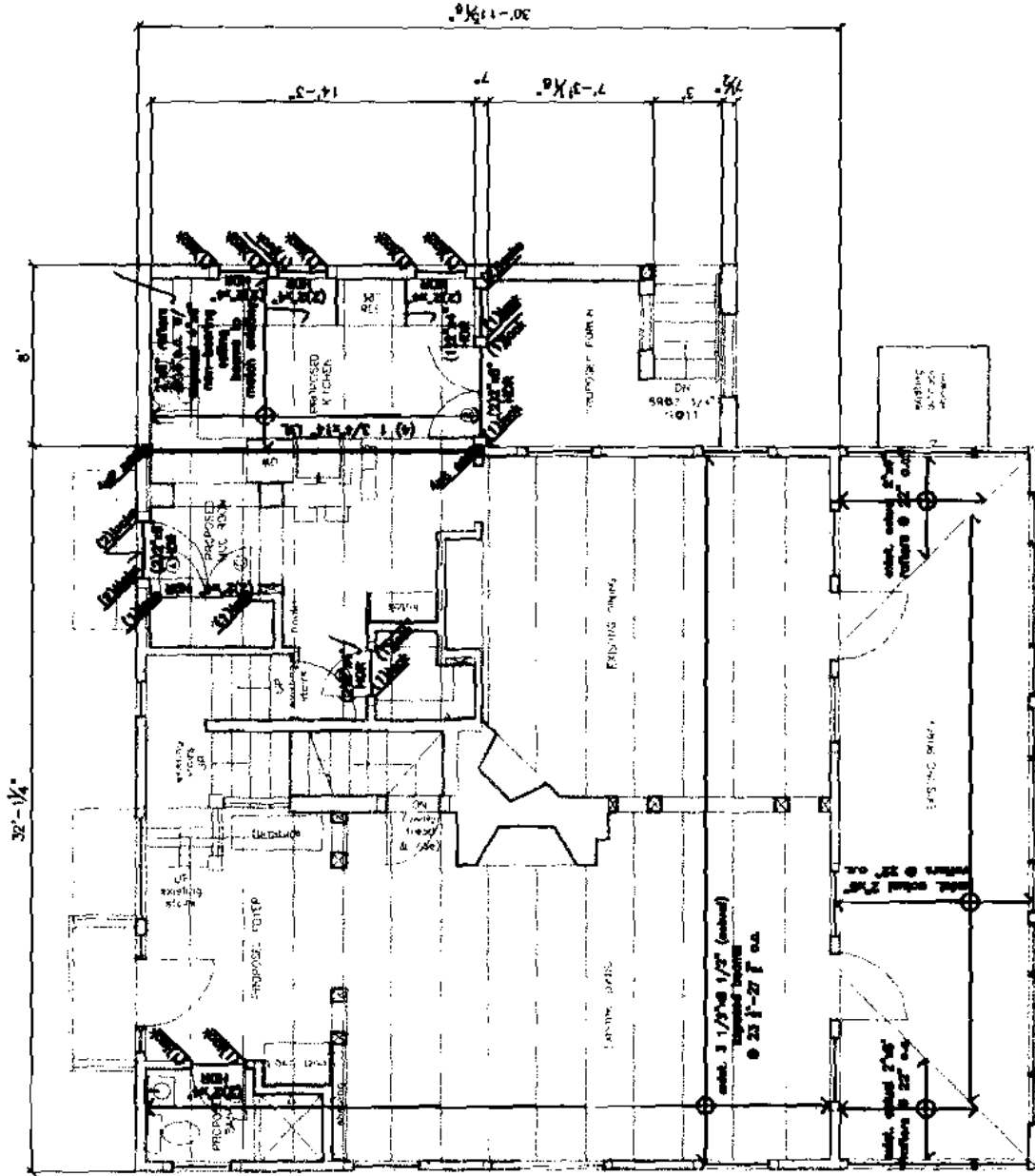


PROJECT Porrott/Braman
Residence

DATE 8.05.04
REVISED

SCALE 1/8"=1'-0"
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THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
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E1

Notes

electrical key

PROJECT Parratt/Braman
Residence

DATE
8.05.04

REVISED

SCALE
1/8"=1'-0"

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ITEM



duplex



ceiling mount
light fixture



GFI

ground-fault
circuit interrupter



pendant
light fixture



220

220 volt



recessed can
light fixture



switch



wall sconce
light fixture



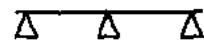
3-way switch



wet location wall sconce
light fixture



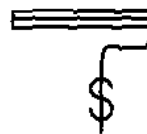
dimmer switch



trak lighting



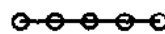
smoke detector



fluorescent
locally switched



minimum 50 cfm
vent fan



undercounter
strip lighting

MIN. 50
CFM

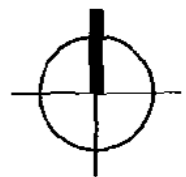
NEW ISLAND AVENUE

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A1

Notes

plot plan



PROJECT Parrott/Broman Residence

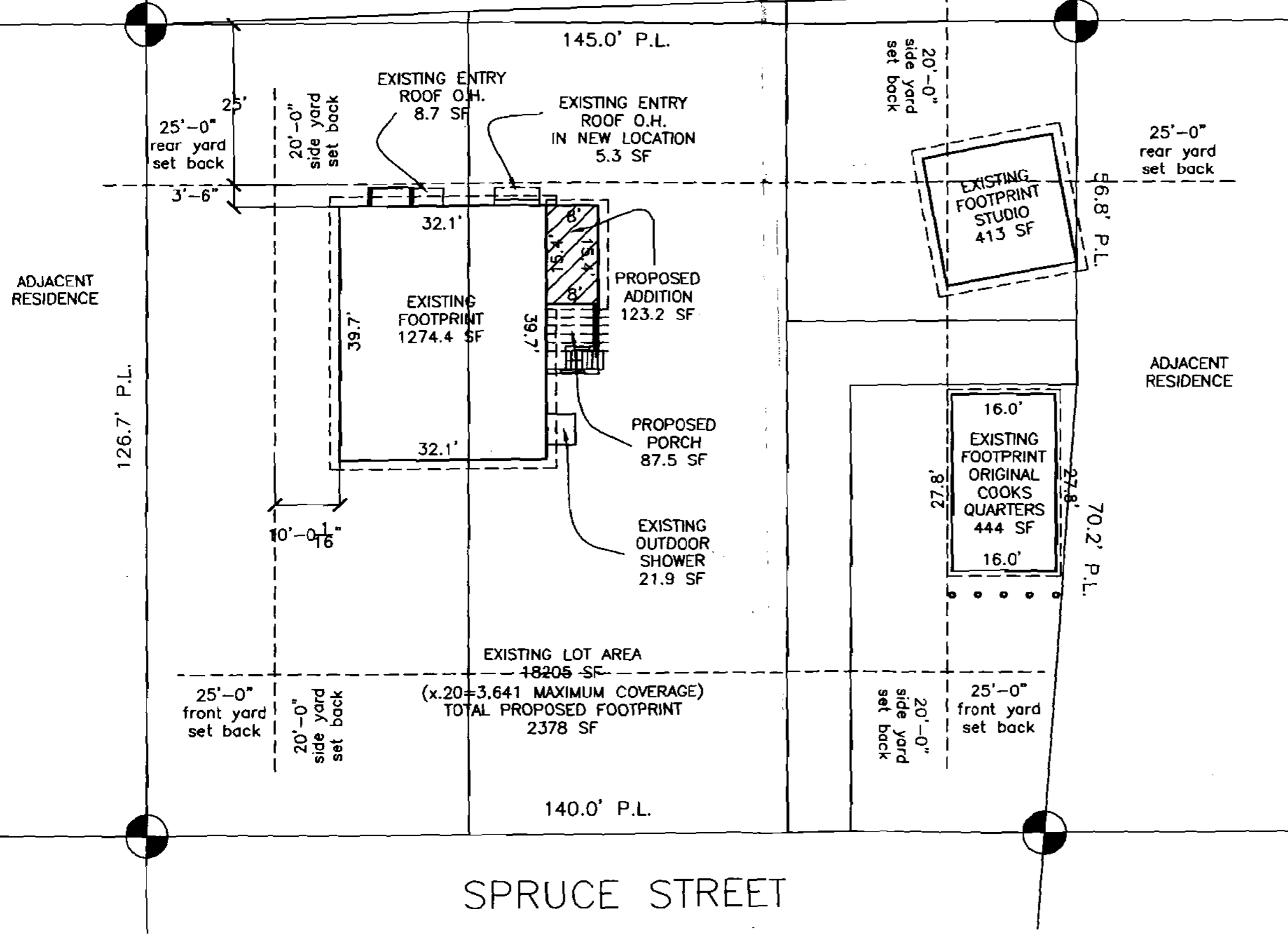
DATE 8.05.04

REVISED

SCALE 1/16"=1'-0"

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ITEM



SPRUCE STREET

ADJACENT RESIDENCE

ADJACENT RESIDENCE

126.7' P.L.

96.8' P.L.

70.2' P.L.

145.0' P.L.

140.0' P.L.

EXISTING ENTRY ROOF O.H. 8.7 SF

EXISTING ENTRY ROOF O.H. IN NEW LOCATION 5.3 SF

20'-0" side yard set back

25'-0" rear yard set back

25'-0" rear yard set back

20'-0" side yard set back

3'-6"

EXISTING FOOTPRINT 1274.4 SF

PROPOSED ADDITION 123.2 SF

EXISTING FOOTPRINT STUDIO 413 SF

39.7'

EXISTING FOOTPRINT 1274.4 SF

PROPOSED PORCH 87.5 SF

EXISTING FOOTPRINT ORIGINAL COOKS QUARTERS 444 SF

EXISTING OUTDOOR SHOWER 21.9 SF

10'-0 1/16"

EXISTING LOT AREA 18205 SF

(x.20=3.641 MAXIMUM COVERAGE)
TOTAL PROPOSED FOOTPRINT 2378 SF

20'-0" side yard set back

25'-0" front yard set back

25'-0" front yard set back

20'-0" side yard set back

27.8'

27.8'