

# PERMIT ISSUED

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0177	Issue Date: <b>APR 09 2003</b>	CBL: 085 D007001
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Location of Construction: 118 New Island Ave <i>BT</i>	Owner Name: Jeness Kevin M &	Owner Address: 135 Sumner Rd <b>CITY OF PORTLAND</b>	Phone: 617-734-6389
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	Zone: <b>IR-2</b>
Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$247.00	Cost of Work: \$32,000.00
		CEO District: 3	<b>5100 #</b>
Proposed Project Description: Interior Partitions/New Exterior Window and Door Openings/New Porch Walls & Stairs		FIRE DEPT: <i>N/A</i>	INSPECTION: Use Group: <b>P-3</b> Type: <b>SB</b> <b>BOCA 99</b>
		Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: gad	Date Applied For: 03/10/2003	<b>Zoning Approval</b>	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied <i>ok with conditions</i> Date: <b>3/26/03</b>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>[Signature]</i>
	<i>To remain a single family</i>		

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK TITLE		DATE	PHONE

9-18-03

Inspected framing on  
1st + 2nd Floor window  
openings ~~not~~ (windows not yet installed)  
& wall framing ok to close in  
Front wall not yet started  
Framing yet. MW

8/10/04 okay to close front room porch

10-19-04 OK to close in kitchen  
ceiling & wall area framing  
ok. MW

**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

March 10 2003

Business License  
115 New York Ave

Amount \$ 3,000.00

\$ 240.00

Building (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (12) \_\_\_\_\_

5 D 009

1916 Total Collected \$ 240.00

**THIS IS NOT A PERMIT**

This work is to be started until PERMIT CARD is actually posted  
upon the premises. Acceptance of fee is no guarantee that permit will  
be issued. PRESERVE THIS RECEIPT. In case permit cannot be  
obtained the amount of the fee will be refunded upon return of the  
receipt, less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*[Handwritten Signature]*

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Permit No: 03-0177	Date Applied For: 03/10/2003	CBL: 085 D007001
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Proposed Use: Single Family	Proposed Project Description: Interior Partitions/New Exterior Window and Door Openings/New Porch Walls & Stairs
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 03/26/2003
Note: 3/14/04 called the arch. Michael Chestnut - He is enlarging the front stairs needlessly & this lot is already over lot coverage. I requested a revised plan showing revised reduction of stairs to original or minimum under codes. 3/26/03 received revised plans on stairs - ok			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Separate permits shall be required for future decks, sheds, pools, and/or garages.</li> <li>2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</li> <li>3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>4) This permit is being approved on the basis of plans submitted including the revised plans dated 3/26/03. Any deviations shall require a separate approval before starting that work.</li> </ol>			
Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 04/09/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments: 3/28/2003-tm: Need tread, riser, guardrail details on stairs, need smokes in bedrooms, and need interior header info of new openings - left message w/ Mike Chestnut 4/9/2003-tm: rec'd additional info ok to issue
---

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

Permit Number: 030177

Please Read  
Application And  
Notes, if Any,  
Attached

# PERMIT D B

This is to certify that Jenness Kevin M &/Applic  
has permission to Interior Partitions/New Ext Window Openings New Porch Walls & Stairs  
AT 118 New Island Ave P.F 085 D007001

provided that the person or persons firm or corporation accepting this permit shall comply with all  
of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating  
the construction, maintenance and use of buildings and structures, and of the application on file in  
this department.

Apply to Public Works for street line  
and grade if nature of work requires  
such information.

Classification of inspection must be  
given and when permission is procured  
where this building or part thereof is  
occupied or otherwise closed-in  
FLOOR NO. REQUIRED.

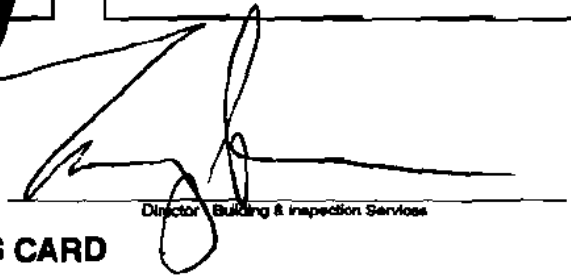
A certificate of occupancy must be  
procured by owner before this build-  
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

**PERMIT ISSUED**

**APR 09 2003**

Department Name **CITY OF PORTLAND**

  
Director, Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

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3/26/03 received revised plans on stairs - ok

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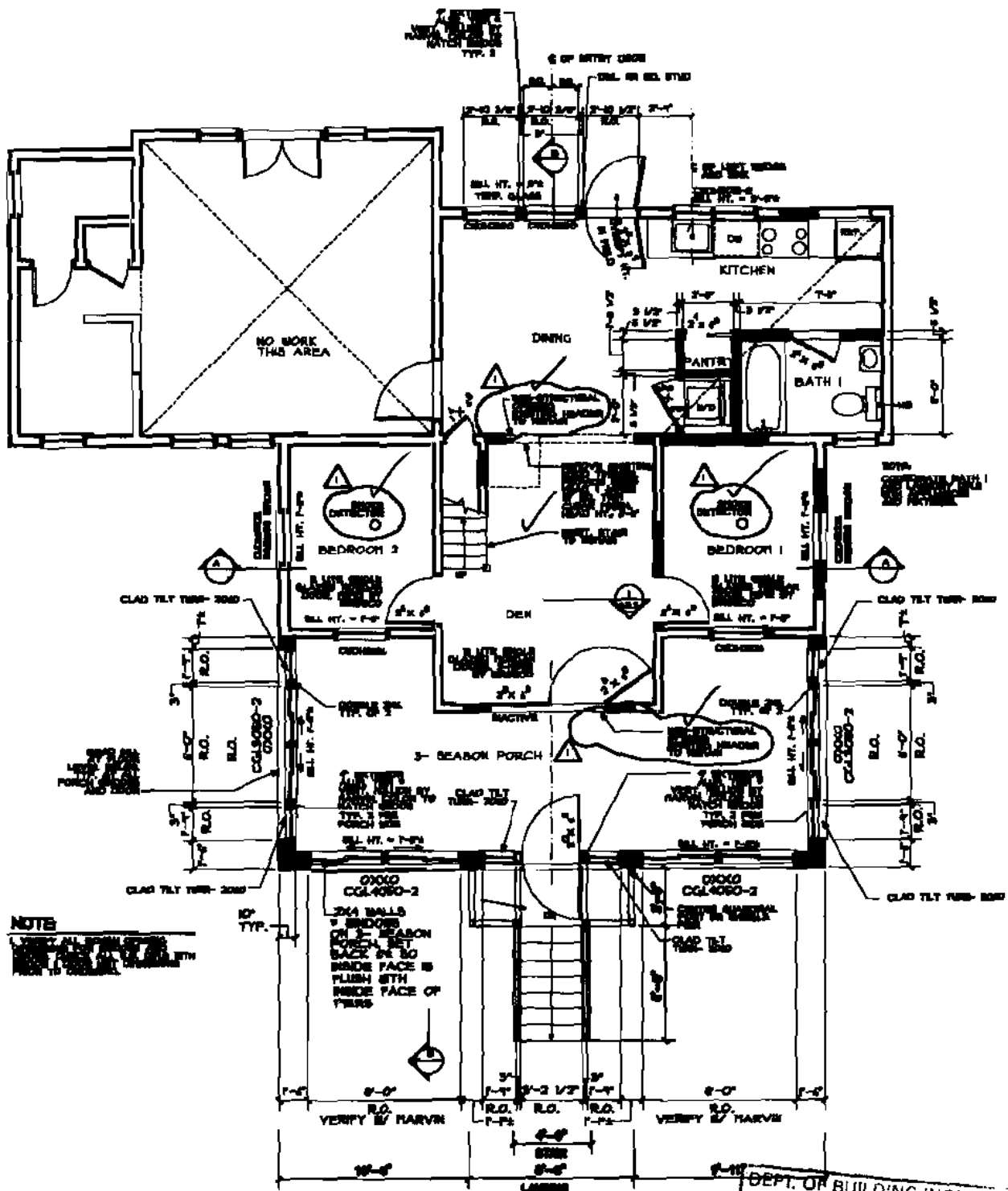
**Dept:** Building      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 04/09/2003

**Note:**      **Ok to Issue:**

**Comments:**

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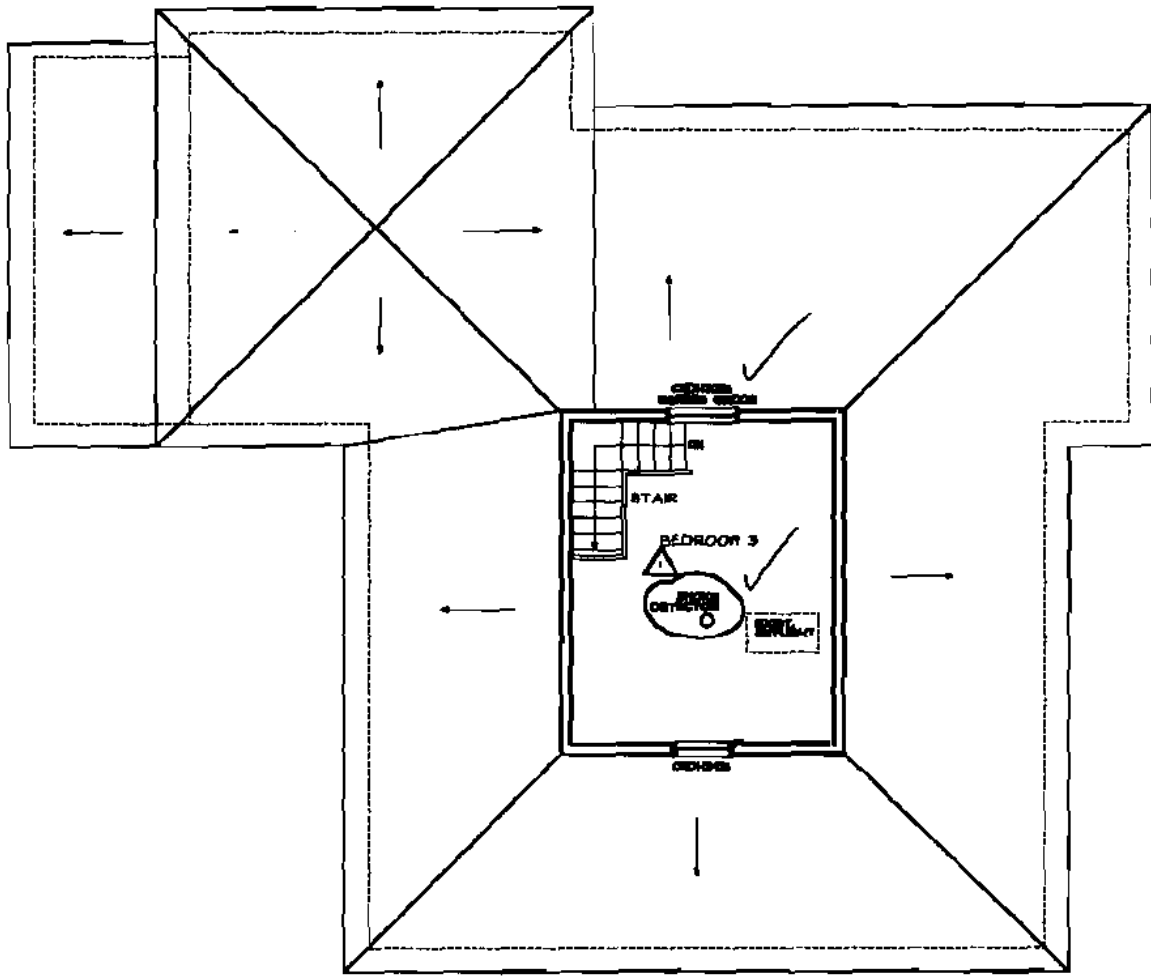


**NOTE**  
 [Redacted text]

**1** FIRST FLOOR PLAN  
 ALL REV. 4/10/03

ATTN: TAMMY MANNON  
 115 NEW ISLAND AVE, PEAKS ISLAND

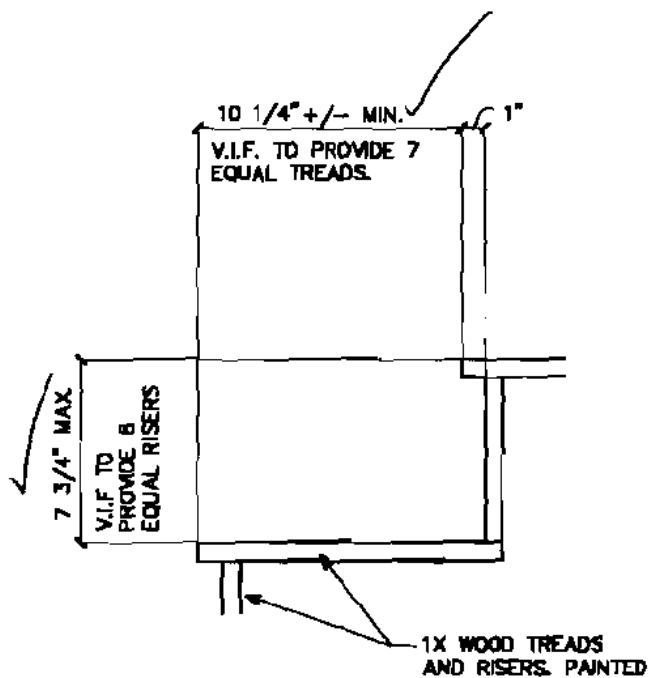
DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND  
 APR - 9 2003  
**RECEIVED**



**3 SECOND FLOOR PLAN**  
 ALL SCALE 1/4" = 1'-0"  
 REV. 11/03  
 ATTN: TAMMY MURPHY  
 88 NEW ISLAND AVE, PEAKS ISLAND

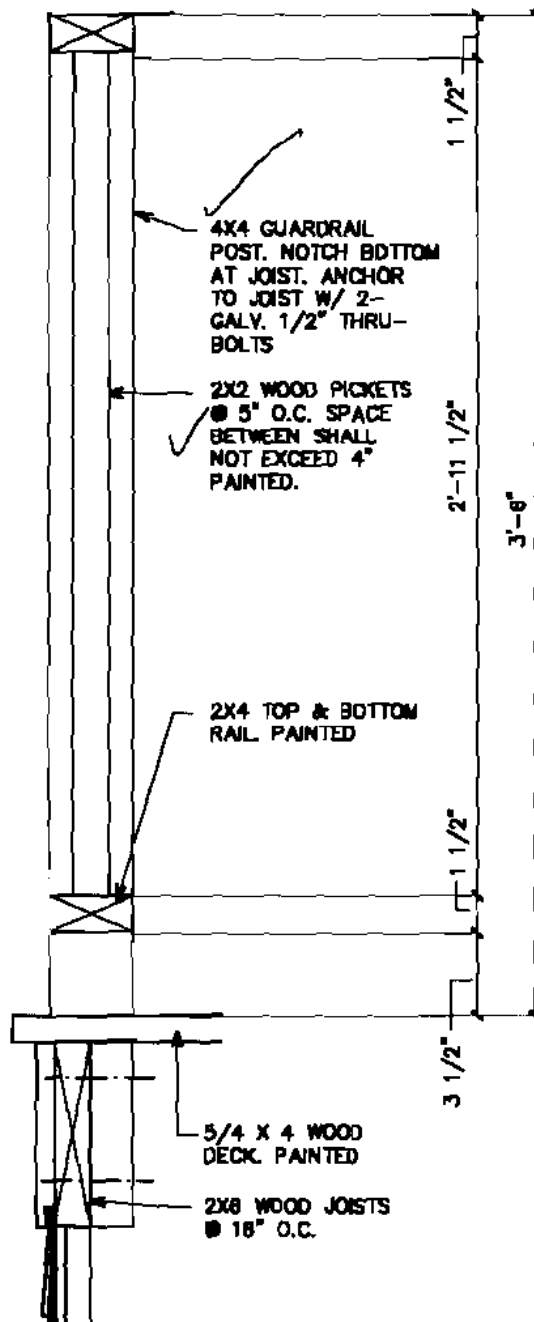
DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND  
 APR - 9 2003  
 RECEIVED





2 TYP. RISER & TREAD DETAIL

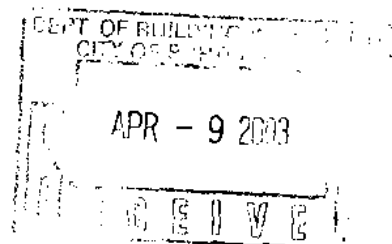
SCALE: 1 1/2" = 1'-0"



1 TYP. GUARDRAIL DETAIL

SCALE: 1 1/2" = 1'-0"

ATTN: TAMMY MUNSON  
118 NEW ISLAND AVE., PEAKS ISLAND



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- 4) This permit is being approved on the basis of plans submitted including the revised plans dated 3/26/03. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Pending      **Reviewer:**      **Approval Date:**      **Ok to Issue:**

03-0177

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

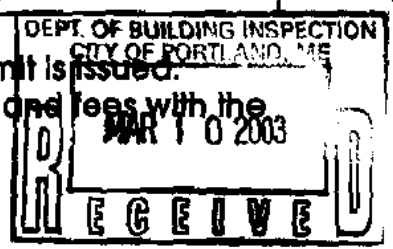
Location/Address of Construction: <u>118 NEW ISLAND AVE PEAKS ISLAND 04108</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>5,100 S.F.</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>85 - D - 7</u>	Owner: <u>KEVIN + REBELLA JENNESS 02445</u> <u>135 SUMNER RD. BROOKLINE MA</u>	Telephone: <u>617 734 6389</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>MICHAEL CHESTNUT ARCHITECT</u> <u>138 PLEASANT AVE, PORTLAND</u> <u>772-5942</u>	Cost Of Work: <u>\$31,000</u> Fee: <u>\$240.00</u>
Current use: <u>RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>RESIDENCE</u>		
Project description: <u>SEVERAL NEW NON STRUCTURAL INTERIOR PARTITIONS, NEW EXTERIOR WINDOW &amp; DOOR OPENINGS, NEW PORCH WALLS &amp; STAIR. SEE ATTACHED FOR HENCE LOAD TABLES</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>MICHAEL CHESTNUT 772-5942</u>		
Mailing address: <u>to call</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-5942</u>		

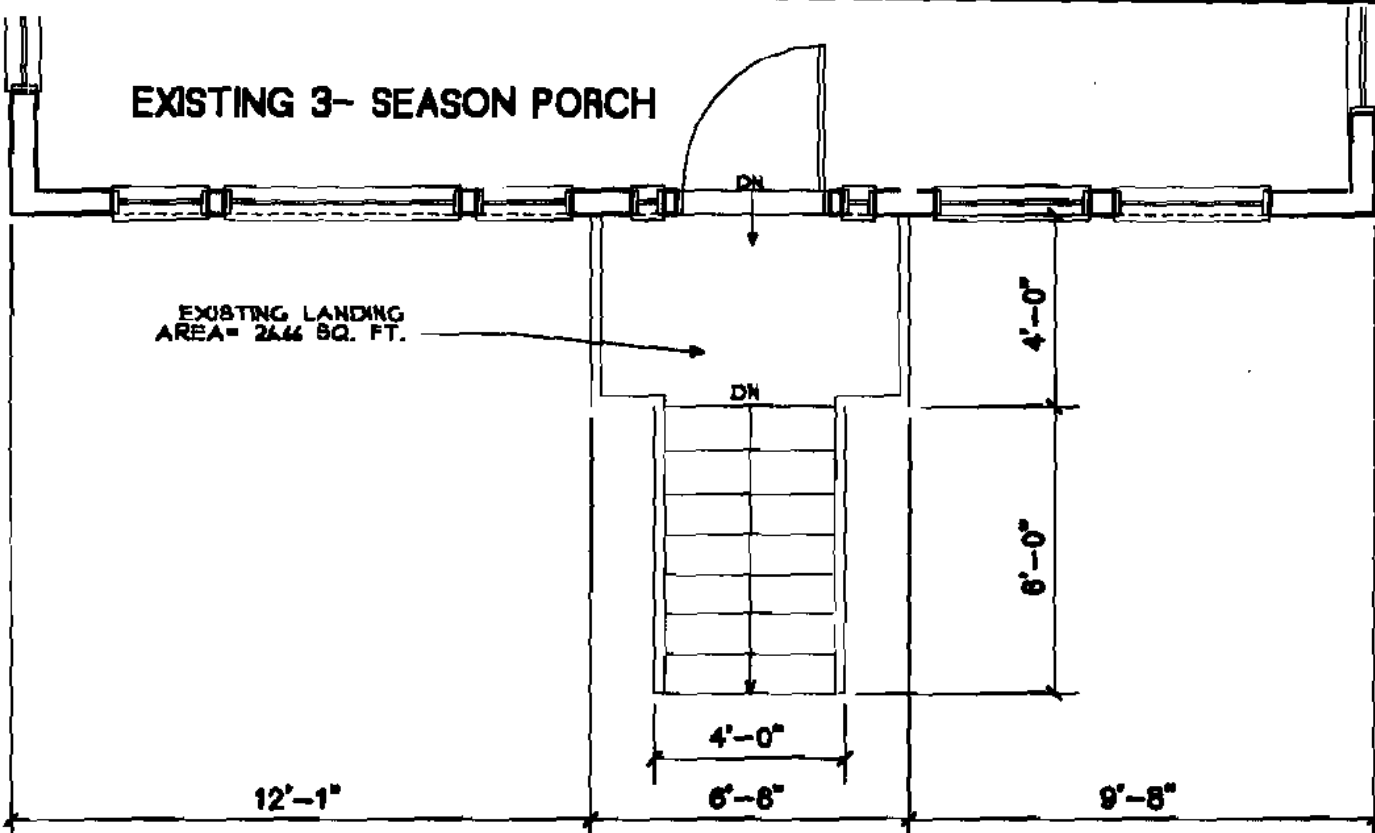
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Michael Chestnut Date: 3/10/03

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

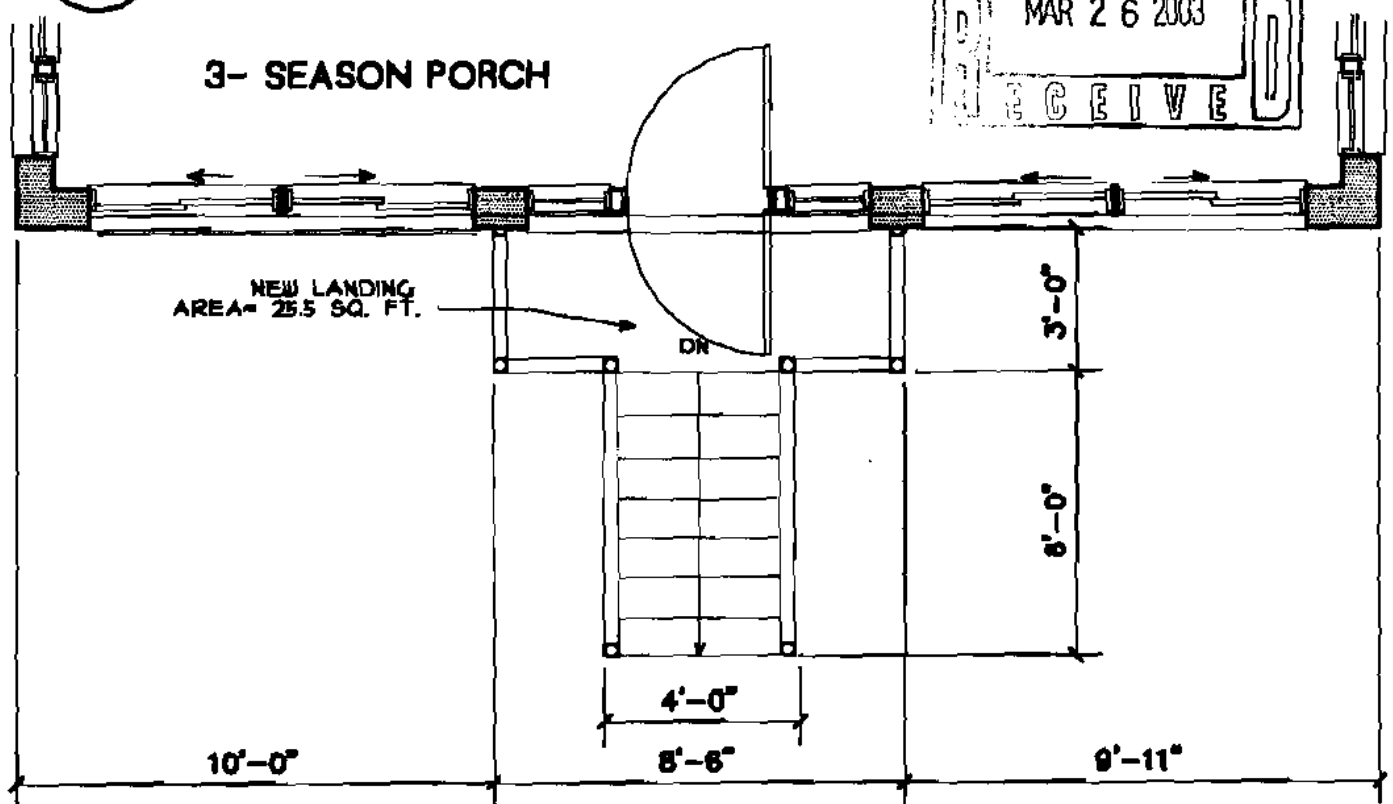




**A** EXISTING ENTRY STAIR & LANDING  
SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAR 26 2003  
RECEIVE

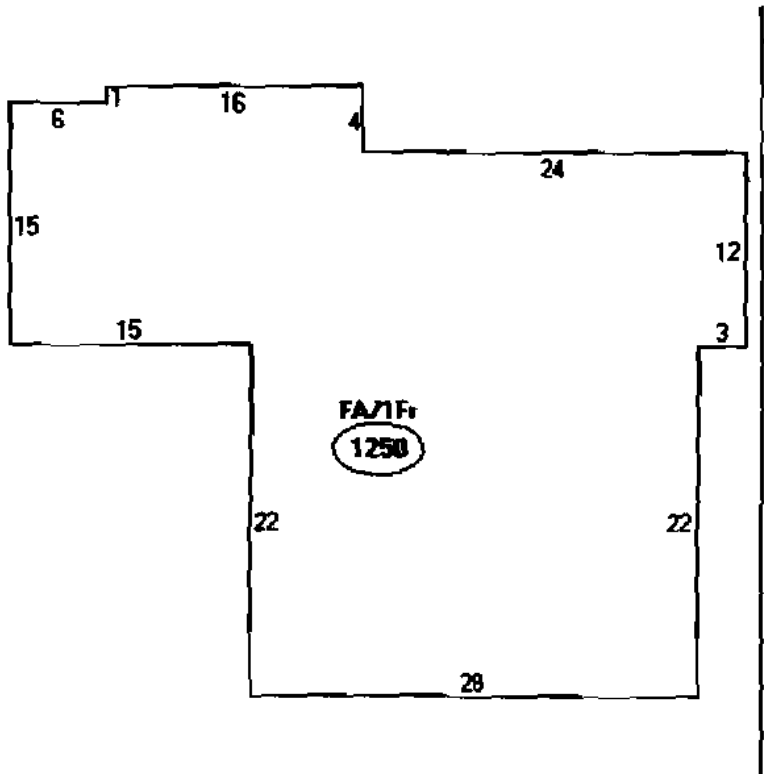
*REVISIONS  
to front  
steps  
OK*



**B** NEW ENTRY STAIR & LANDING  
SCALE: 1/4" = 1'-0" 3/20/03

REVISION TO DRAWING A.1 - 3/8/03

PROJECT: JENNESS COTTAGE  
118 NEW ISLAND AVE.  
PEAKS ISLAND 04108  
BUILDING PERMIT NO. 85 D 009



Descriptor/Area  
A: FA/1F1  
1250 sqft



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number 1 of 1  
 Parcel ID 085 D007001  
 Location 118 NEW ISLAND AVE  
 Land Use SINGLE FAMILY  
  
 Owner Address JENNESS KEVIN M & REBECCA A G JENNESS  
 135 SUMNER RD  
 BROOKLINE MA 02445

Book/Page 14144/323  
 Legal 85-D-7  
 ISLAND AVE  
 PEAKS ISLAND  
 5100 SF

*5/100 x 20% =  
 1020# MAX  
 NO increase of the  
 2nd floor show*

**Valuation Information**

Land	Building	Total
\$38,010	\$43,190	\$81,200

**Property Information**

Year Built 1925	Style Old Style	Story Height 1	Sq. Ft. 1562	Total Acres 0.117
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 5	Attic Part Finish
				Basement Pier/slab

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
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**Sales Information**

Date 09/01/1998	Type LAND + BLDING	Price \$74,900	Book/Page 14144-323
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**Picture and Sketch**

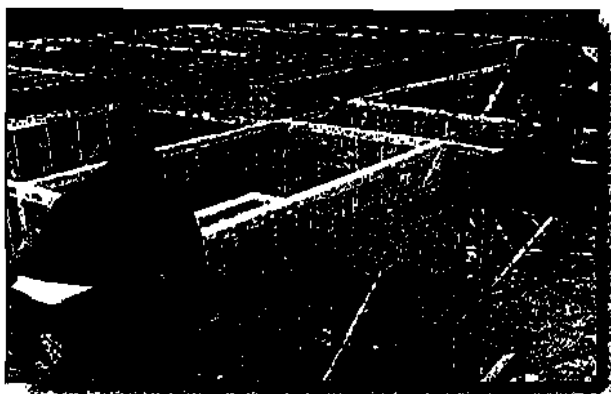
Picture                      Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



**LOAD TABLES (PLF): FLOOR**



**HOW TO USE THIS TABLE**

1. Determine the total load and live load on the beam or header in pounds per lineal foot (plf).
2. Locate under SPAN a span that meets or exceeds the required beam or header span (center-to-center of bearing).
3. Scan from left to right within the SPAN row until you find a cell where both the maximum TOTAL LOAD and the maximum LIVE LOAD meet or exceed the required loads. In cells where LIVE LOAD is not listed, TOTAL LOAD will control.
4. The dimensions of the beam are shown at the top of the column of the selected cell.
5. If the selected beam is too deep or the MIN. END/INT. BEARING length is too long, continue scanning to the right to find a wider beam that may require less depth and less bearing length.

*NOTE: OPENINGS FOR SINGLE WINDOWS & DOORS ARE 2'-2" x 8'*

SPAN		WIDTH 12" DEPT						WIDTH 16" DEPT				
4	TOTAL LOAD	432	762	1027	1062	1324	1424	1794	884	1525	2055	2125
	LIVE LOAD	290	626						580	1253		
	MIN. END/INT. BEARING	1.5/3.5	1.7/4.3	2.3/5.9	2.4/6.1	3/7.6	3.2/8.2	4.1/10.3	1.5/3.5	1.7/4.3	2.3/5.9	2.4/6.1
6	TOTAL LOAD	146	325	695	731	915	978	1207	292	651	1391	1462
	LIVE LOAD	126	280	555	597				253	561	1110	1195
	MIN. END/INT. BEARING	1.5/3.5	1.5/3.5	2.1/5.3	2.2/5.6	2.8/7.0	3.0/7.5	3.7/9.3	1.5/3.5	1.5/3.5	2.1/5.3	2.2/5.6
8	TOTAL LOAD	59	135	441	466	639	707	908	118	270	883	932
	LIVE LOAD			297	321	514	597				595	642
	MIN. END/INT. BEARING	1.5/3.5	1.5/3.5	1.7/4.2	1.8/4.5	2.4/6.2	2.7/6.8	3.5/8.7	1.5/3.5	1.5/3.5	1.7/4.2	1.8/4.5
10	TOTAL LOAD		64	260	281	442	489	666	54	128	521	563
	LIVE LOAD			176	190	309	360	569			353	381
	MIN. END/INT. BEARING		1.5/3.5	1.5/3.5	1.5/3.5	2/5.1	2.2/5.7	3.1/7.7	1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.5
12	TOTAL LOAD			144	178	293	342	487		66	329	357
	LIVE LOAD			113	122	199	232	370			226	244
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.6/4.0	1.8/4.7	2.6/6.6		1.5/3.5	1.5/3.5	1.5/3.5
14	TOTAL LOAD			110	119	197	231	371			220	238
	LIVE LOAD			76	82	135	158	254			153	165
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.7	2.3/5.8			1.5/3.5	1.5/3.5
16	TOTAL LOAD			76	85	138	162	265			153	166
	LIVE LOAD			54	58	96	112	181			108	117
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.5	1.9/4.7			1.5/3.5	1.5/3.5
18	TOTAL LOAD			54	59	100	118	193			109	119
	LIVE LOAD			39	42	70	82	133			79	85
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.9			1.5/3.5	1.5/3.5
20	TOTAL LOAD					56	66	110			60	65
	LIVE LOAD					41	48	78			46	50
	MIN. END/INT. BEARING					1.5/3.5	1.5/3.5	1.5/3.5			1.5/3.5	1.5/3.5
24	TOTAL LOAD											
	LIVE LOAD											
	MIN. END/INT. BEARING											

Post-It® Fax Note 7871

Date 2/6 # of pages 1

To MICHAEL CHRISTIAN From TIM DEAN

Co./Dept. Co.

Phone # Phone # 781-5242

Fax # Fax #



**THIS IS NOT A BOUNDARY SURVEY**

MORTGAGE INSPECTION OF: DEED BOOK 8381 PAGE 878 COUNTY Cumberland  
PLAN BOOK 13 PAGE 117 LOT 104

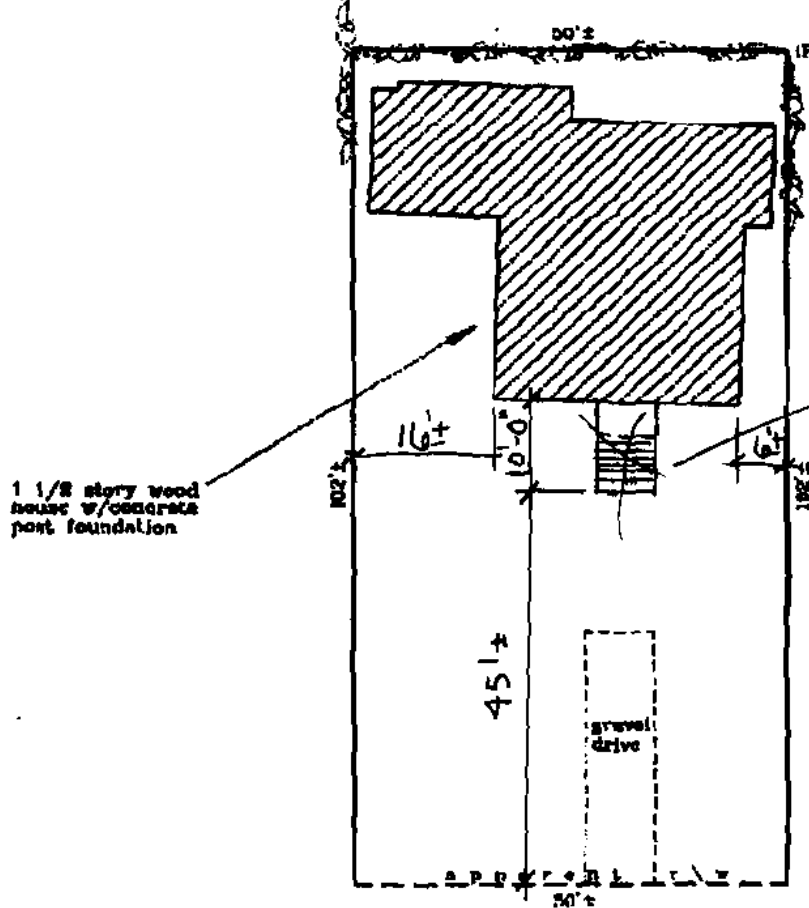
ADDRESS: 118 New Island Avenue, Peaks Isle, Portland, ME Job Number: 200-02

Inspection Date: 9 9 98

Scale: 1" = 20'

Buyers: Kevin M. & Rebecca A. G. Johnson

Sellers: James & Wendy Harmon



See revised detail dated 3/26/03 for the front stairs

IR-2 Zone  
Front: 20' reg - 45' sh  
Rear: legally Nonconforming  
Sides: legally Nonconforming

New Island Avenue

*DLH*

HEREBY CERTIFY TO: Hopkinson & Abbonadio, P. A. The Mortgage Office, and Jim Little, lawyer.

Monuments found did not conflict with the deed description.  
The dwelling setbacks do not violate local zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel 830061-0016A:

The structure does not fall within the special flood hazard zone.  
The land does not fall within the special flood hazard zone.

A wetlands study has not been performed

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER CIRCUMSTANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ADJUTING EASEMENTS OR RIGHTS OF WAY UNLESS SHOWN.

**Livingston - Hughes**

Professional Land Surveyors & Foresters

88 Gulden Road

Kennebunkport - Maine 04046

207-867-8781 phone 207 967 4831 fax

**THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY**

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

         Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds~~, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

*Michael R. Smith*  
Signature of applicant/designee

4/11/03  
Date

*[Signature]*  
Signature of Inspections Official

4/4/03  
Date

CBL: 085 D 009 Building Permit #: 030177

JENNESS  
COTTAGE  
Renovations

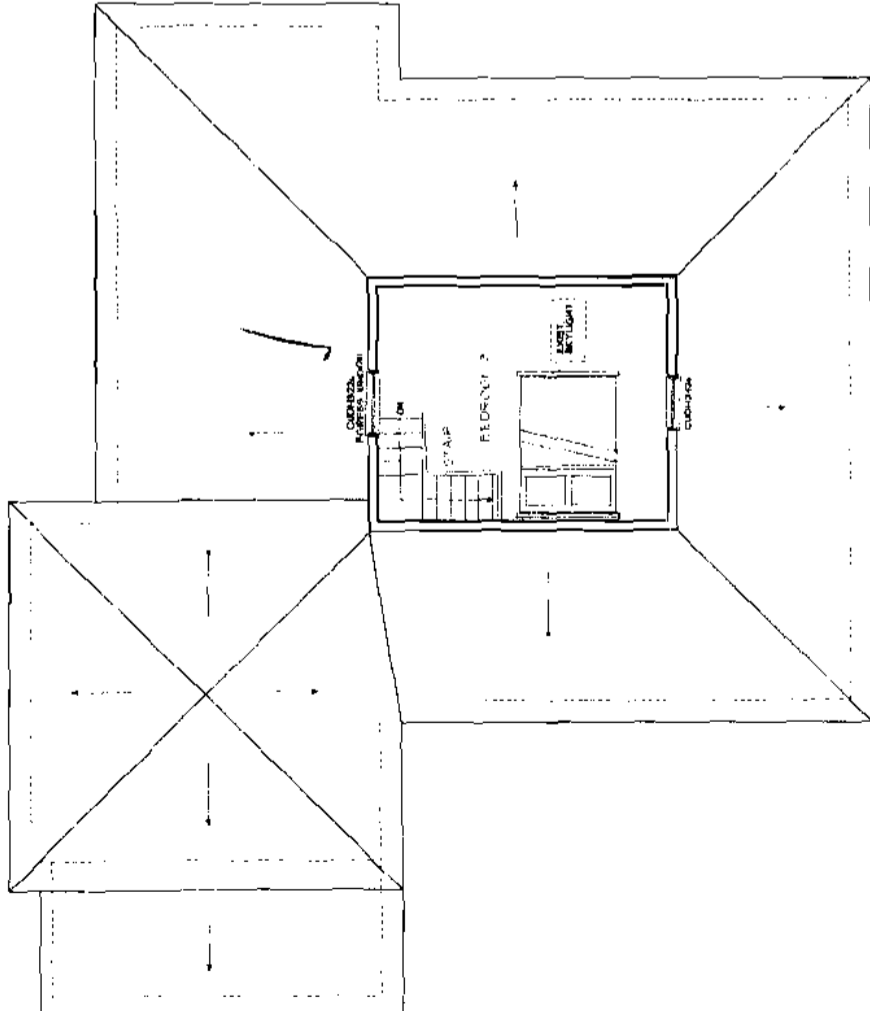
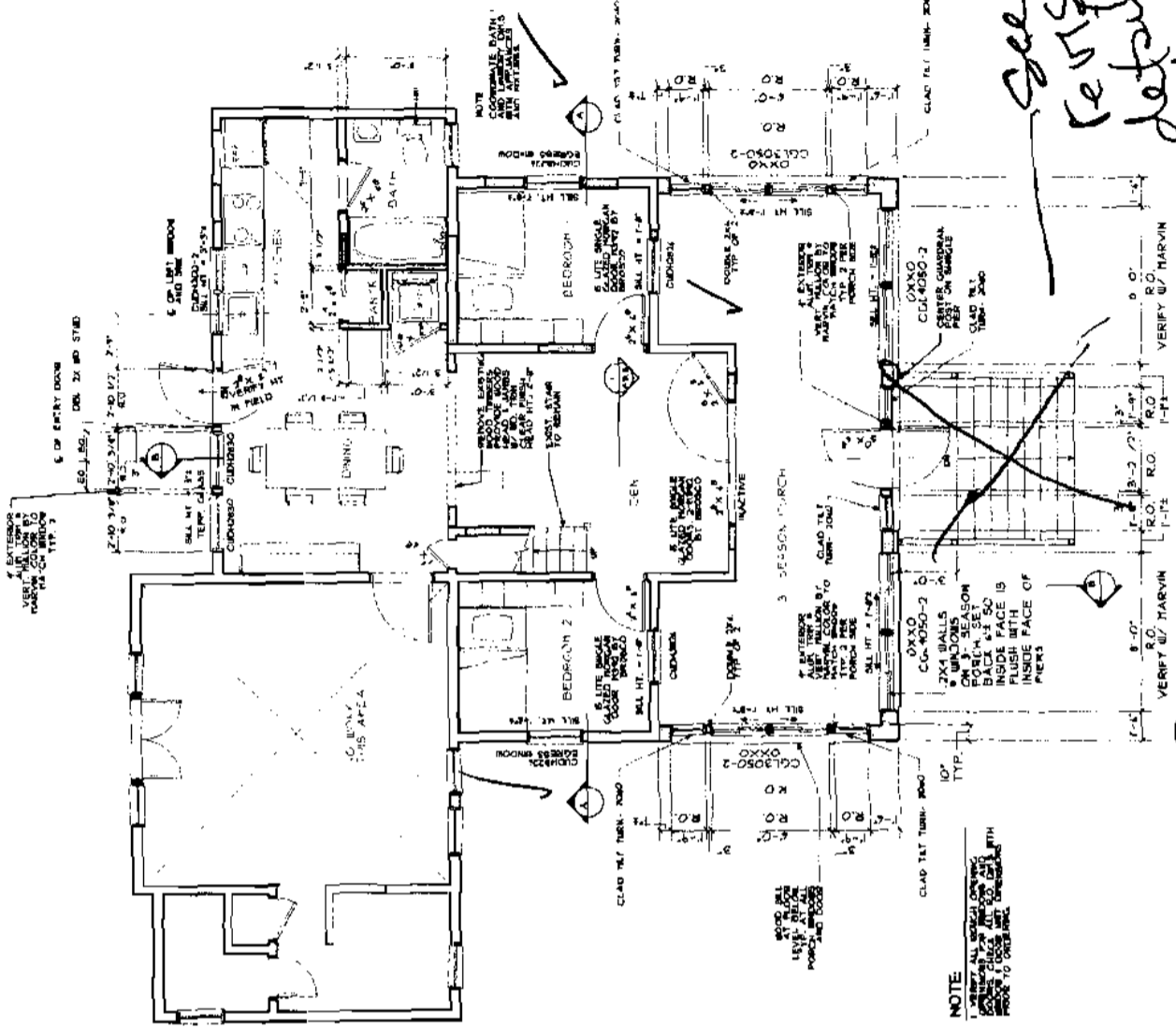
PEAKS ISLAND  
Portland, Maine

Michael Chestnut  
Architect  
105-115  
203-732-0882

DATE: March 4, 2003  
SCALE: 1/4" = 1'-0"

DRAWING TITLE:  
FLOOR PLANS

A1.1



1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

2 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
SCHEME 1

**JENNESS  
COTTAGE  
Renovations**

PEAKS ISLAND  
Portland, Maine

Michael Chestnut  
Architect  
Portland, Maine  
107-773-8892

DATE: March 6, 2003  
SCALE: 1/4" = 1'-0"

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

**A2.1**

