

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 030177

This is to certify that Jeness Kevin M &/Applica
has permission to Interior Partitions/New Ext Window Openings New Porch Walls & Stairs
AT 118 New Island Ave P.F 085 D007001

provided that the person or persons work or operation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

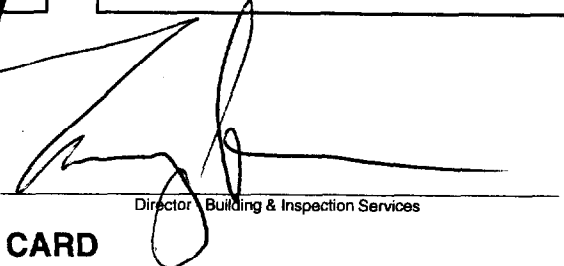
Notification of inspection must be given and when permission procured before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOISE REQUIREMENT.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

PERMIT ISSUED
APR 09 2003

Department Name **CITY OF PORTLAND**


Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0177	Date Applied For: 03/10/2003	CBL: 085 D007001
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Location of Construction: 118 New Island Ave	Owner Name: Jeness Kevin M &	Owner Address: 135 Sumner Rd	Phone: 617-734-6389
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family	Proposed Project Description: Interior Partitions/New Exterior Window and Door Openings/New Porch Walls & Stairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/26/2003**Note:** 3/14/04 called the arch. Michael Chestnut - He is enlarging the front stairs needlessly & this lot is already over lot coverage. I requested a revised plan showing revised reduction of stairs to original or minimum under codes. **Ok to Issue:**

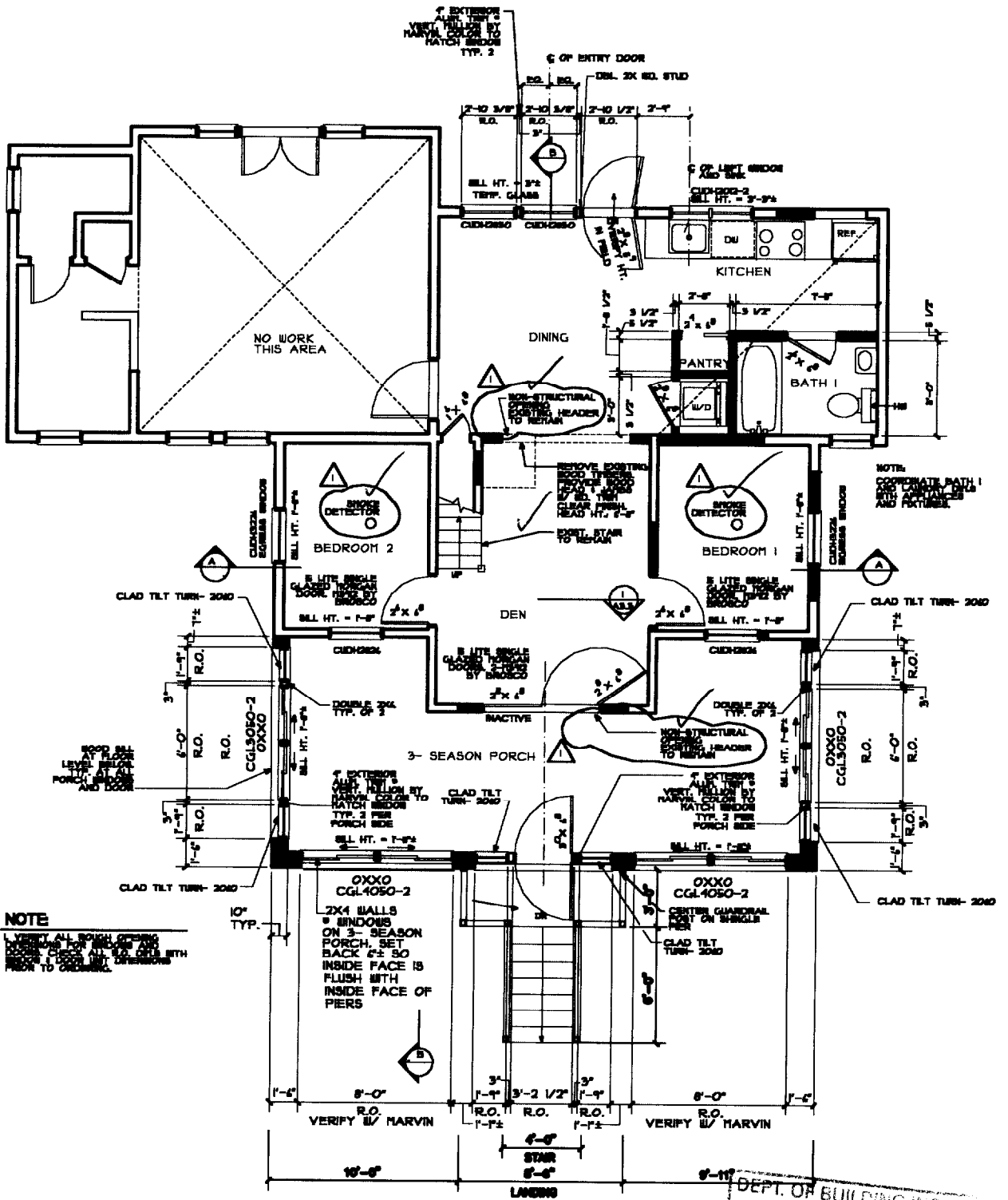
3/26/03 received revised plans on stairs - ok

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted including the revised plans dated 3/26/03. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 04/09/2003**Note:** **Ok to Issue:** **Comments:**

3/28/03-tm: Need tread, riser, guardrail details on stairs, need smokes in bedrooms, and need interior header info of new openings - left message w/ Mike Chestnut

4/9/03-tm: rec'd additional info ok to issue

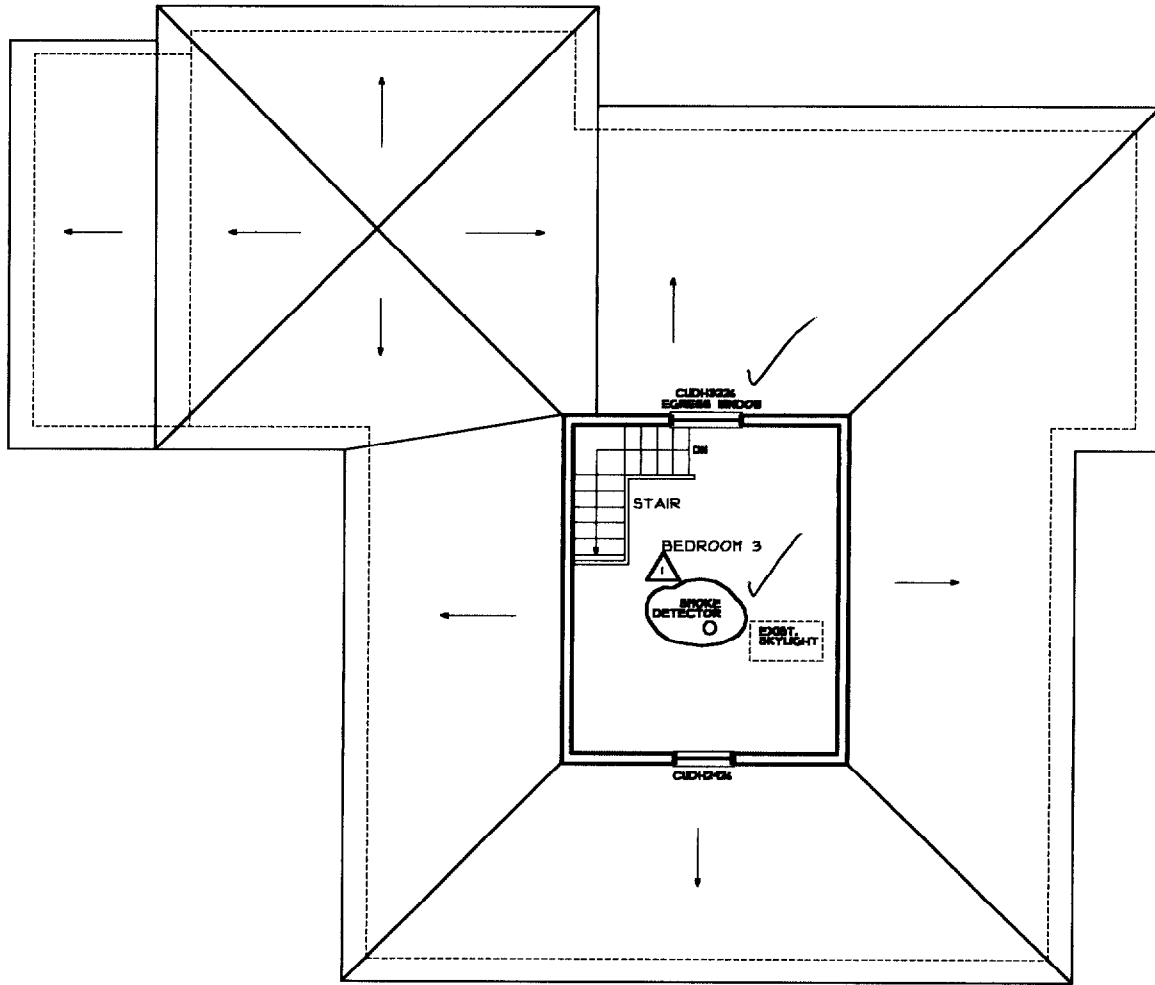


NOTE
 VERIFY ALL WINDOW AND DOOR SIZES AT FLOOR LEVEL. VERIFY ALL WINDOW AND DOOR SIZES AT FLOOR LEVEL. VERIFY ALL WINDOW AND DOOR SIZES AT FLOOR LEVEL.

1 FIRST FLOOR PLAN
ALL SCALE: 1/8" = 1'-0"
 REV. 1/1/03

ATTN: TAMMY MUNSON
 118 NEW ISLAND AVE, PEAKS ISLAND

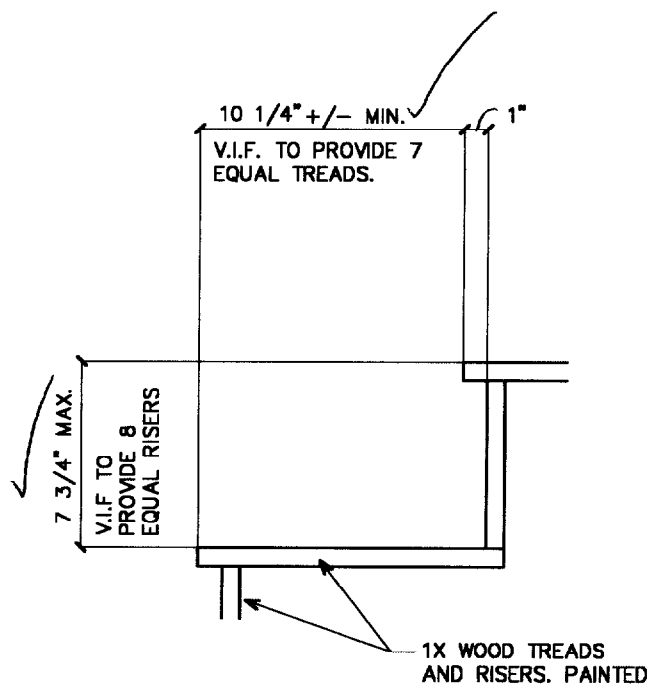
DEPT. OF BUILDING INSPECTION
 CITY OF PEAKS ISLAND
 APR - 9 2003
 RECEIVED



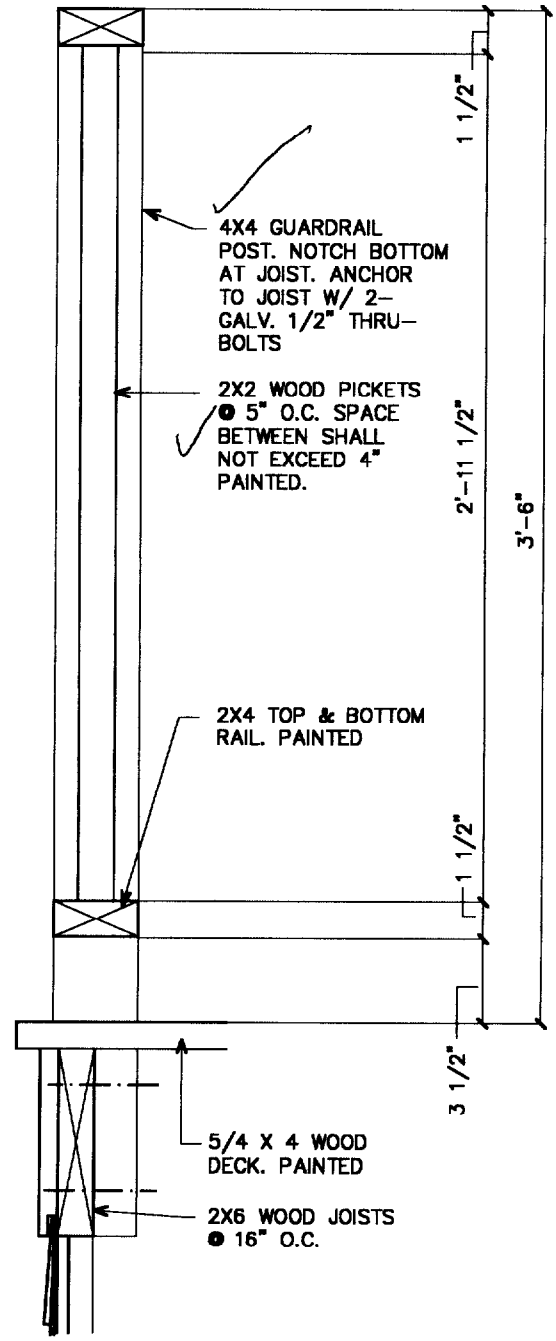
2 SECOND FLOOR PLAN
ALI SCALE: 1/4" = 1'-0"
 REV. 4/1/05

ATTN: TAMMY MUNSON
 118 NEW ISLAND AVE, PEAKS ISLAND

DEPT. OF BUILDING INSPECTION
 CITY OF PEAKS ISLAND
 APR - 9 2005
 RECEIVED



2 TYP. RISER & TREAD DETAIL
 SCALE: 1 1/2" = 1'-0"



1 TYP. GUARDRAIL DETAIL
 SCALE: 1 1/2" = 1'-0"

ATTN: TAMMY MUNSON
 118 NEW ISLAND AVE. , PEAKS ISLAND

100 - 9 3/4
 APPROVED

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0177	Date Applied For: 03/10/2003	CBL: 085 D007001
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Dept: Building **Status:** Pending **Reviewer:** **Approval Date:** **Ok to Issue:**

03-0177

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

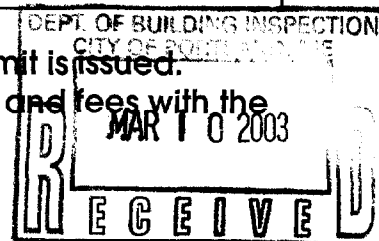
Location/Address of Construction: <u>118 NEW ISLAND AVE, PEAKS ISLAND 04108</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>5,100 SF.</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>85 - D - 7</u>	Owner: <u>KEVIN & REBELLA JENNESS</u> <u>135 SUMNER RD. BROOKLINE MA 02445</u>	Telephone: <u>617 734 6389</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>MICHAEL CHESTNUT ARCHITECT</u> <u>138 PLEASANT AVE, PORTLAND 772-5942</u>	Cost Of Work: <u>\$31,000</u> Fee: <u>\$240.00</u>
Current use: <u>RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>RESIDENCE</u>		
Project description: <u>SEVERAL NEW NON STRUCTURAL INTERIOR PARTITIONS, NEW EXTERIOR WINDOW & DOOR OPENINGS, NEW PORCH WALLS & STAIR. SEE ATTACHED FOR HEADER LOAD TABLES</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>MICHAEL CHESTNUT 772-5942</u>		
Mailing address: <u>to call</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-5942</u>		

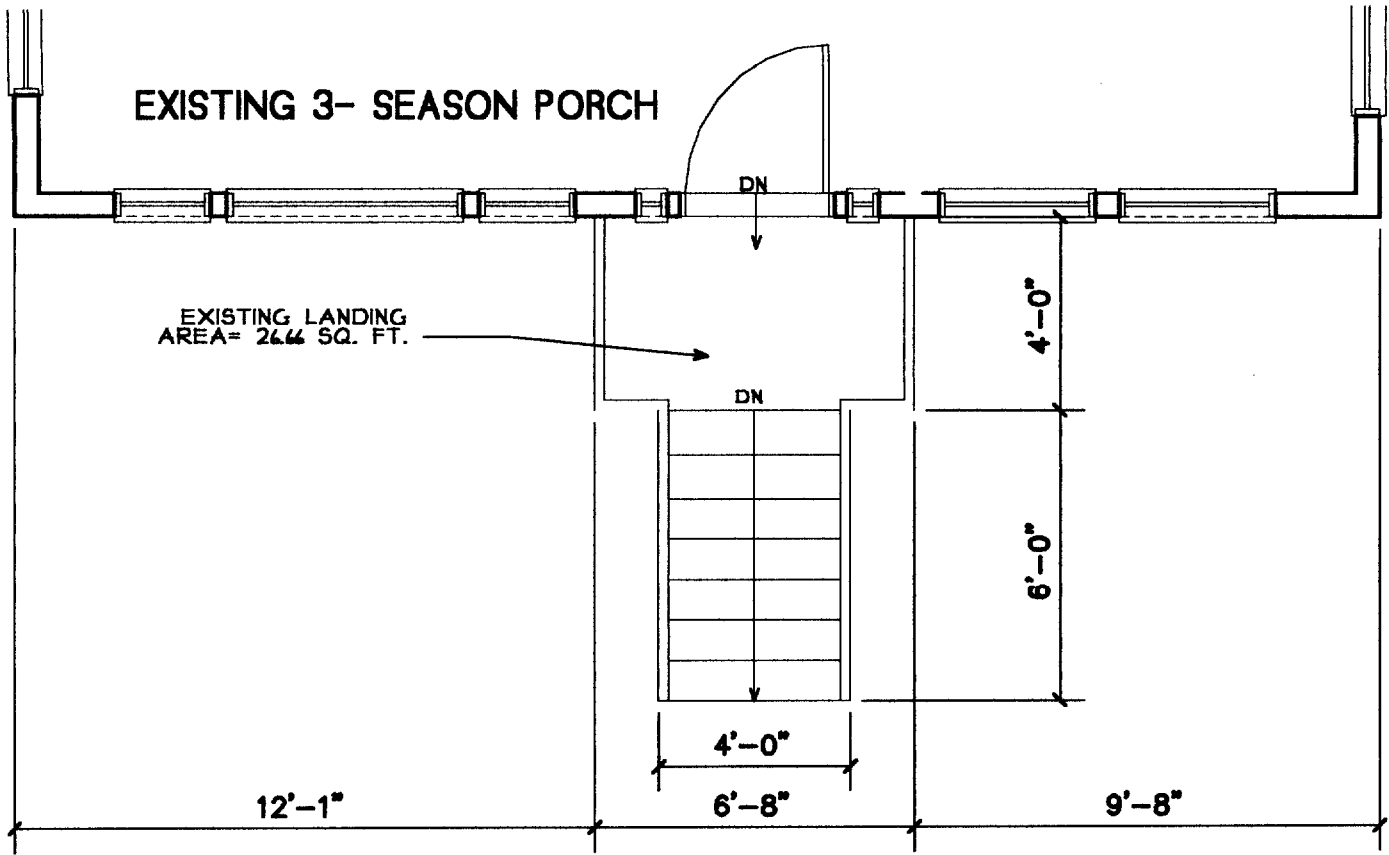
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michael Chestnut</u>	Date: <u>3/10/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

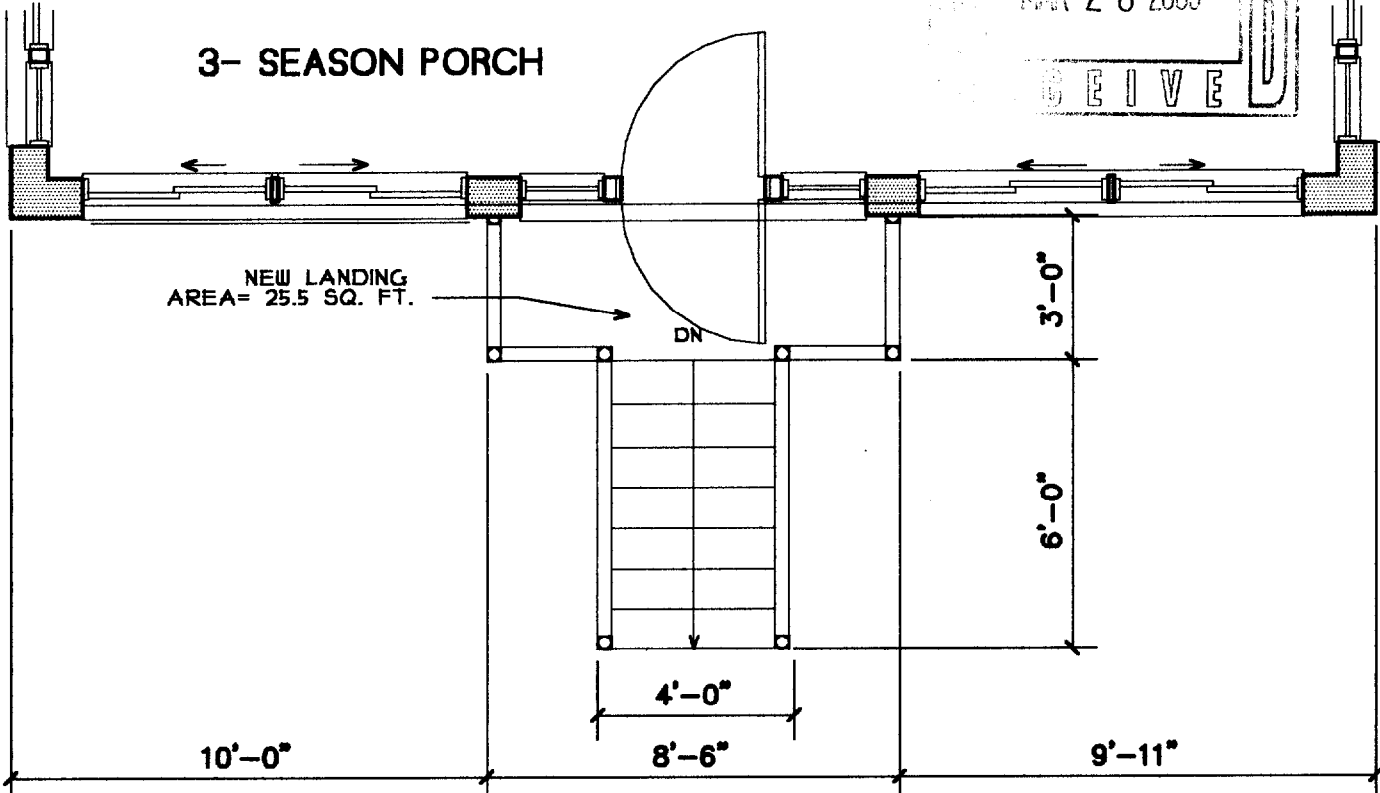




A EXISTING ENTRY STAIR & LANDING
SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 26 2003
RECEIVE

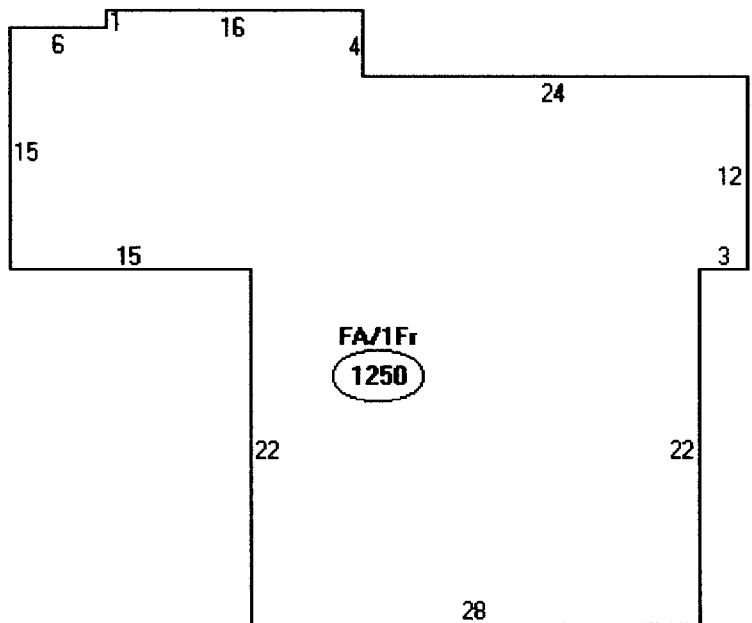
Revisions to front steps ok



B NEW ENTRY STAIR & LANDING
SCALE: 1/4" = 1'-0" 3/20/03

REVISION TO DRAWING A1.1 -3/6/03

PROJECT: JENNESS COTTAGE
118 NEW ISLAND AVE.
PEAKS ISLAND 04108
BUILDING PERMIT NO. 85 D 009



Descriptor/Area
A:FA/1Fr
1250 sqft



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 085 D007001
Location 118 NEW ISLAND AVE
Land Use SINGLE FAMILY

Owner Address JENNESS KEVIN M & REBECCA A G JENNESS
 135 SUMNER RD
 BROOKLINE MA 02445

Book/Page 14144/323
Legal 85-D-7
 ISLAND AVE
 PEAKS ISLAND
 5100 SF

*5100 x 20% =
 '020 # MAX
 NO increase of the
 2nd floor show*

Valuation Information

Land	Building	Total
\$38,010	\$43,190	\$81,200

Property Information

Year Built 1925	Style Old Style	Story Height 1	Sq. Ft. 1562	Total Acres 0.117		
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 5	Attic Part Finish	Basement Pier/slab	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 09/01/1998	Type LAND + BLDING	Price \$74,900	Book/Page 14144-323
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Picture and Sketch

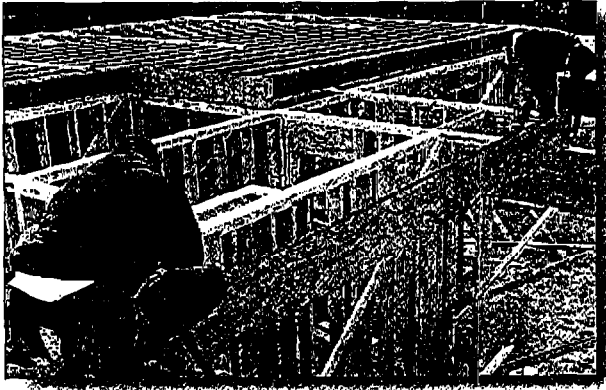
[Picture](#) [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

LOAD TABLES (PLF): FLOOR



HOW TO USE THIS TABLE

1. Determine the total load and live load on the beam or header in pounds per lineal foot (plf).
2. Locate under SPAN a span that meets or exceeds the required beam or header span (center-to-center of bearing).
3. Scan from left to right within the SPAN row until you find a cell where both the maximum TOTAL LOAD and the maximum LIVE LOAD meet or exceed the required loads. In cells where LIVE LOAD is not listed, TOTAL LOAD will control.
4. The dimensions of the beam are shown at the top of the column of the selected cell.
5. If the selected beam is too deep or the MIN. END/INT. BEARING length is too long, continue scanning to the right to find a wider beam that may require less depth and less bearing length.

NOTE: OPENINGS FOR SINGLE & DOUBLE DOORS ARE 2'-2" x 8'

SPAN		WIDTH (1 PLY)						WIDTH (2 PLY)				
		5 1/2"	7 1/4"	9 1/4"	9 7/8"	11 1/4"	11 7/8"	14"	5 1/2"	7 1/4"	9 1/4"	9 7/8"
6'	TOTAL LOAD	432	762	1027	1062	1324	1424	1794	864	1525	2055	2125
	LIVE LOAD L/360	290	626						580	1253		
	MIN. END/INT. BEARING	1.5/3.5	1.7/4.3	2.3/5.9	2.4/6.1	3/7.6	3.2/8.2	4.1/10.3	1.5/3.5	1.7/4.3	2.3/5.9	2.4/6.1
8'	TOTAL LOAD	146	325	695	731	915	978	1207	292	651	1391	1462
	LIVE LOAD L/360	126	280	555	597				253	561	1110	1195
	MIN. END/INT. BEARING	1.5/3.5	1.5/3.5	2.1/5.3	2.2/5.6	2.8/7.0	3.0/7.5	3.7/9.3	1.5/3.5	1.5/3.5	2.1/5.3	2.2/5.6
10'	TOTAL LOAD	59	135	441	466	639	707	908	118	270	883	932
	LIVE LOAD L/360			297	321	514	597				595	642
	MIN. END/INT. BEARING	1.5/3.5	1.5/3.5	1.7/4.2	1.8/4.5	2.4/6.2	2.7/6.8	3.5/8.7	1.5/3.5	1.5/3.5	1.7/4.2	1.8/4.5
12'	TOTAL LOAD		64	260	281	442	489	666	54	128	521	563
	LIVE LOAD L/360			176	190	309	360	569			353	381
	MIN. END/INT. BEARING		1.5/3.5	1.5/3.5	1.5/3.5	2/5.1	2.2/5.7	3.1/7.7	1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.5
14'	TOTAL LOAD			164	178	293	342	487		66	329	357
	LIVE LOAD L/360			113	122	199	232	370			226	244
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.6/4.0	1.8/4.7	2.6/6.6		1.5/3.5	1.5/3.5	1.5/3.5
16'	TOTAL LOAD			110	119	197	231	371			220	238
	LIVE LOAD L/360			76	82	135	158	254			153	165
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.7	2.3/5.8			1.5/3.5	1.5/3.5
18'	TOTAL LOAD			76	83	138	162	265			153	166
	LIVE LOAD L/360			54	58	96	112	181			108	117
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.5	1.9/4.7			1.5/3.5	1.5/3.5
20'	TOTAL LOAD			54	59	100	118	193			109	119
	LIVE LOAD L/360			39	42	70	82	133			79	85
	MIN. END/INT. BEARING			1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.5	1.5/3.9			1.5/3.5	1.5/3.5
24'	TOTAL LOAD					56	66	110			60	65
	LIVE LOAD L/360					41	48	78			46	50
	MIN. END/INT. BEARING					1.5/3.5	1.5/3.5	1.5/3.5			1.5/3.5	1.5/3.5
28'	TOTAL LOAD											
	LIVE LOAD L/360											
	MIN. END/INT. BEARING											

Post-it® Fax Note	7671	Date	2/6	# of pages	1
To	MICHAEL CHESTNUT	From	TIM DEAN		
Co./Dept.		Co.			
Phone #		Phone #	781-5242		
Fax #		Fax #			

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 8381 PAGE 279 COUNTY Cumberland
PLAN BOOK 13 PAGE 112 LOT 104

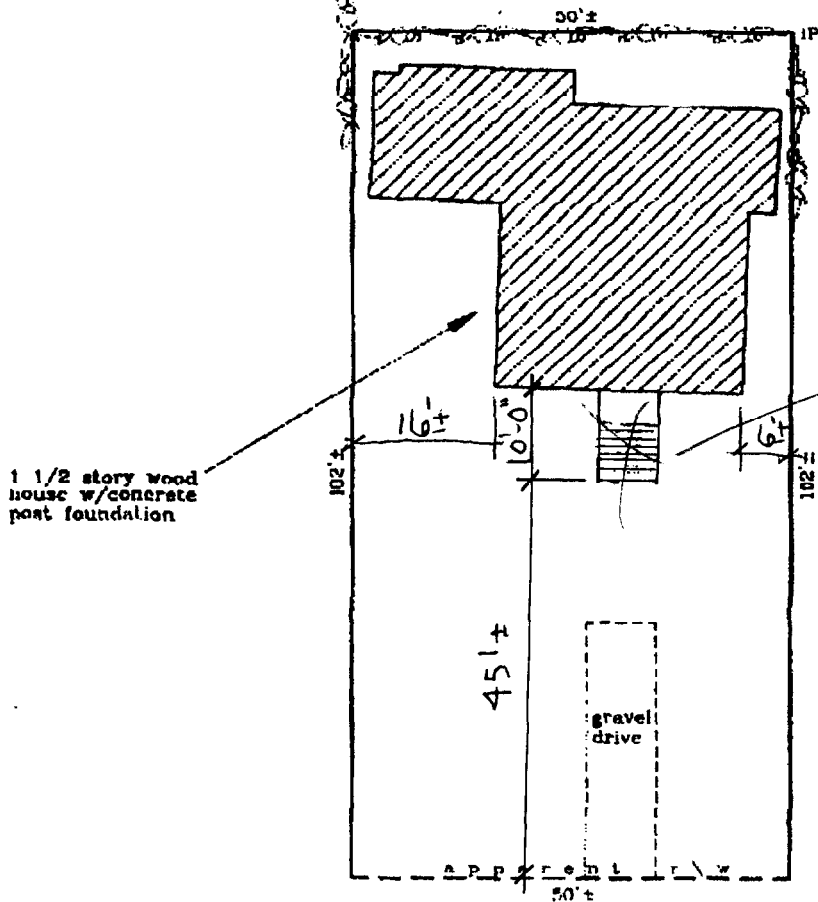
ADDRESS: 118 New Island Avenue, Peaks Isle., Portland, ME Job Number: 200-09

Inspection Date: 9 9 98

Buyers: Kevin M. & Rebecca A. G. Jenness

Scale: 1" = 20'

Sellers: James & Wendy Harmon



See revised detail dated 3/26/03 for the front steps

IR-2 Zone
Front: 20' Reg - 45' Shaded
Rear: legally Nonconforming
Sides: legally Nonconforming

New Island Avenue

DLJA

HEREBY CERTIFY TO: Hopkinson & Abbondanza, P. A. The Mortgage

documents found did not conflict with the deed description.
The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel 2:00051-0015B:

The structure does not fall within the special flood hazard zone.
The land does not fall within the special flood hazard zone.
A wetlands study has not been performed.

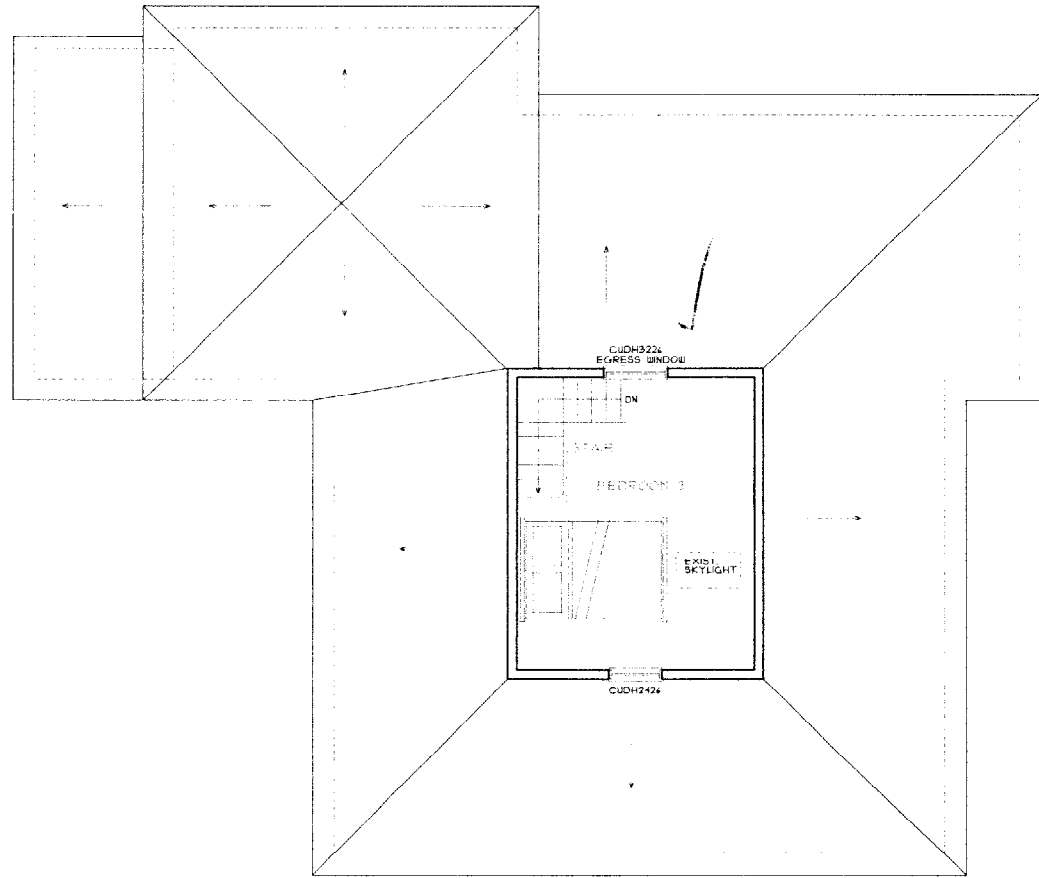
APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ADJOINING DEED CONFLICTS, IF ANY.

Livingston -- Hughes
Professional Land Surveyors & Foresters
88 Guinea Road
Kennebunkport - Maine 04646
207-887-8761 phone 207-987-4831 fax

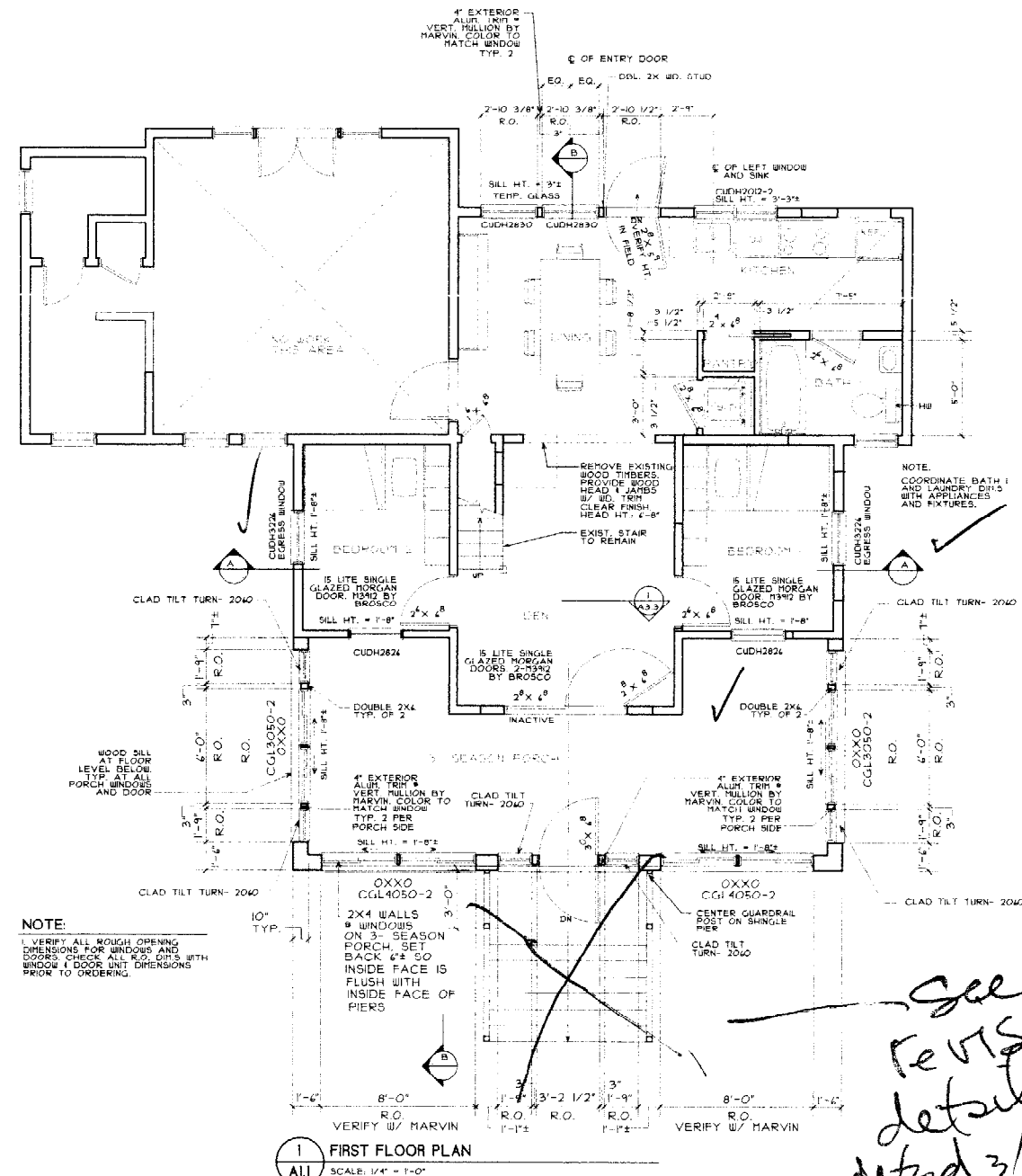
THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

**JENNESS
COTTAGE**
Renovations

PEAKS ISLAND
Portland, Maine



2 SECOND FLOOR PLAN SCHEME 1
ALL SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
ALL SCALE: 1/4" = 1'-0"

See revised detail dated 3/26/03

Michael Chestnutt
Architect
Portland, Maine
207-772-5942

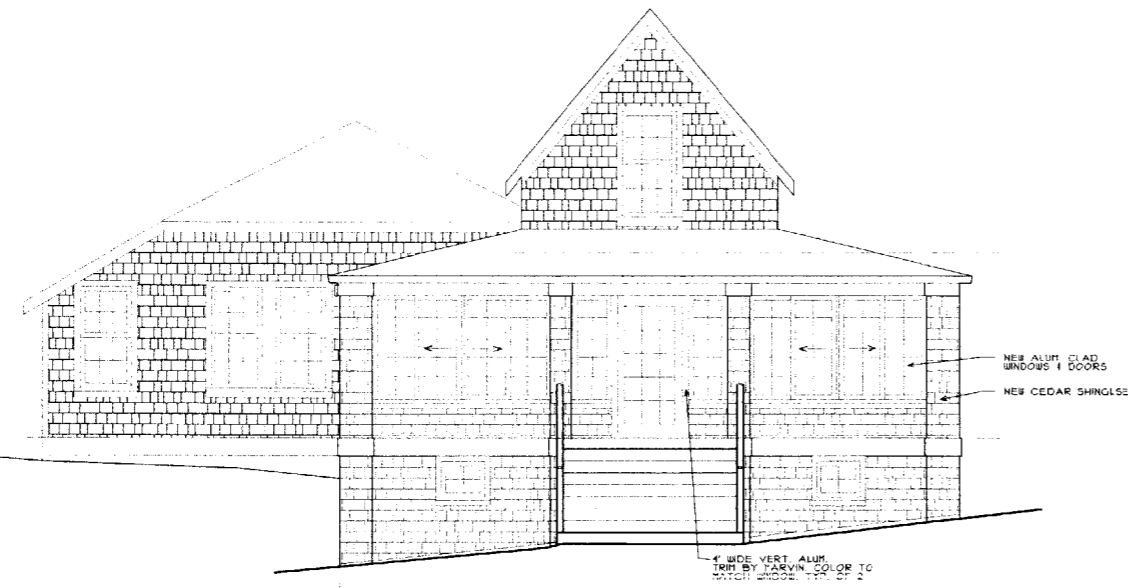
DATE: March 4, 2003
SCALE: 1/4" = 1'-0"

DRAWING TITLE:
FLOOR PLANS

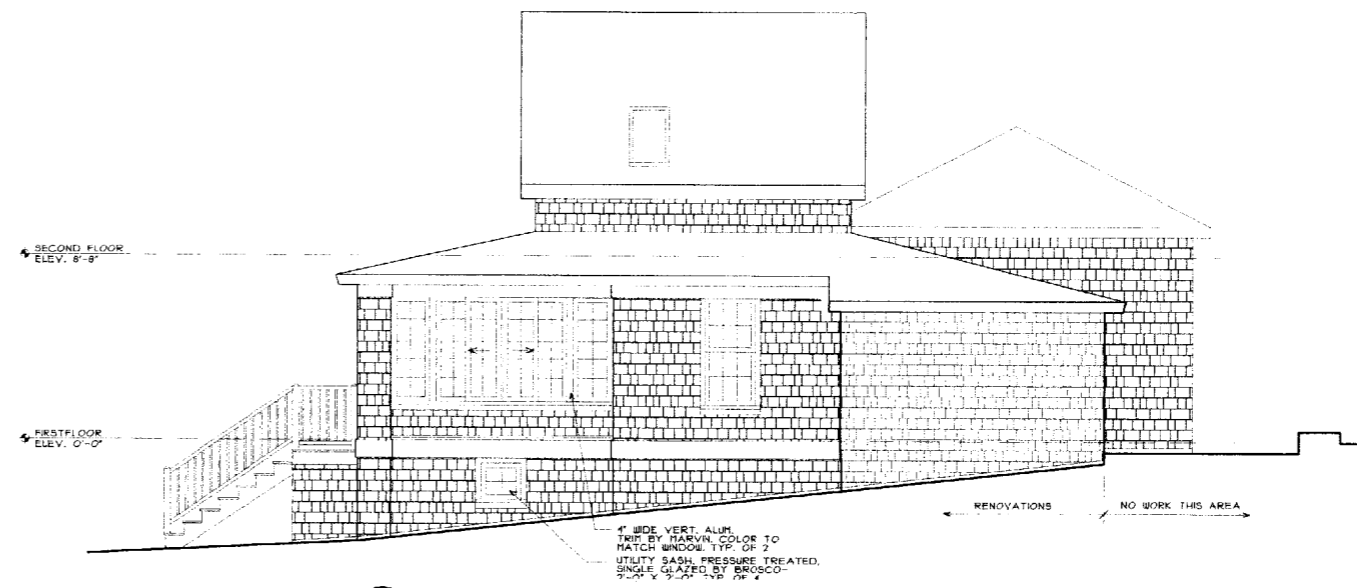
A1.1

**JENNESS
COTTAGE**
Renovations

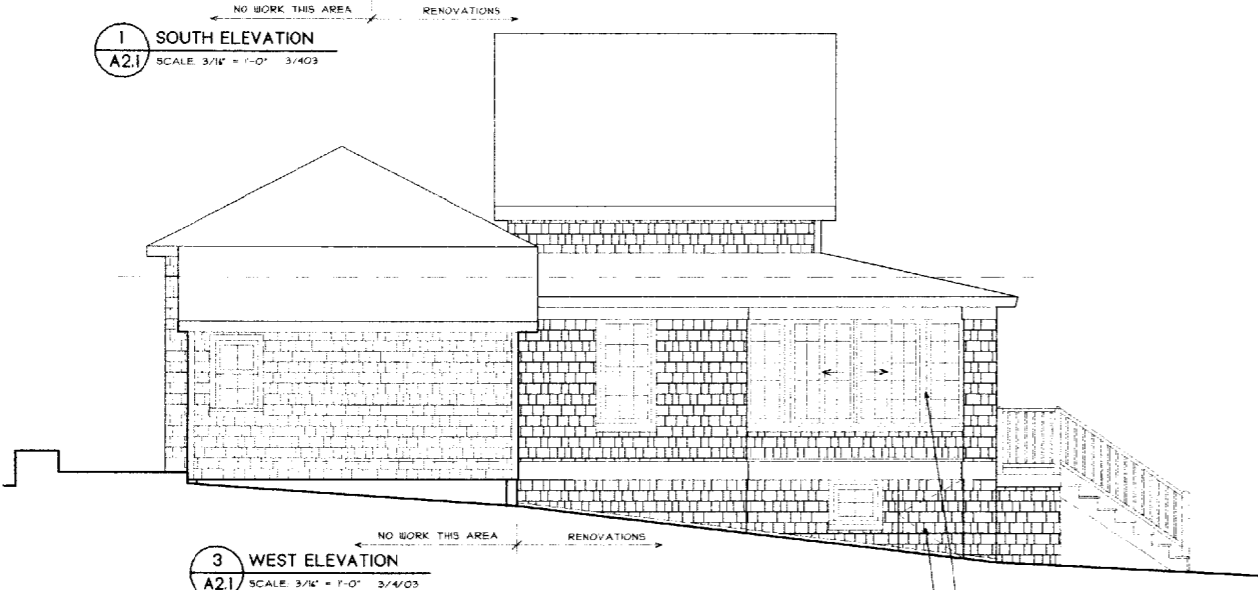
PEAKS ISLAND
Portland, Maine



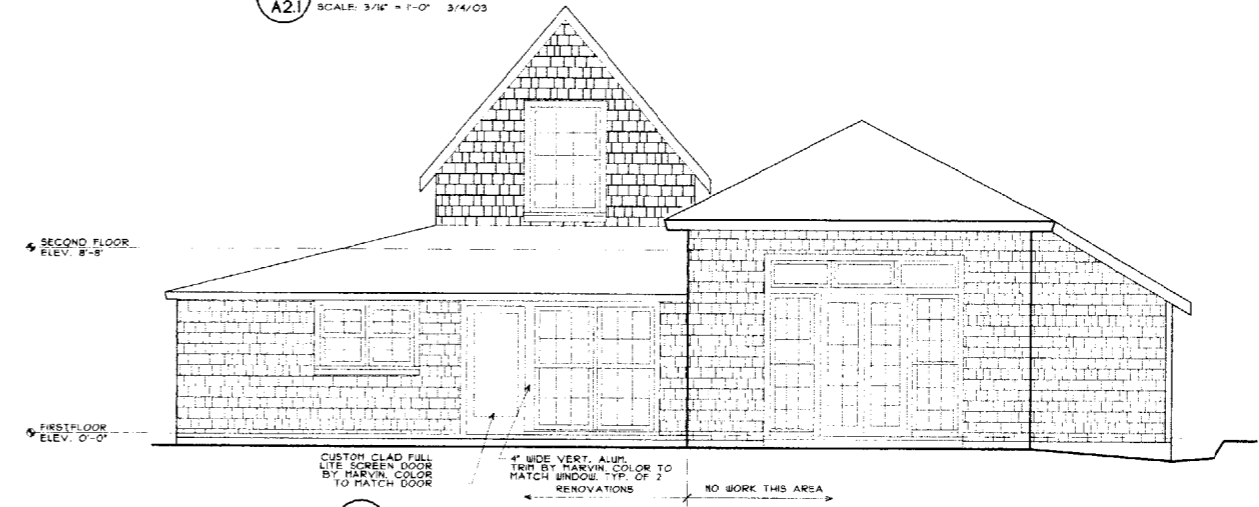
1 SOUTH ELEVATION
A2.1 SCALE: 3/16" = 1'-0" 3/4/03



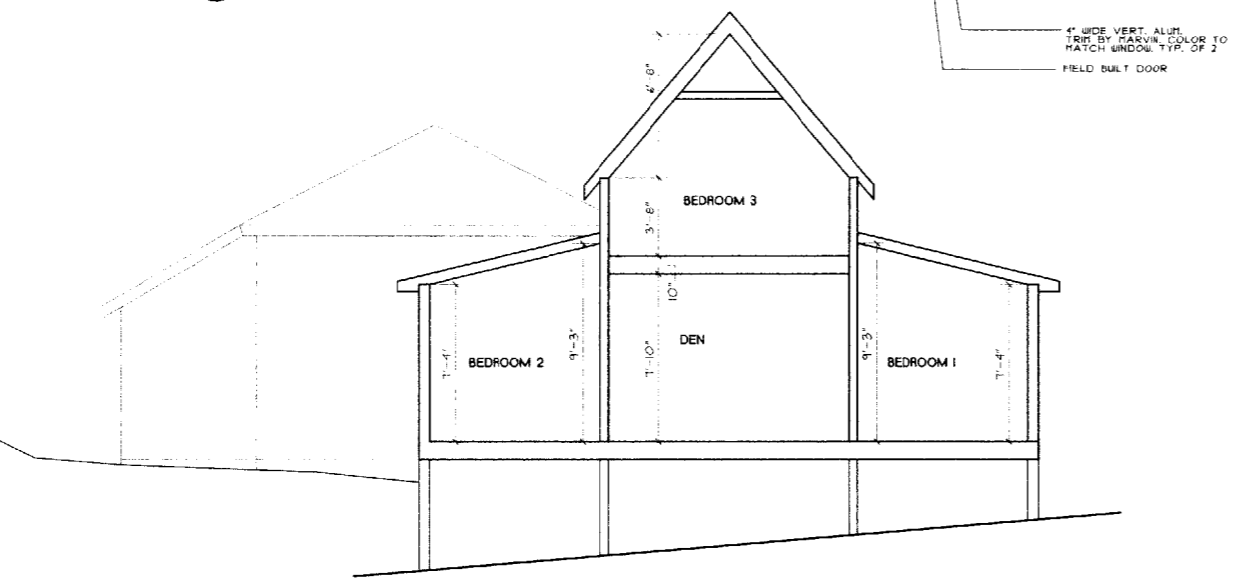
2 EAST ELEVATION
A2.1 SCALE: 3/16" = 1'-0" 3/4/03



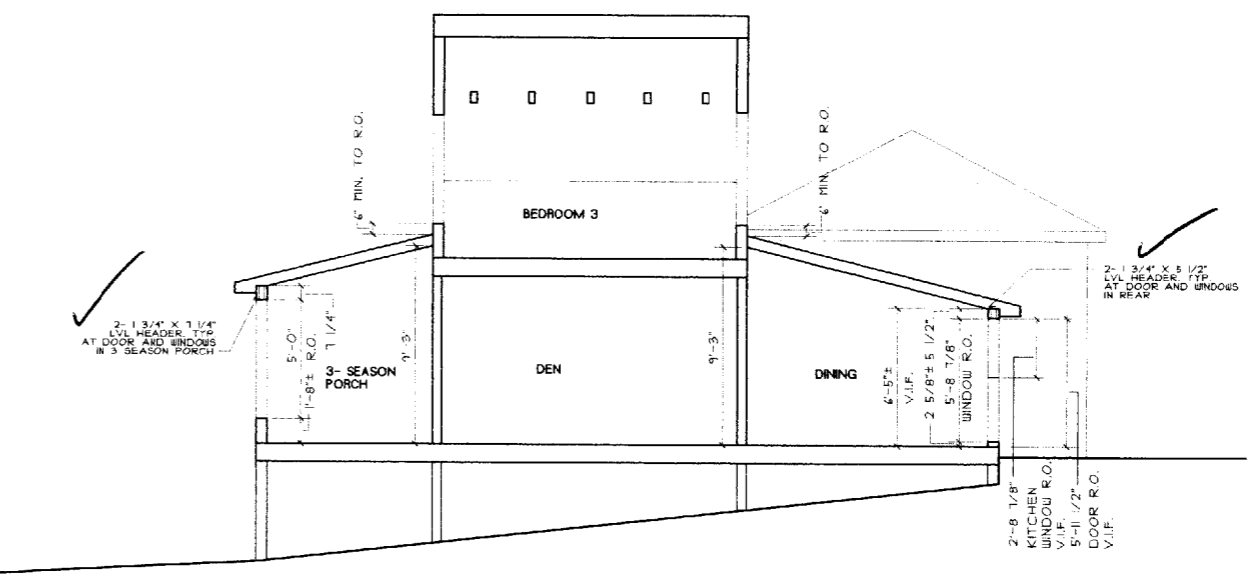
3 WEST ELEVATION
A2.1 SCALE: 3/16" = 1'-0" 3/4/03



4 NORTH ELEVATION
A2.1 SCALE: 3/16" = 1'-0" 3/4/03



A SECTION
SCALE: 3/16" = 1'-0" 2/09/03



B SECTION
SCALE: 3/16" = 1'-0" 2/09/03

Michael Chestnutt
Architect
Portland, Maine
207-772-5942

DATE: March 6, 2003
SCALE: 1/4" = 1'-0"

DRAWING TITLE:
EXTERIOR ELEVATIONS

A2.1