

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 071311

Please Read
Application And
Notes, If Any,
Attached

This is to certify that DETMER EDWARD G & J J DETMER ITS/Thompson John

has permission to New Master Bedroom & Storage Addition

AT 0 ONWAY AVE

085 CC004001 DEC 12 2007

PERMIT ISSUED
CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or otherwise closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

12/6/07 *El M*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

X Paul D. Kelly
Signature of Applicant/Designee

12-12-07
Date

[Signature]
Signature of Inspections Official

12-12-07
Date

CBL: 85CC4

Building Permit #: 071311

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1311	Issue Date: 12/6/07	CBL: 085 CC004001
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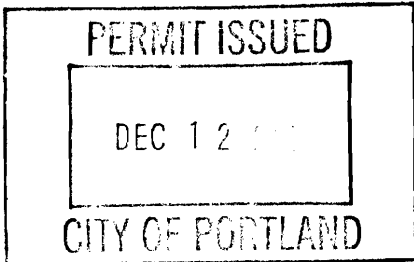
Location of Construction: 0 ONWAY AVE <i>PI (#12)</i>	Owner Name: DETMER EDWARD G & JILL J D	Owner Address: 18 AVON RD	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-1

Past Use: Single Family Home	Proposed Use: Single Family Home - New Master Bedroom & Storage Addition	Permit Fee: \$1,770.00	Cost of Work: \$175,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IR-2003	

Proposed Project Description: New Master Bedroom & Storage Addition	Signature: <i>12/6/07 CLM</i>	Signature: <i>12/6/07 CLM</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 10/17/2007	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Edge of 25' setback goes to edge of property - house outside of it.</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>permitted - zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: 11/16/07 <i>APM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>APM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12/13/07 - Checked footing forms/wall forms
setbacks - all OK to continue

1/17/08 O.K. to Close-in *JRM*
Plumbing test O.K.
Elect O.K.
* CK Panel Rm in Basement.
Framing O.K.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1311	Date Applied For: 10/17/2007	CBL: 085 CC004001
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Location of Construction: 0 ONWAY AVE, Peaks Island (12)	Owner Name: DETMER EDWARD G & JILL J D	Owner Address: 18 AVON RD	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - New Master Bedroom & Storage Addition & remove old decks and add a new deck and entry.	Proposed Project Description: New Master Bedroom & Storage Addition & remove old decks and add a new deck and entry.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 11/29/2007

Note: Future patio and future stair off the south side of the addition are not part of this permit.

Ok to Issue:

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed additions, it may be required to be located by a surveyor.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 12/06/2007

Note:

Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 5) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 6) The attic scuttle opening must be 22" x 30".
- 7) Fastener schedule per the IRC 2003
- 8) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
- 9) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:

11/1/2007-amachado: Left message for Rachel Conly. Is permit just for 14' x 23' two story addition? What about the new entry on the north side? What about the new second floor deck on the south side? Are the old decks on the south side being replaced? When is the patio being done?

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Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

11/2/2007-amachado: Spoke to Harvey Johnson. As part of the project the old decks are being taken down and the new decks and entry are being added. The site plan had the zone as IR-2, but it is IR-1, so the new entry does not meet the front setback of 30'. Harvey said that they would submit a revised plan that meets the setback.

11/29/2007-amachado: Received revised plan for front entry.

11/9/2007-amachado: Received revised proposal for front entry from architect Diane Martin. It still does not meet the front setback.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 ONWAY AVENUE PEAKS ISLAND, ME 04108</u>		
Total Square Footage of Proposed Structure <u>325</u>	Square Footage of Lot <u>10,894 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>85</u> Block# <u>CC</u> Lot# <u>4-5</u>	Owner: <u>ED & JILL DETMER</u>	Telephone: <u>510-526-5734</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>THOMPSON JOHNSON WOODWORKS</u> <u>115 ISLAND AVE.</u> <u>PEAKS ISLAND, ME . 04108</u>	Cost Of Work: \$ <u>175,000</u> Fee: \$ <u>1,770</u> C of O Fee: \$
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>MASTER BEDROOM & STORAGE ADDITION</u>		
Contractor's name, address & telephone: <u>THOMPSON JOHNSON WOODWORKS</u> Who should we contact when the permit is ready: <u>RACHEL CONLY</u> Mailing address: _____ Phone: <u>207-766-5919</u> <u>115 ISLAND AVENUE, PEAKS ISLAND, ME 04108</u>		

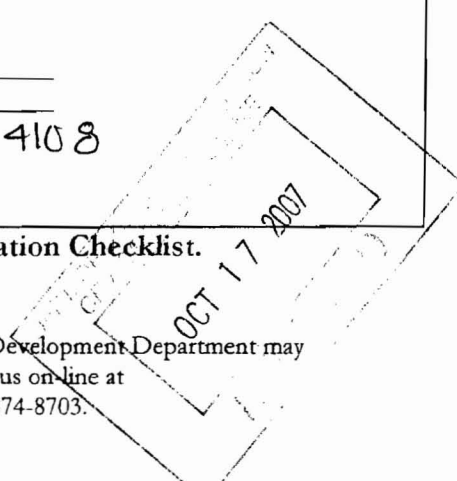
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Paul D. Dwyer</u>	Date: <u>10-10-07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



Applicant: Ed Jill ~~De~~ Dittmer
(Thompson Johnson Woodworks)
Address: 12 onway Avenue

Date: 11/2/07
revised plan 11/29/07.
C-B-L: 85-CC-0041005

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house build 1989

Zone Location - IR-I

Interior or corner lot

Proposed Use/Work - add 14' x 23' 2 story addition - tear off existing ducter and
add new ones.

Sevage Disposal -

Lot Street Frontage -

Front Yard - 30' min. - ^{30'} ~~26.5'~~ to ducter.

Rear Yard - 30' min. - 34' scaled

Side Yard - 20' min. - ~~31'~~ on right

Projections - 20' on left.

Width of Lot -

Height - 35' max - addition 24 ⁵/₈' scaled

Lot Area - ~~35'~~ max 10,894

Lot Coverage Impervious Surface - 20% = 2178.8 ϕ - w/ addition & new deck

Area per Family - N/A

OK. ~~4374.25 ϕ~~
1325.38 ϕ

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection - ~~the~~ edge of property on lot ^{assessor's} ~~is~~ bounded by
250' zone - house well beyond 75' ~~line~~ line.

Flood Plains - panel 15 - zone C.

* stairs off south side of addition are not part of this permit (7.5 x 14)

From: Diane Martin <dmartin@bdearch.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 11/20/2007 11:53:53 AM
Subject: Re: 12 Onway Peak's Island

Hello Ann,

Thank you very much. This tells me we can go ahead with our submittal for approval.

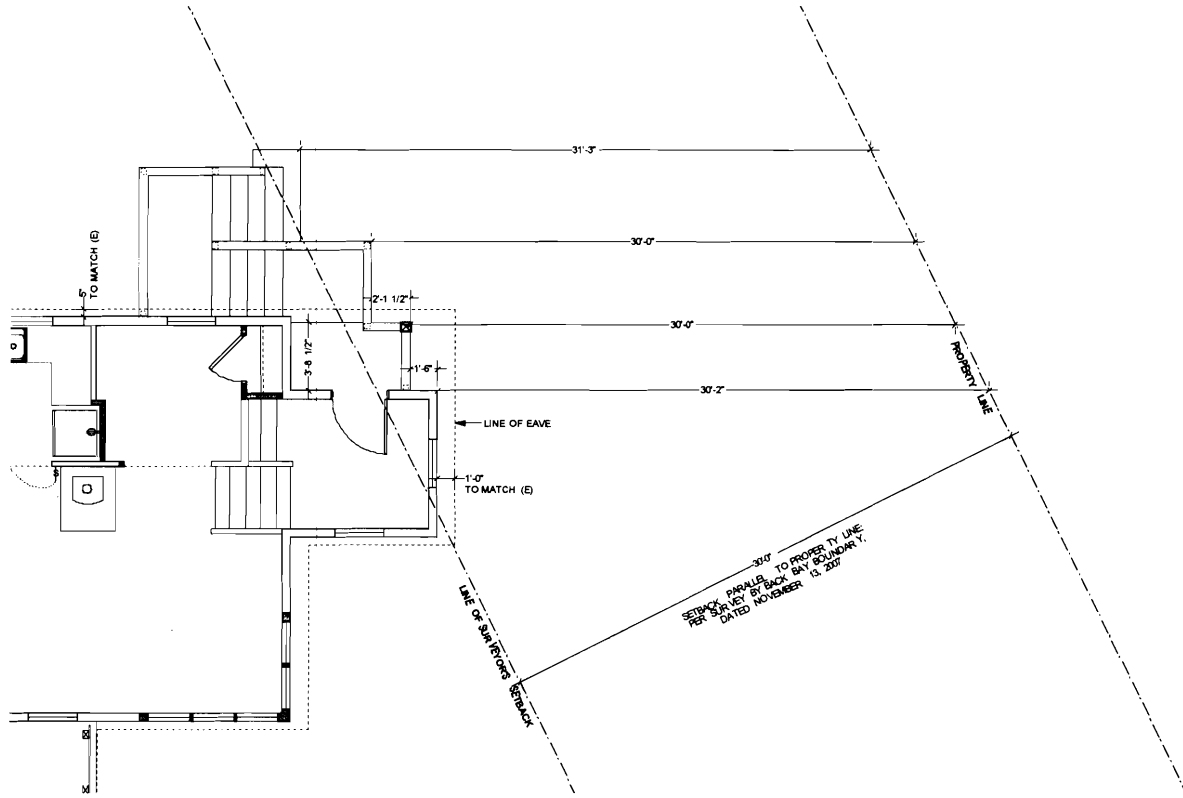
Thanks again,
Diane.

On 11/20/07 5:19 AM, "Ann Machado" <AMACHADO@portlandmaine.gov> wrote:

> Diane-
>
> From what I can see on the sketch, it looks like the setbacks would be
> met. Of course until I get a final plan submitted I can't make a final
> determination.
>
> Thanks, Ann
>
>>>> Diane Martin <dmartin@bdearch.com> 11/19/2007 4:40:14 PM >>>
> Hello Ann,
>
> Here is the sketch we discussed over the phone this morning. Thank you
> for
> taking a look at it. I just want to make sure we are totally on the
> same
> page in understanding what we can build on this site and where we can
> build
> it.
>
> If this meets your approval, we will finalize the revisions to the
> drawings
> and submit them to you for your official review as soon as possible.
>
> We look forward to hearing from you.
>
> Thank you for all your help.
>
> Diane.
>
> Diane Martin
> Architect
> BDE ARCHITECTURE
> 465 California Street, Suite 1200
> San Francisco, CA 94104
>
> Tel: 415.677.0966 Ext. 335
> Fax: 415.677.0964
>
> dmartin@bdearch.com
> www.bdearch.com

>
>

CC: Ed Detmer <edetmer@bdearch.com>, Edward Detmer <edetmer@mac.com>, Megan Howard <mhoward@bdearch.com>



NOV 20 2007

From: Diane Martin <dmartin@bdearch.com>
To: Ann Machado <amachado@portlandmaine.gov>
Date: 11/8/2007 2:11:58 PM
Subject: 12 Onway Avenue, Peak's Island

Hello Ann,

I have attached a sketch of the front porch and stair, as we discussed this morning over the phone.

As you can see the stair landing protrudes into the setback approx. 4.6 square feet, as does the roof eave if we continue the existing eave lines to meet over the porch.

As we discussed, we have pulled the porch in to align with the Northeast corner of the house, on the North wall. We have also pulled the East side of the porch in 1'6" inside the existing East wall entry pop-out, which still allows the front door to sit nicely in the existing entryway and the exterior trim to clear the porch railing.

We are hoping to be allowed this small infringement into the required front setback.

Please do not hesitate to call or e-mail me if you have any questions or need any further clarification.

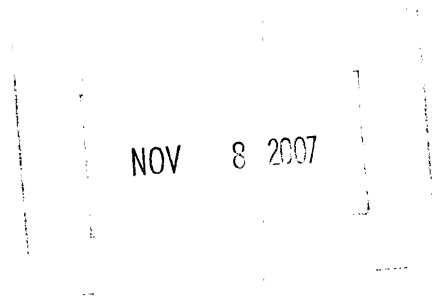
Thank you very much for taking the time to review this.

Have a nice day.
Diane.

Diane Martin
Architect
BDE ARCHITECTURE
465 California Street, Suite 1200
San Francisco, CA 94104

Tel: 415.677.0966 Ext. 335
Fax: 415.677.0964

dmartin@bdearch.com
www.bdearch.com



CC: Ed Detmer <edetmer@bdearch.com>, Edward Detmer <edetmer@mac.com>

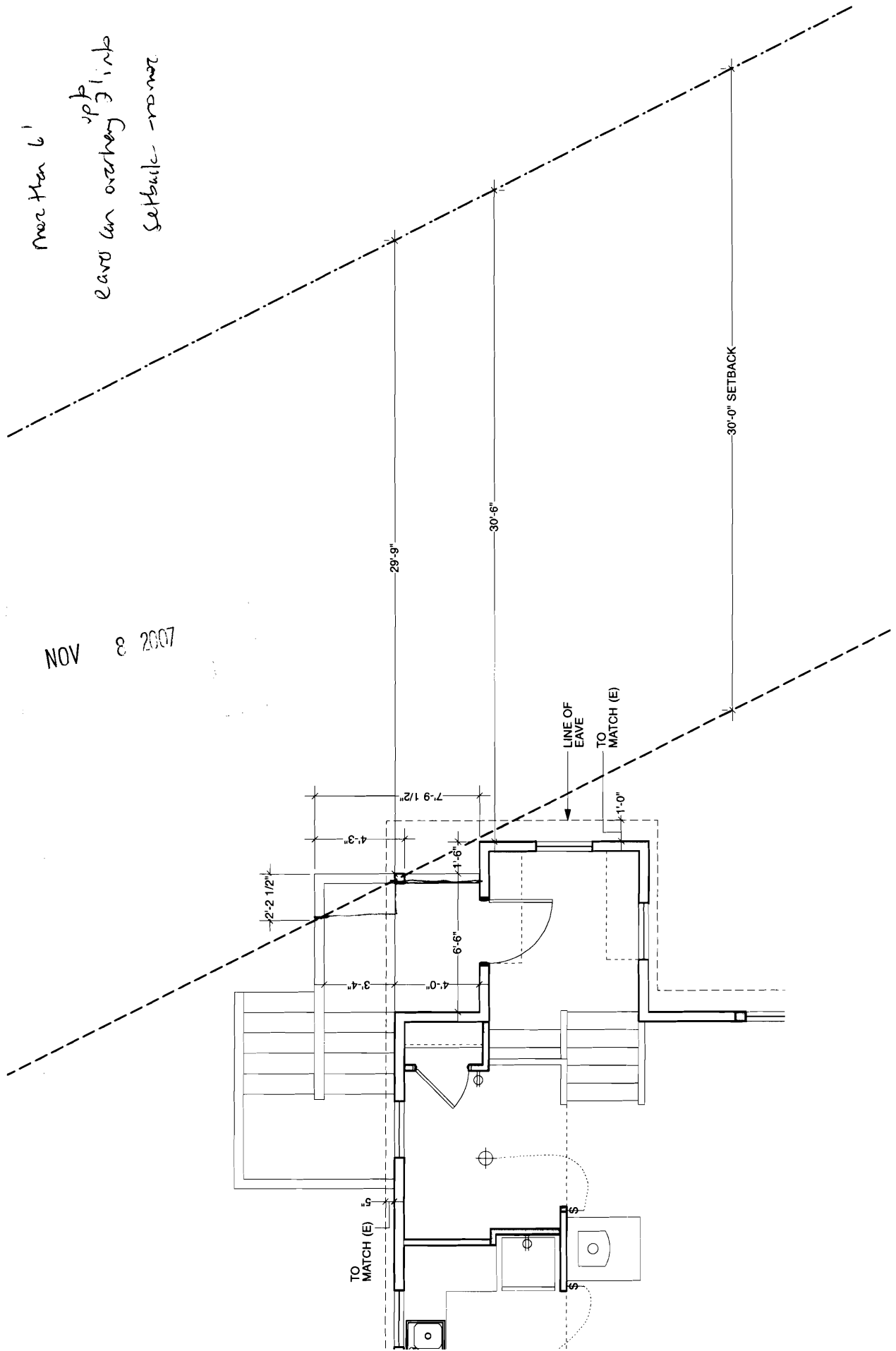
try E 11.3.

Section 14-425 not
work

more than 6'

spk
eaves can overhang 3' into
setback - no more

NOV 8 2007



30'-0" SETBACK

LINE OF EAVE
TO MATCH (E)

TO MATCH (E)

TO MATCH (E)





Staff Review Checklist

One & Two Family	Plan Review	Checklist
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
Structural		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), Section R403.1 & R403.1.4.1)	8 x 16 ✓	
Foundation Drainage, Fabric, Damp Proofing (Section R405 & R406)	Frost wall only. w/ Insulation on 14x23 conc. piers - Decks 48" Below	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A.	
Anchor Bolts/Straps, Spacing (Section R403.1.6)	12" to 48 O.C. 12" from corners	
Lally Column Type (Section R407) Girder & Header Spans (Table R 502.5(2))	N/A	
Built-Up Wood Center Girder Dimension/Type	N/A	
Sill/Band Joist Type & Dimensions	See plan (varies)	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Concrete - 14x23 on ground base 2x10 = 16 O.C. - Deck + 2nd floor	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 = 16 O.C.	
Attic or Additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) & R802.4(2))	2x6 Collar ties	

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x12 @ 16 o.c. 7/12 / 3/12 on fyer.		
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2" plywood roof 5/8" ?		
Fastener Schedule (Table R602.3(1) & (2))	IRC 2003		
Private Garage (Section R309) Living Space? (Above or beside) Fire Separation (Section R309.2)	N/A. Shown as STORAGE	Not to be used as Garage. 5/8" on ceiling, + walls.	*
Opening Protection (Section R309.1)	Bedroom window by doors (Temp)	⬠ window E? Temp?	*
Emergency Escape and Rescue Openings (Section R310)	CK for egress size.	*	*
Roof Covering (Chapter 9)	Asphalt.		
Safety Glazing (Section R308)	Door/windows on 2nd floor / STAIRS		
Attic Access (Section R807)			
Chimney Clearances/Fire Blocking (Chap. 10)	N/A		
Header Schedule (Section 502.5(1) & (2))			
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19 R-38		
Type of Heating System			

<p>Means of Egress (Sec R311 & R312)</p> <p>Basement <i>N/A</i></p> <p>Number of Stairways <i>none on New Add.</i></p> <p>Interior</p> <p>Exit <i>7 1/4 x 10 =</i></p> <p>Treads and Risers (Section R311.5.3)</p> <p>Width (Section R311.5.1) <i>3-0</i></p> <p>Headroom (Section R311.5.2) <i>6-8</i></p> <p>Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) <i>42 34-38</i></p>		
<p>Smoke Detectors (Section R313)</p> <p>Location and Type/Interconnected</p>	<p><i>✓</i></p>	
<p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p>	<p><i>N/A</i></p>	
<p>Deck Construction (Section R502.2.1)</p>	<p><i>Entry 2x8 16' o.c. 2x12 12" o.c.</i></p>	



CITY OF PORTLAND, MAINE
Department of Building Inspections

11/11 2017

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ 1,200

Building (IL) _____ Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ 1,200

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

AF	Above Finished Floor	GCMU	Glazed Conc Masonry Units	RFL	Reflected
AP	Access Panel	GD	Grading	REFR	Refrigerator
ACC	Acoustical	GRN	Granite	REG	Register
ADD	Addendum	GVL	Gravel	RE	Reinforce (d), (ing)
ADH	Adhesive	GT	Grout	REM	Remove
ADJ	Adjacent	GWB	Gypsum Wall Board	RES	Resilient
ADJT	Adjustable	GYP	Gypsum	RET	Return
AC	Air Conditioning	HDW	Hardware	RA	Return Air
ALT	Alternate	HMTL	Hollow Metal	REV	Revision (s), Revised
AL	Aluminum	HWD	Hardwood	R	Riser
AB	Anchor Bolt	HWR	Hardwood	RD	Roof Drain
ANOD	Anodized	HDR	Header	RFH	Roof Hatch
APX	Approximate	HTG	Heating	RFG	Roofing
ARCH	Architect (ural)	HVAC	Heating/Ventilation/ Air Conditioning	RM	Room
AD	Area Drain	HT	Height	RO	Rough Opening
		HC	Hollow Core	RB	Rubber Base
BSMT	Basement	HOR	Horizontal	RBT	Rubber Tile
BVL	Beveled	HB	Hose Bib	RWL	Rain Water Leader
BIT	Bituminous	HWH	Hot Water Heater		
BLK	Block			SAC	Suspended Acoustical Clg.
BLKG	Blocking	INCL	Include (d), (ing)	SASM	Self Adhesive Sht Membrane
BD	Board	ID	Inside Diameter	SFGL	Safety Glass
B.O.	Bottom Of	INS	Insulate (d), (ing)	SCD	See Civil (Eng) Drawings
BRK	Brick	INT	Interior	SCHD	Schedule
BLDG	Building	INV	Invert	SCN	Screen
BUR	Built Up Roofing			SLNT	Sealant
		JT	Joint	SEC	Section
CAB	Cabinet	JF	Joint Filler	SSK	Service Sink
CK	Calk (ing) Caulk (ing)	KPL	Kickplate	SHTH	Sheathing
CPT	Carpet (ed)	KIT	Kitchen	SHT	Sheet
CSMT	Casement	KO	Knockout	SF	Square Feet
CST	Cast Stone			SG	Sheet Glass
CLG	Ceiling	LBL	Label	SHM	Similar
CT	Ceiling Height	LB	Lag Bolt	SD	See Landscape Drawings
ER	Ceramic	LAM	Laminate (d)	SC	Solid Core
CT	Ceramic Tile	LAV	Lavatory	SMD	See Mechanical Drawings
CLR	Clear (ance)	LW	Lightweight	SP	Soundproof
COL	Column	LWC	Lightweight Concrete	SPC	Spacer
CONC	Concrete	LMS	Limestone	SPD	See Plumbing Drawings
CMU	Concrete Masonry Unit	LVR	Louver	SPK	Speaker
CONST	Construction	LPT	Low Point	SPEC	Specification (s)
CONT	Continuous or Continue			SQ	Square
CJ	Control Joint	M	Mirrored	SS	Stainless Steel
CG	Corner Guard	MB	Machine Bolt	SSD	See Structural Drawings
		MDF	Medium Density Fiberboard	STD	Standard
DP	Dampproofing	MH	Manhole	STA	Station
DEM	Demolish, Demolition	MFR	Manufacture (r)	STN	Stain
DTL	Detail	MAS	Masonry	STOR	Storage
DIAG	Diagonal	MO	Masonry Opening	SD	Storm Drain
DIA	Diameter	MAX	Maximum	STR	Structural
D	Drain	MECH	Mechanic (al)	SUS	Suspended
DIM	Dimension	MC	Medicine Cabinet	SYM	Symmetry (ical)
DIV	Division	MET	Metal	SV	Sheet Vinyl
DH	Double Hung	MTFR	Metal Furring	STC	Sound Transmission Coefficient
DN	Down	MWK	Millwork		
DS	Downspout	MIN	Minimum	TEL	Telephone
		MIR	Mirror	TMP	Tempered
DWG	Drawing	MISC	Miscellaneous	TV	Television
		MLD	Molding, Moulding	THK	Thick (ness)
EF	Each Face			THR	Threshold
ELEC	Electric (al)	NR	Noise Reduction	TPD	Toilet Paper Dispenser
EP	Electrical Panelboard	NOM	Nominal	TR	Trash
EL	Elevation	NIC	Not In Contract	TOP	Top of Plate
ELEV	Elevator	NTS	Not to Scale	TOS	Top of Slab
EMER	Emergency	NO (#)	Number	TST	Top of Steel
EPDM	Ethylene Propylene Diene Monomer			TW	Top of Wall
EQ	Equal	O/	Over	TB	Towel Bar
EQP	Equipment	OBS	Obscure	T	Tread
EST	Estimate	OC	On Center (s)	TYP	Typical
EXH	Exhaust	OFS	Over Flow Drain		
EB	Expansion Bolt	OFS	Overflow Scupper	UNF	Unfinished
EJ	Expansion Joint	OFS	Overflow Scupper	UCON	Unless Otherwise Noted
EXP	Exposed	OPG	Opening	UR	Urinal
(E)	Existing	OPP	Opposite		
EXT	Exterior	OD	Outside Diameter	V	Vaulted
		OA	Overall	VAR	Varies
FC	Fiberglass Clad	OH	Overhead	VB	Vapor Barrier
FOC	Face Of Concrete			VNR	Veneer
FOF	Face Of Finish	PTR	Paper Towel Receptor	VERT	Vertical
FOM	Face Of Masonry	PB	Particle Board	VG	Vertical Grain
FOS	Face Of Studs	PTD	Painted	VIN	Vinyl
FF	Finish Floor	PTN	Partition	VAT	Vinyl Acoustical Tile
FIN	Finish (ed)	PBD	Particle Board	VB	Vinyl Base
FFE	Finished Floor Elevation	PERF	Perforate (d)	VCT	Vinyl Composite Tile
FA	Fire Alarm	PERI	Perimeter		
FP	Fireproof	PLAM	Plastic Laminate	W/	With
FR	Fire-resistant	PG	Plate Glass	WSCT	Wainscot
FRT	Fire-retardant	PIWD	Plywood	WTW	Wall To Wall
FL	Floor	PT	Point	WH	Wall Hung
FLR	Floor (ing)	PVC	Polyvinyl Chloride	WC	Water Closet
FLS	Flashing	PSF	Pounds Per Square Foot	WP	Waterproofing, Waterproof
FD	Floor Drain	PSI	Pounds Per Square Inch	WPM	Water Proof Membrane
FLUR	Fluorescent	PCC	Precast Concrete	WR	Water Repellant
FJT	Flush Joint	PFB	Prefabricate (d)	WRB	Weather Resistant Barrier
FTG	Footing	PFN	Prefinished	WS	Waterstop
FND	Foundation	PRF	Preformed	WWF	Welded Wire Fabric
FUR	Furred (ing)	PL	Property Line	WDW	Window
		PT	Pressure Treated	WG	Wired Glass
G	Grade			WM	Wire Mesh
GA	Gage, Gauge	RAD	Radius	W/O	Without
GV	Galvanized	RWL	Rainwater Leader	WD	Wood
GC	General Contractor	REC	Recessed	WB	Wood Base
GL	Glass, Glazing	REF	Reference	WI	Wrought Iron
GLB	Glass Block				
GSM	Galvanized Sheet Metal				

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS FOR BUILDING AND SITE PRIOR TO PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR SHALL THOROUGHLY REVIEW THE EXISTING HOUSE DRAWINGS.
- CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS, WHEN SHOWN IN THE ARCHITECTURAL PLANS, ARE TO FACE OF STUD, STRUCTURAL WOOD COLUMNS OR CONCRETE UNLESS OTHERWISE NOTED.
- ALL CHANGES IN FLOOR MATERIAL OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL (LAMINATED OR TEMPERED) WHERE REQUIRED AND SHALL MEET LOCAL, STATE AND FEDERAL REQUIREMENTS.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- PRIOR TO BIDDING, THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME ACQUAINTED WITH ALL CONDITIONS RELATING TO THE CONSTRUCTION AND COMPLETION OF THE PROJECT AND THE EMPLOYMENT OF LABOR THEREON. BIDDERS AND THEIR SUBCONTRACTORS SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT CONSENT OF THE ARCHITECT.
- INSTALL ALL WORK PLUMB, LEVEL, SQUARE, TRUE, AND IN PROPER ALIGNMENT.
- CONTRACTOR SHALL PAY SPECIFIC ATTENTION TO THE DIMENSIONS OR IMPLIED PLAN AND SECTIONAL SPATIAL RELATIONSHIPS, AND VERIFY ALL AXES AND IMPLIED SYMMETRIES BEFORE BEGINNING WORK.
- PROVIDE AND COORDINATE LOCATION AND TYPE OF BLOCKING / BACKING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS. REVIEW ALL BLOCKING PRIOR TO COVERING W/ OTHER MATERIAL.
- DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- ANY WASTE AND REFUSE CAUSED BY THE CONTRACTOR SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL REGULATIONS.
- DEFINITIONS USED IN THE DRAWINGS:

AS REQUIRED: AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICES, OR BY THE CONTRACT DOCUMENTS.

TYPICAL: IDENTICAL FOR ALL SUCH CONDITIONS, UNLESS OTHERWISE NOTED.

FURNISH: SUPPLY ONLY, OTHERS TO INSTALL

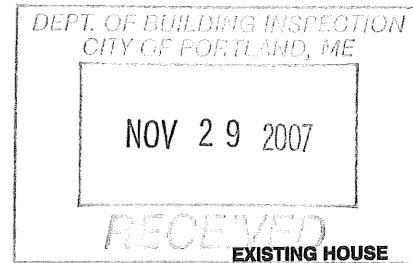
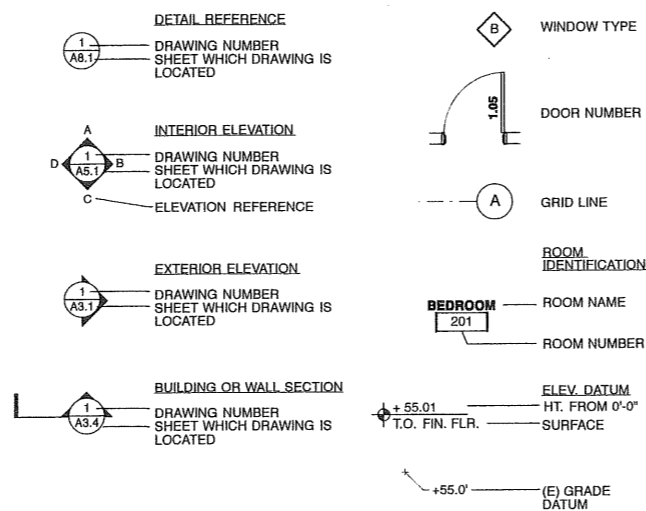
INSTALL: INSTALL ITEMS FURNISHED BY OTHERS

PROVIDE: FURNISH AND INSTALL

REMOVE: ELIMINATE AND DISPOSE OF PROPERLY

SALVAGE: REMOVE FROM EXISTING AND KEEP FOR RE-USE ELSEWHERE AS INDICATED ON DRAWINGS.
- ALL EXISTING SURFACES TO REMAIN SHALL BE PROTECTED TO AVOID DAMAGE. FURNITURE SHALL BE MOVED FROM AREA OF WORK AND ALSO PROTECTED.

GENERAL NOTES 5



PROJECT INFORMATION

PROJECT ADDRESS:	12 ONWAY AVENUE, PEAKS ISLAND PORTLAND, MAINE
PROJECT DESCRIPTION:	ADDITION / RENOVATION TO EXISTING HOUSE
PROJECT ZONING:	IR-1; ISLAND RESIDENTIAL I
BUILDING HEIGHT:	28'-0" MAX., NO HIGHER THAN EXISTING
TOTAL SITE AREA:	10,894 S.F./25 ACRE
(E) BUILDING COVERAGE:	648 S.F.
(N) CONSTRUCTION COVERAGE:	325 S.F.
TOTAL BUILDING COVERAGE:	974 S.F. (EXCLUDING DECKS)
TOTAL LOT COVERAGE:	8.9%
(E) DECK SQUARE FOOTAGE:	488 S.F.
(N) DECK SQUARE FOOTAGE:	272 S.F. (DECK) 257 S.F. (FUTURE STONE PATIO, ON GRADE)

ARCHITECTURAL DRAWINGS

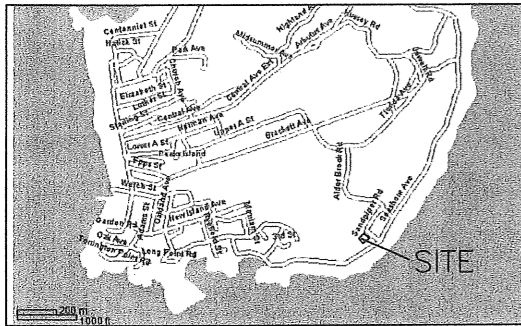
A1.1	PROJECT INFORMATION
A1.2	EXISTING SITE SURVEY
A1.3	SITE PLAN / SCOPE OF WORK
A2.1	FIRST FLOOR PLAN / DETAILS
A2.2	SECOND FLOOR PLAN / DETAILS
A3.1	ELEVATIONS: NORTH AND EAST/ DETAILS
A3.2	ELEVATIONS: SOUTH AND WEST/ DETAILS
A4.1	BUILDING SECTIONS
A4.2	WALL SECTIONS
A5.1	INTERIOR ELEVATIONS
A6.1	INTERIOR & MISC. DETAILS
A7.1	EXTERIOR DETAILS
A7.2	EXTERIOR DETAILS
A8.1	SCHEDULES AND WALL TYPES
S1.1	STRUCTURAL PLANS AND DETAILS

CONTACT INFORMATION:

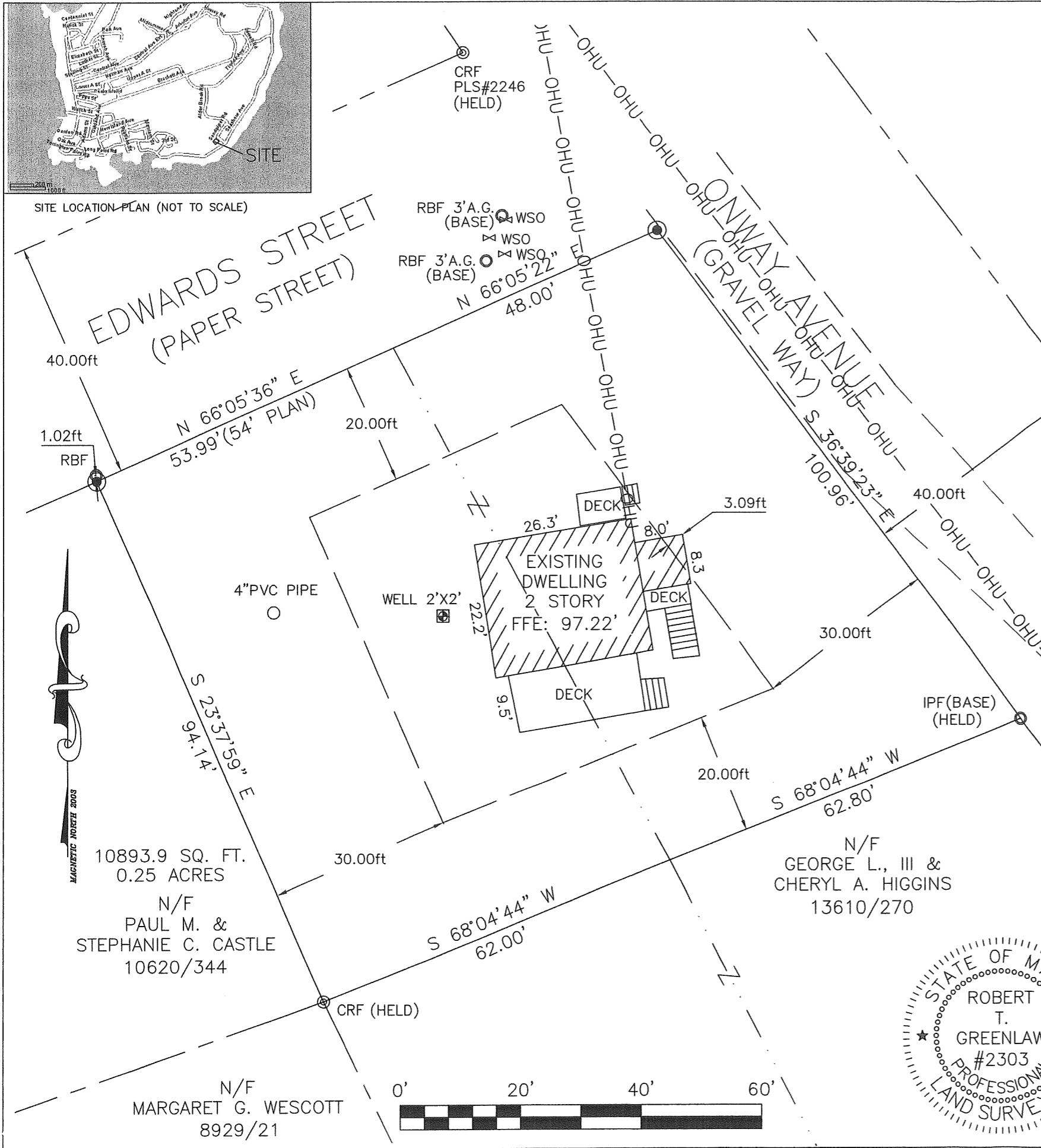
OWNER:
ED, JILL AND LAUREN DETMER
18 AVON ROAD
KENSINGTON, CA
94707
P: 510.526.5734

CONTRACTOR:
THOMPSON JOHNSON WOODWORKS
HARVEY JOHNSON
115 ISLAND AVENUE
PEAKS ISLAND, MAINE
P: 207.766.5919

ARCHITECT:
BDE ARCHITECTURE
ED DETMER
465 CALIFORNIA STREET, SUITE 350
SAN FRANCISCO, CA 94104
P: 415.677.0966 x308
F: 415.677.0984



SITE LOCATION PLAN (NOT TO SCALE)



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: EDWARD G. DETMER & JILL J. DETMER, BOOK 23186 PAGE 322 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. BEARINGS ARE BASED UPON MAGNETIC MARIDIAN OF DRAWING REFERENCE 4a ELEVATIONS ARE BASED UPON AN ASSUMED VALUE OF 100.0'
3. AREA OF SUBJECT PARCEL: 10893.9 SQ. FT. 0.25 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a.) SITE PLAN AND TOPOGRAPHY, 4 WINDING WAY, PEAKS ISLAND, PORTLAND, MAINE, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 9 PAGE 57. LOT SHOWN AS LOT 274 & 276.
 - b.) PLAN OF HENRY BRACKETT ESTATE IN PEAKS ISLAND, MAINE FOR A PROPOSED ONE STORY DWELLING FOR CHUCK PARKER, BY BACK BAY BOUNDARY, INC., DRAWING NO. 2007012, DATED MARCH 24, 2007, UNRECORDED.
 - c.) CITY OF PORTLAND, MAINE TAX ASSESSORS PLAN 85 BLOCK CC LOTS 4

ZONE: IR-1 ISLAND RESIDENTIAL I
 SETBACKS: FRONT - 30 FT
 REAR - 30 FT
 SIDE - 20 FT
 MINIMUM LOT SIZE: 40,000 SF with public water; 60,000 without
 MINIMUM LOT FRONTAGE: 100 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 MAXIMUM LOT COVERAGE: 20%

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 15B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- ⊙ Capped 5/8" Rebar Found
- ⊙ Capped 5/8" Rebar Set, PLS #2303
- ⊙ Iron Pipe or Solid Pin Found
- ⊙ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- FFE: First Floor Elevation
- OHU OHU Overhead Utility Existing
- ⊙ Utility Pole
- Edge of traveled way
- Set Back Line

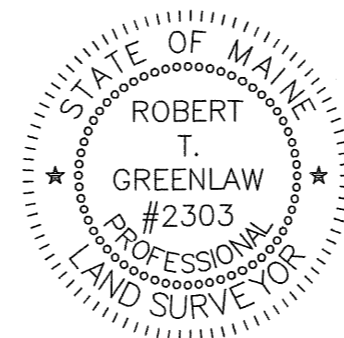
SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

ROBERT T. GREENLAW P.L.S.#2303
 V. PRESIDENT, BACK BAY BOUNDARY, INC.

REVISED: NOVEMBER 13, 2007
 DATE: MAY 31, 2007



REVISED 11-13-2007: CORRECTED ISLAND ZONING TO IR-1
 REVISED 05-31-2007: ADJUSTED AREA AND CHANGED CLIENT NAME
 DRAWN BY: DMD/PJM/AIH
 CHECKED BY: GAS
 PREPARED BY:
BACK BAY BOUNDARY, INC.
 DRAWER

GENERAL NOTES

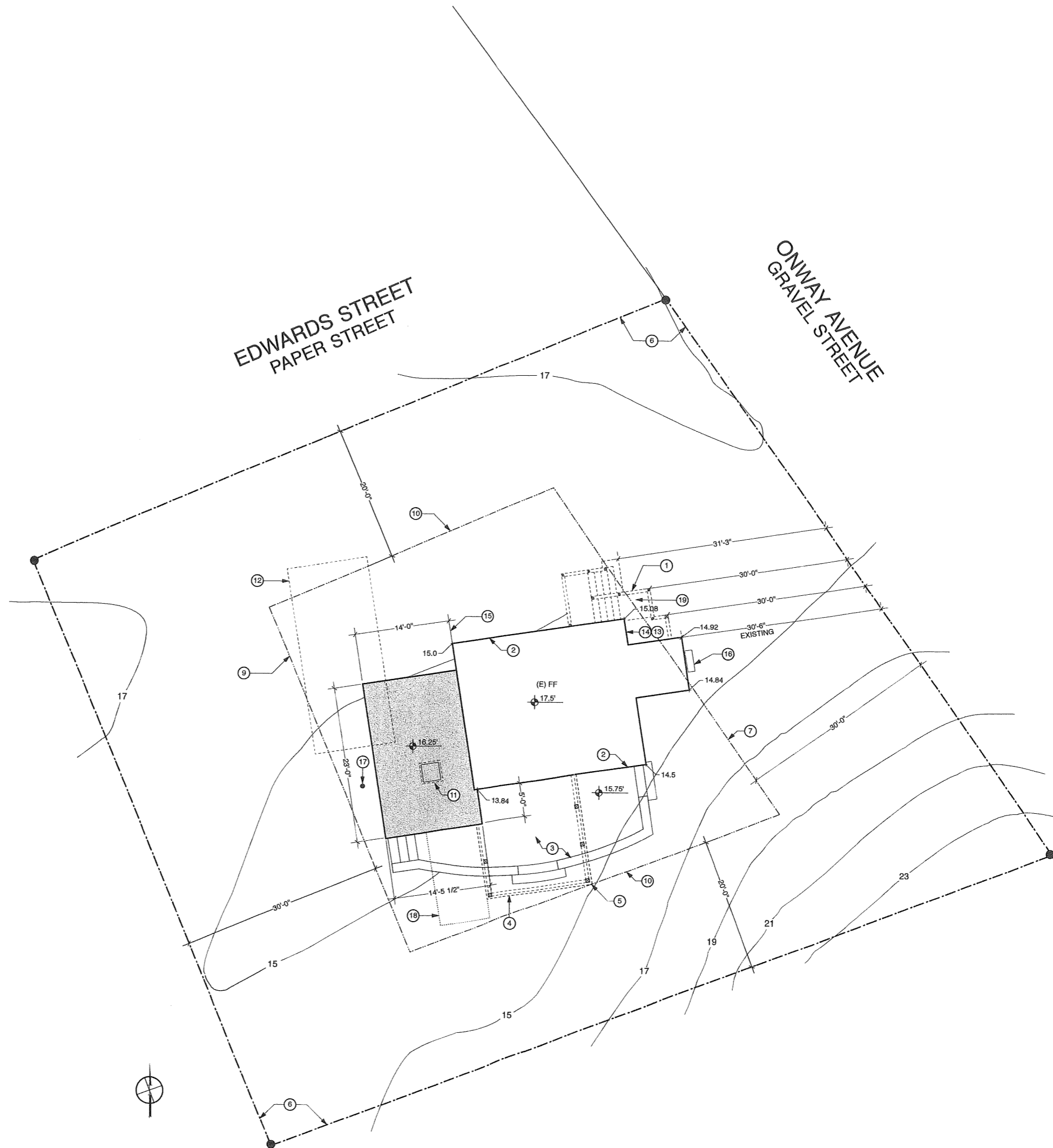
1. FINISH FLOOR ELEVATIONS ARE ESTIMATES, BASED ON FIELD OBSERVATIONS. RELATIONSHIPS NOTED ARE ACCURATE.
2. BUILDING CORNER ELEVATIONS ARE WHERE EXISTING STRUCTURE MEETS GRADE.
3. NO EXISTING TREES TO BE REMOVED, UON.

SHEET NOTES

- ① LINE OF ENTRY PORCH, ABOVE
- ② LINE OF (E) FOOTPRINT
- ③ FUTURE STONE PATIO AND LOW WALL, NIC
- ④ LINE OF DECK, ABOVE
- ⑤ HOLD EDGE OF DECK BEHIND SIDE YARD SETBACK. VERIFY DIMENSION IN FIELD.
- ⑥ PROPERTY LINE, REFER TO (E) SITE SURVEY ON SHEET A1.2, FOR FURTHER INFORMATION
- ⑦ FRONT YARD SETBACK LINE
- ⑧ NOT USED
- ⑨ REAR YARD SETBACK LINE
- ⑩ SIDE YARD SETBACK LINE
- ⑪ (E) PUMP TO BE REPLACED AND RELOCATED
- ⑫ EXTENT OF (E) LEACHFIELD TO BE RE-ENGINEERED AND RELOCATED.
- ⑬ EXISTING OVERHEAD ELECTRICAL, CABLE AND PHONE SERVICE TO BE RELOCATED. REFER TO 1/A3.1 FOR NEW LOCATION. ELEC SUB TO DETERMINE HOW ELECTRICAL LOAD AND UPGRADE ACCORDINLY, IF REQUIRED.
- ⑭ EXISTING WATER SUB-METER TO BE RELOCATED, REFER TO 1/A3.1.
- ⑮ FACE OF (E) EXTERIOR PLYWOOD
- ⑯ (E) STONE LANDING FOR CRAWL SPACE & ACCESS DOOR
- ⑰ PROTECT (E) 8" DIA. BIRCH TREE AND GRADE TO PROTECT TREE BASE
- ⑱ LOCATION OF FUTURE STAIR, N.I.C.
- ⑲ 2" CRUSHED STONE O/ GEOTEX UNDER ENTRY PORCH AND STAIR

LEGEND

- PROPERTY LINE
- SETBACK LINE
- INDICATES AREA OF NEW LOT COVERAGE



A) SITE AND GENERAL ITEMS

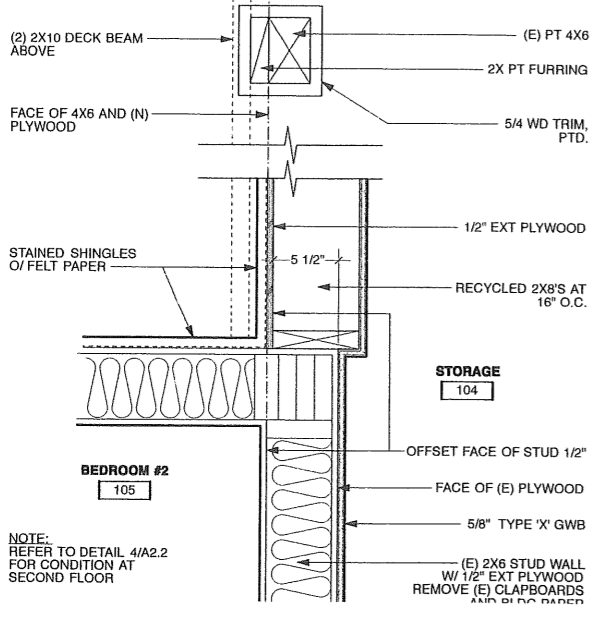
1. RELOCATE (E) OVERHEAD ELECTRICAL, CABLE AND PHONE SERVICE. ALSO RELOCATE WATER SUB-METER. REFER TO FIRST FLOOR PLAN AND ELEVATION 1/A3.1 FOR NEW LOCATION.
2. RELOCATE TANK AND LEACH FIELD PER CITY REQUIREMENTS. SEPTIC SYSTEM TO BE REDESIGNED BY ALBERT FRICK & ASSOC. TO ACCOMMODATE THIRD BEDROOM AND NEW FOOTPRINT.
3. REMOVE (E) DECKING AND FRAMING. SALVAGE JOISTS & POSTS FOR RE-USE.
4. PRIOR TO COMPLETION OF WORK ALL EXTERIOR DOORS SHALL BE KEYPED TO OPERATE FROM ONE KEY.
5. INCREASE ELECTRICAL SERVICE AS NECESSARY TO ACCOMMODATE ADDITIONAL ELEC. NEEDS FOR ADDITION & ASSOCIATED BASE BOARD HEATING.
6. DRAIN ANY REMAINING KEROSENE FROM TANK IN BASEMENT AT END OF HEATING SEASON.
7. PROTECT WATER LINES & METER FROM FREEZING DURING COURSE OF CONSTRUCTION.

B) DEMOLITION

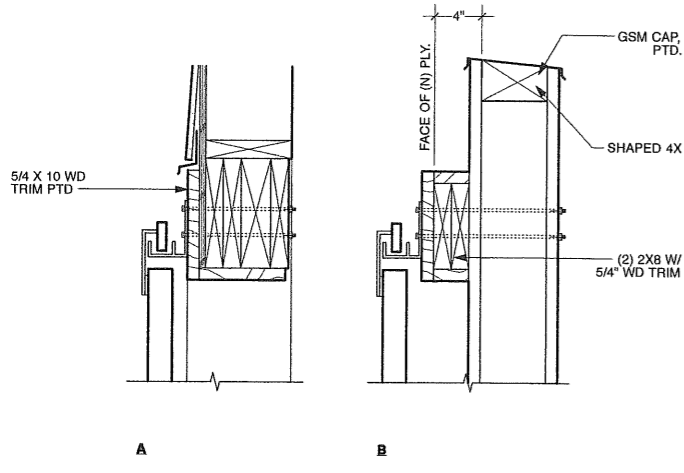
1. REMOVE (E) DECKING AND FRAMING AS NOTED A3 ABOVE.
2. REPLACE (E) ELECTRICAL BASEBOARD & RELOCATE THERMOSTATS AS DIRECTED BY OWNER.
3. REMOVE (E) MONITOR HEATING SYSTEM AND ASSOCIATED FUEL SUPPLY LINE. PATCH WALL AS NECESSARY. STORE MONITOR UNIT IN (N) STORAGE SPACE.
4. REMOVE (E) ASPHALT SHINGLE ROOFING, FLASHINGS AND PAPER. PROTECT ROOF AND INTERIOR FINISHES TO REMAIN WHILE UNDER CONSTRUCTION.
5. REMOVE (E) CLAPBOARD SIDING, TRIMS AND PAPER. PROTECT INTERIOR FINISHES TO REMAIN WHILE UNDER CONSTRUCTION.
6. REMOVE ALL (E) DECK PIER FOUNDATIONS TO MIN. 6" BELOW FUTURE FINISH GRADE.
7. REMOVE (E) DOORS AND WINDOWS NOT TO BE REUSED.
8. REMOVE OR CAP IN WALL ALL DISCONNECTED ELECTRICAL AND PLUMBING NOT TO BE REUSED.

C) NEW CONSTRUCTION

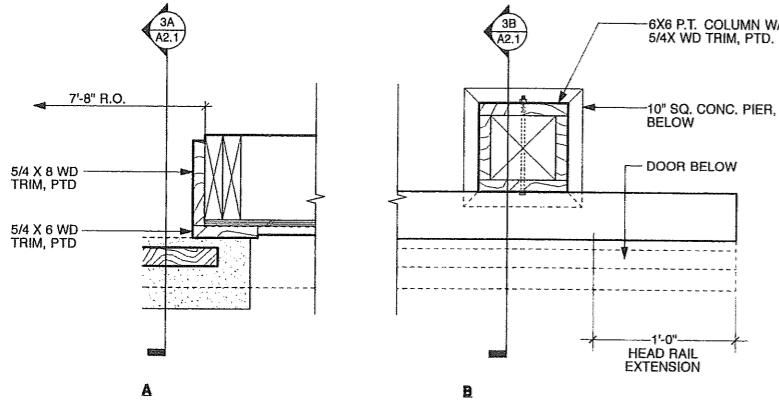
1. AS DEFINED IN RESUBMITTAL / CONSTRUCTION SET DATED 11.16.07.
2. GENERAL CONTRACTOR SHALL ALSO RETAIN ELECTRICAL SUB AND MODIFY & ADD TO (E) ELECTRICAL BASE BOARD HEATING SYSTEM.



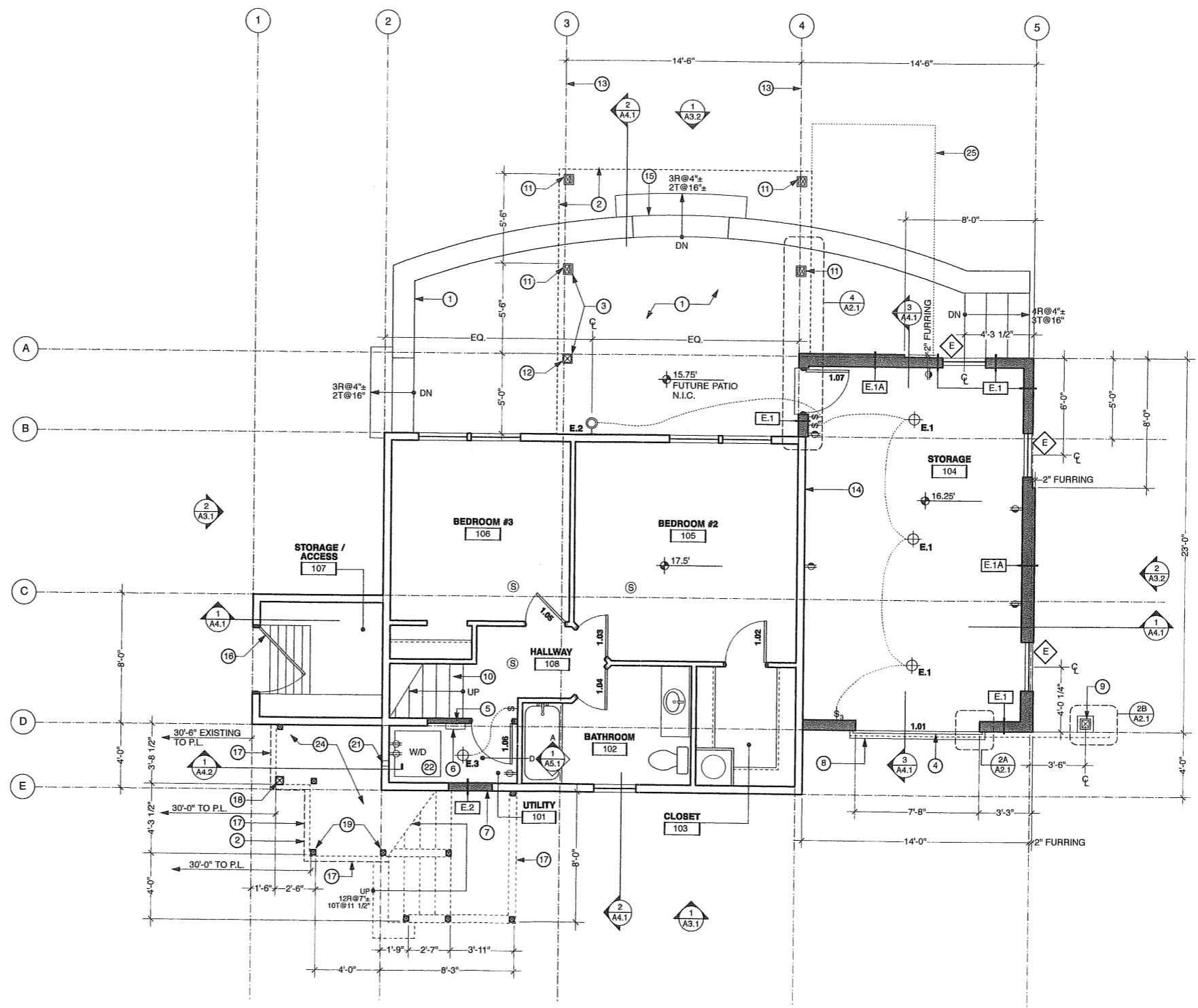
FRAMING INTERSECTION 4
1 1/2" = 1'-0"



BARN DOOR / HEAD AND TRACK 3
1 1/2" = 1'-0"



BARN DOOR JAMB AND COLUMN 2
1 1/2" = 1'-0"



LEGEND

	EXISTING (E) WALL
	NEW (N) WALL
	DUPLEX OUTLET
	GFCI OUTLET
	LIGHT SWITCH
	SMOKE DETECTOR

FIRST FLOOR PLAN 1
1/4" = 1'-0"

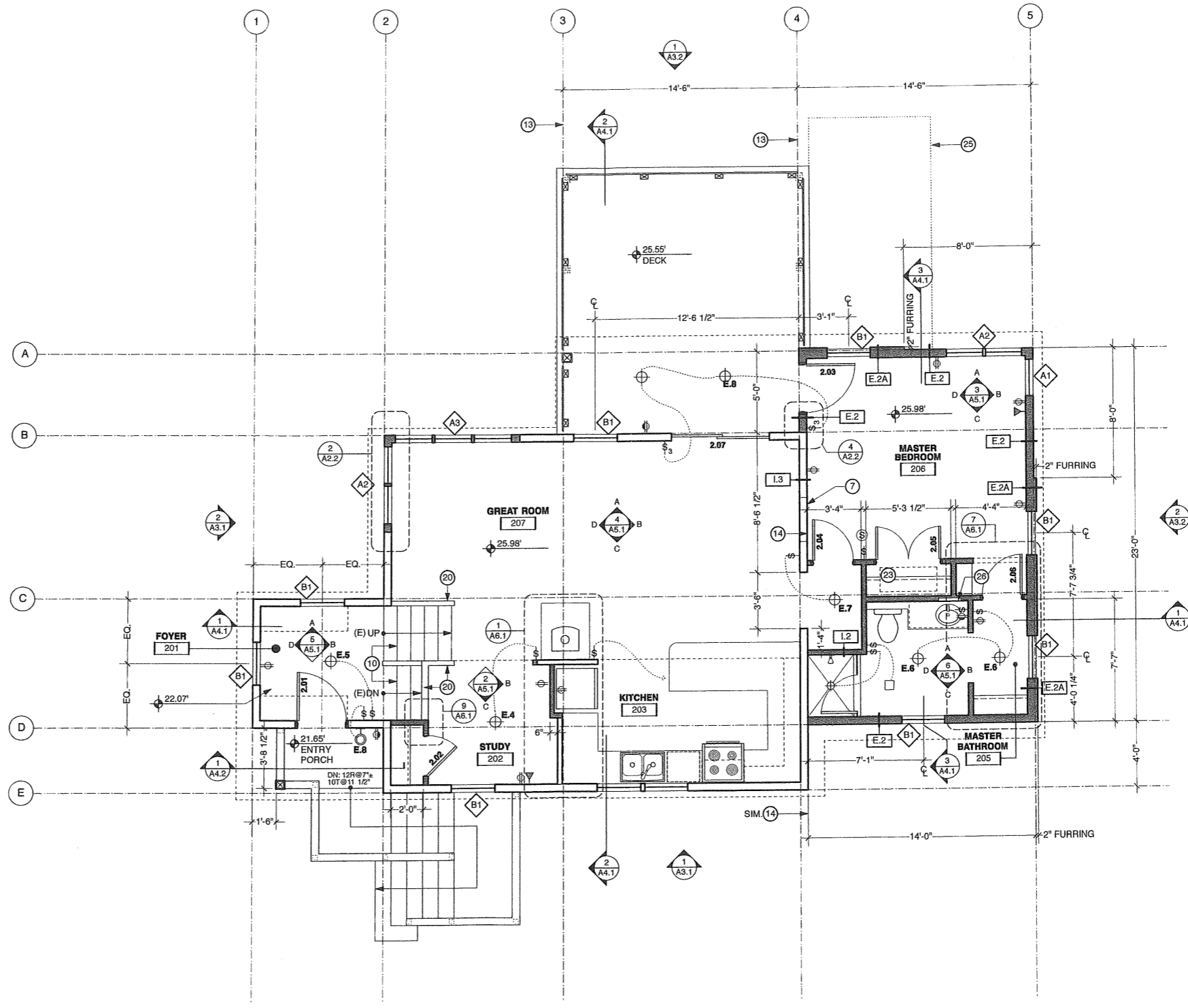
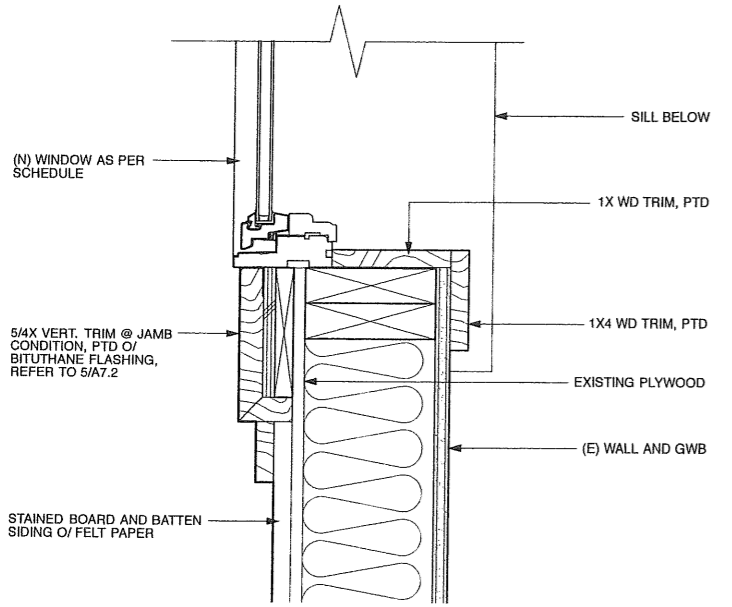
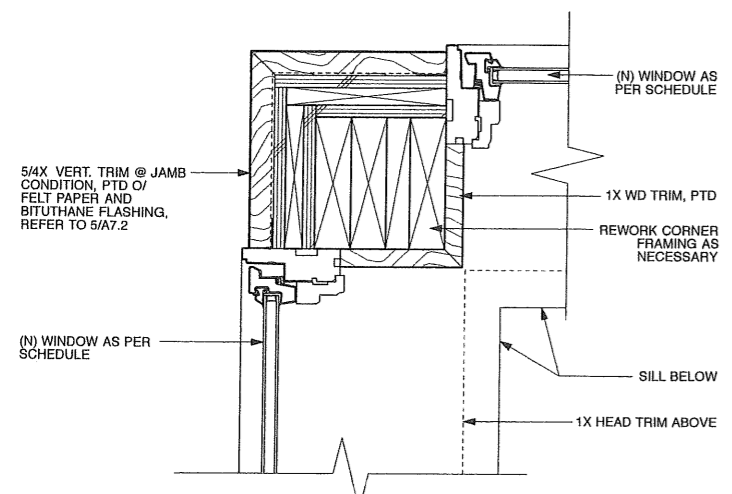
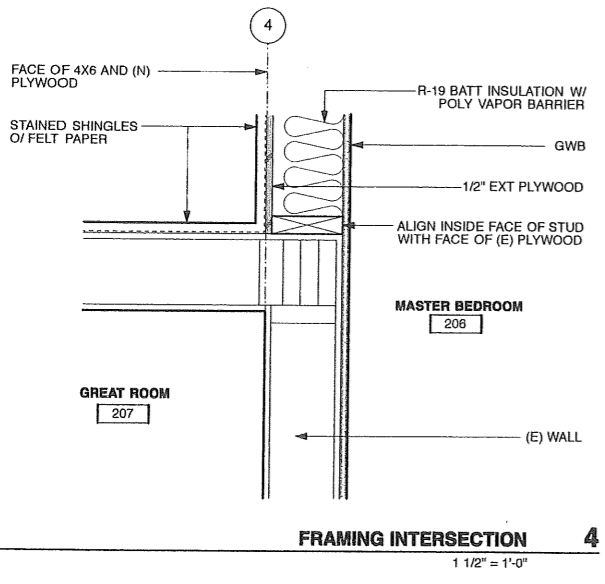
- ALL INTERIOR DOORS TO REMAIN SHALL RECEIVE NEW HARDWARE, REFER TO DOOR SCHEDULE 1/A8.1.
- ELEVATIONS ARE TO EXISTING AND NEW CONSTRUCTION.
- NOT ALL SHEET NOTES ARE USED ON EVERY SHEET.
- STAIR FROM DECK IS FUTURE AND NIC.
- ALL (N) INTERIOR WALLS TO BE WALL TYPE I.1, U.O.N.

SHEET NOTES

- FUTURE STONE PATIO & LOW WALL, NIC.
- LINE OF DECK ABOVE.
- ADJUST CONC. BASE HEIGHT TO ACCOMMODATE FUTURE PATIO ELEVATION. CONC. SHOULD BE AT 16.0'.
- ROLLING BARN DOOR REFER TO DOOR SCHEDULE.
- INFILL WALL.
- LOCATION OF RELOCATED ELECTRICAL PANEL BEHIND DOOR 1.06 IS ALSO OPTION. CONC. SHOULD BE AT 16.0'.
- REMOVE (E) WINDOW AND PATCH WALL AND FINISHES.
- CONCRETE TRANSITION APRON, SLOPE TO GRADE.
- 6X6 P.T. COLUMN WITH 5/4X TRIM. REFER TO 3/A2.1. SUPPORT FOR BARN DOOR TRACK.
- (E) STAIRS TO RECEIVE NEW WOOD RISERS AND TREADS, REFER TO 7/A8.1.
- RE-USE (E) 4X6 PT COLUMNS W/ 2X FURRING AND 5/4" WOOD TRIM
- 6X8 PT COLUMN, FULL HEIGHT TO ROOF ABOVE, NOTCH INSIDE FACE 1/2" TO RECEIVE (2) 2X10 HEADER AT DECK & ALIGN W/ OTHER COLUMN ALONG LINE 3.
- FACE OF 4X6 PT COLUMN WHICH, ON GRID-LINE 4, ALIGNS WITH FACE OF (N) 1/2" PLYWOOD. SEE 4/A2.1 AND 4/A2.2
- FACE OF (E) PLYWOOD / REMOVE (E) CLAPBOARDS AND BLDG PAPER AND INSTALL 5/8" TYPE 'X' GWB, MUD, TAPE, & SAND OR (N) FELT & SIDING.
- VERIFY IN FIELD NEED FOR STEP AND NOTIFY ARCHITECT OF REQUIRED ADJUSTMENTS, NIC.
- REFER TO 2/A3.1 FOR (N) CRAWL SPACE DOOR
- 1X4 SLATS AT 4" O.C., PTD ON 2X4 P.T. FRAMING.
- 6X6 P.T. COLUMN WITH PTD 5/4X TRIM, WHERE EXPOSED.
- 4X4 P.T. COLUMN
- NEW RAILING, TBD.
- DRYER EXHAUST
- NEW STACKED WASHER/DRYER PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- ATTIC ACCESS PANEL ABOVE
- 2" CRUSHED STONE O/ GEOTEX
- FUTURE STAIR LOCATION, N.I.C.
- RECESSED MEDICINE CABINET

ELECTRICAL NOTES

- ALL SWITCHES TO BE AT 3'-0" AND ALL OUTLETS TO BE AT 12" A.F.F, U.O.N.
- STORAGE ROOM TO HAVE RIGID CONDUIT WHERE EXPOSED IF REQ'D BY CODE.
- LIGHT FIXTURES TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR, U.O.N.
- SWITCHES AND OUTLETS TO BE WHITE, U.O.N.
- RELOCATE (E) SWITCHES & OUTLETS AS MAY BE NECESSARY.



LEGEND

	EXISTING (E) WALL
	NEW (N) WALL
	DUPLEX OUTLET
	GFCI OUTLET
	LIGHT SWITCH
	SMOKE DETECTOR

1. ALL INTERIOR DOORS TO REMAIN SHALL RECEIVE NEW HARDWARE, REFER TO DOOR SCHEDULE 1/A8.1.
2. ELEVATIONS ARE TO EXISTING AND NEW CONSTRUCTION.
3. NOT ALL SHEET NOTES ARE USED ON EVERY SHEET.
4. STAIR FROM DECK IS FUTURE AND NIC.
5. ALL (N) INTERIOR WALLS TO BE WALL TYPE I.1, U.O.N.

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 12. 6X6 PT COLUMN, FULL HEIGHT TO ROOF ABOVE, NOTCH INSIDE FACE 1/2" TO RECEIVE (2) 2X10 HEADER AT DECK & ALIGN W/ OTHER COLUMN ALONG LINE 3.
 13. FACE OF 4X8 PT COLUMN WHICH, ON GRID-LINE 4, ALIGNS WITH FACE OF (N) 1/2" PLYWD. SEE 4/A2.1 AND 4/A2.2
 14. FACE OF (E) PLYWOOD / REMOVE (E) CLAPBOARDS AND BLDG PAPER AND INSTALL 5/8" TYPE 'X' GWB., MUD, TAPE, & SAND OR (N) FELT & SIDING.
 15. VERIFY IN FIELD NEED FOR STEP AND NOTIFY ARCHITECT OF REQUIRED ADJUSTMENTS, NIC.
 16. REFER TO 2/A3.1 FOR (N) CRAWL SPACE DOOR
 17. 1X4 SLATS AT 4" O.C., PTD ON 2X4 P.T. FRAMING.
 18. 6X6 P.T. COLUMN WITH PTD 5/4X TRIM, WHERE EXPOSED.
 19. 4X4 P.T. COLUMN
 20. NEW RAILING, TBD.
 21. DRYER EXHAUST
 22. NEW STACKED WASHER/DRYER PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
 23. ATTIC ACCESS PANEL ABOVE
 24. 2" CRUSHED STONE O/ GEOTEX
 25. FUTURE STAIR LOCATION, N.I.C.
 26. RECESSED MEDICINE CABINET

- ELECTRICAL NOTES**
1. ALL SWITCHES TO BE AT 3'-0" AND ALL OUTLETS TO BE AT 12" A.F.F. U.O.N.
 2. STORAGE ROOM TO HAVE RIGID CONDUIT WHERE EXPOSED IF REQ'D BY CODE.
 3. LIGHT FIXTURES TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR, U.O.N.
 4. SWITCHES AND OUTLETS TO BE WHITE, U.O.N.
 5. RELOCATE (E) SWITCHES & OUTLETS AS MAY BE NECESSARY.

TYP. CORNER WINDOW CONDITION 2
3" = 1'-0"

SECOND FLOOR PLAN 1
1/4" = 1'-0"

GENERAL NOTES

- EXISTING WINDOWS TO REMAIN ARE NOTED AS (E).
- ALL EXISTING SIDING, ROOF SHINGLES, FLASHING, AND BUILDING FELTS TO BE REMOVED.
- WINDOW TRIM CONDITIONS AT SHINGLE WALLS SHALL BE PTD. 5/4 X 4 JAMB AND HEAD TRIM ONLY. WINDOW TRIM CONDITIONS AT BOARD AND BATTENS SHALL BE 1X3 STAINED TO MATCH BATTENS AT HEAD, JAMB AND SILL (PICTURE FRAME).

SHEET NOTES

- NEW ASPHALT SHINGLE ROOF, ON ADDITION AND TO REPLACE (E) SHINGLES O/ FELT PAPER
- STAINED BOARD AND BATTEN SIDING O/ NEW FELT PAPER.
- STAINED WHITE CEDAR SHINGLES O/ NEW FELT PAPER.
- 1X4 SLATS @ 4" O.C., PTD.; PROVIDE ACCESS PANEL / DOOR.
- EXISTING WINDOWS THAT ARE TO BE SALVAGED AND RELOCATED
- (E) ATTIC VENT, TO REMAIN. VERIFY CONDITION IN FIELD
- BARN DOOR TRACK MOUNTED TO BUILT-UP BEAM ENCASED IN WOOD TRIM
- (N) ATTIC VENT TO MATCH (E) ON NORTH ELEV.
- CONCRETE SLAB TRANSITION TO STORAGE FLOOR
- FUTURE PATIO STONE WALL, N.I.C.
- FUTURE PATIO STONE STEPS, N.I.C.
- (E) STONE LANDING FOR ACCESS DOOR TO REMAIN
- (N) RIDGE VENT
- 10" DIA. STAINLESS STEEL FIREPLACE FLUE W/ BRACKET AND SPARK ARRESTOR
- (N) LOCATION OF ELECTRICAL, CABLE, PHONE SERVICE, AND WATER SUB-METER
- (N) CRAWL SPACE DOOR
- EXTERIOR LIGHT FIXTURE

EXTERIOR FINISH MATERIALS

ASPHALT SHINGLES:
CERTAIN-TEED - TBD

WOOD TRIM:
5/4", #2 PINE, BACK-PRIME AND PAINT, U.O.N.

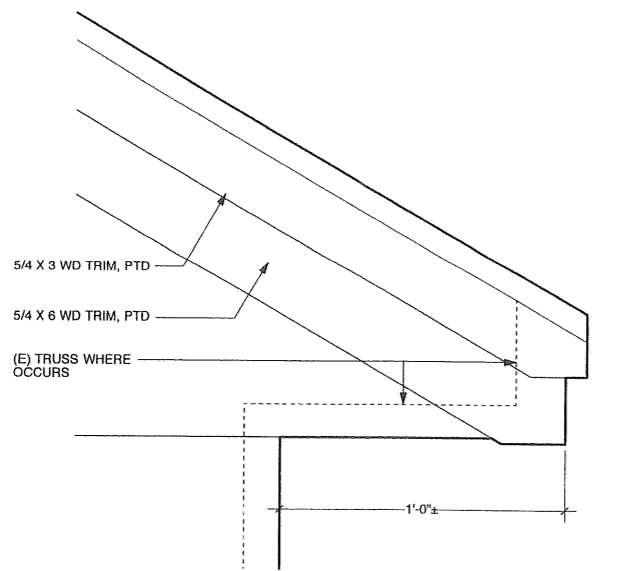
BOARD AND BATTEN:
1X12 #3 PINE BOARDS W/ 1X3 #3 PINE BATTENS @ 12" O.C.; STAIN ALL 6 SIDES

WOOD SHINGLES:
WHITE CEDAR SHINGLES; CLEAR FACE W/ 5"± EXPOSURE; MAIBEL / COASTAL FOREST PRODUCTS; COLOR, TBD.

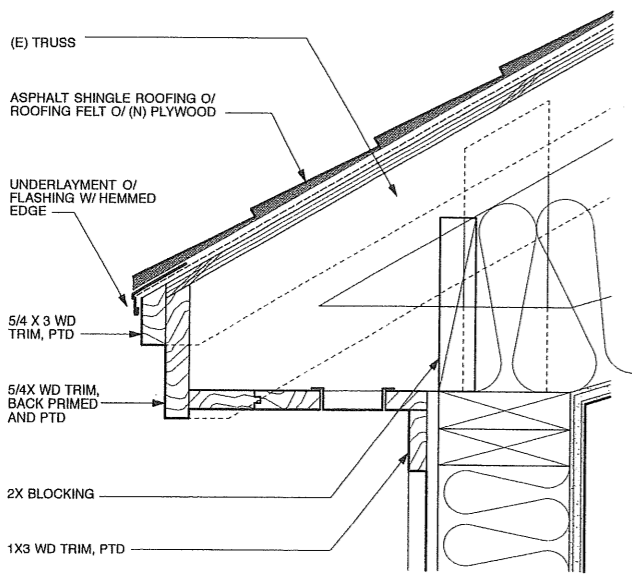
WOOD SOFFITS:
#2 PINE; 1X6 BEADED; BACK-PRIME AND PAINT

DECK RAILING:
4X6 AND 1X4

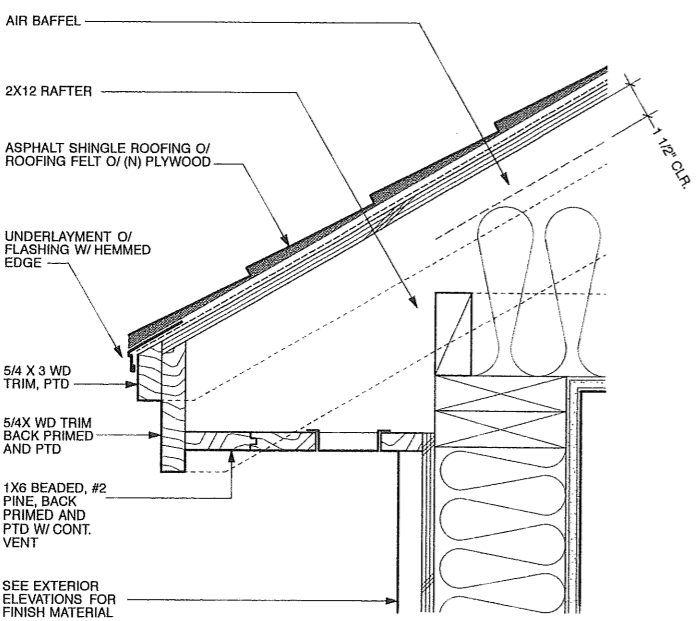
DECK HANDRAIL:
TBD, W/ CLEAR GLOSS FINISH



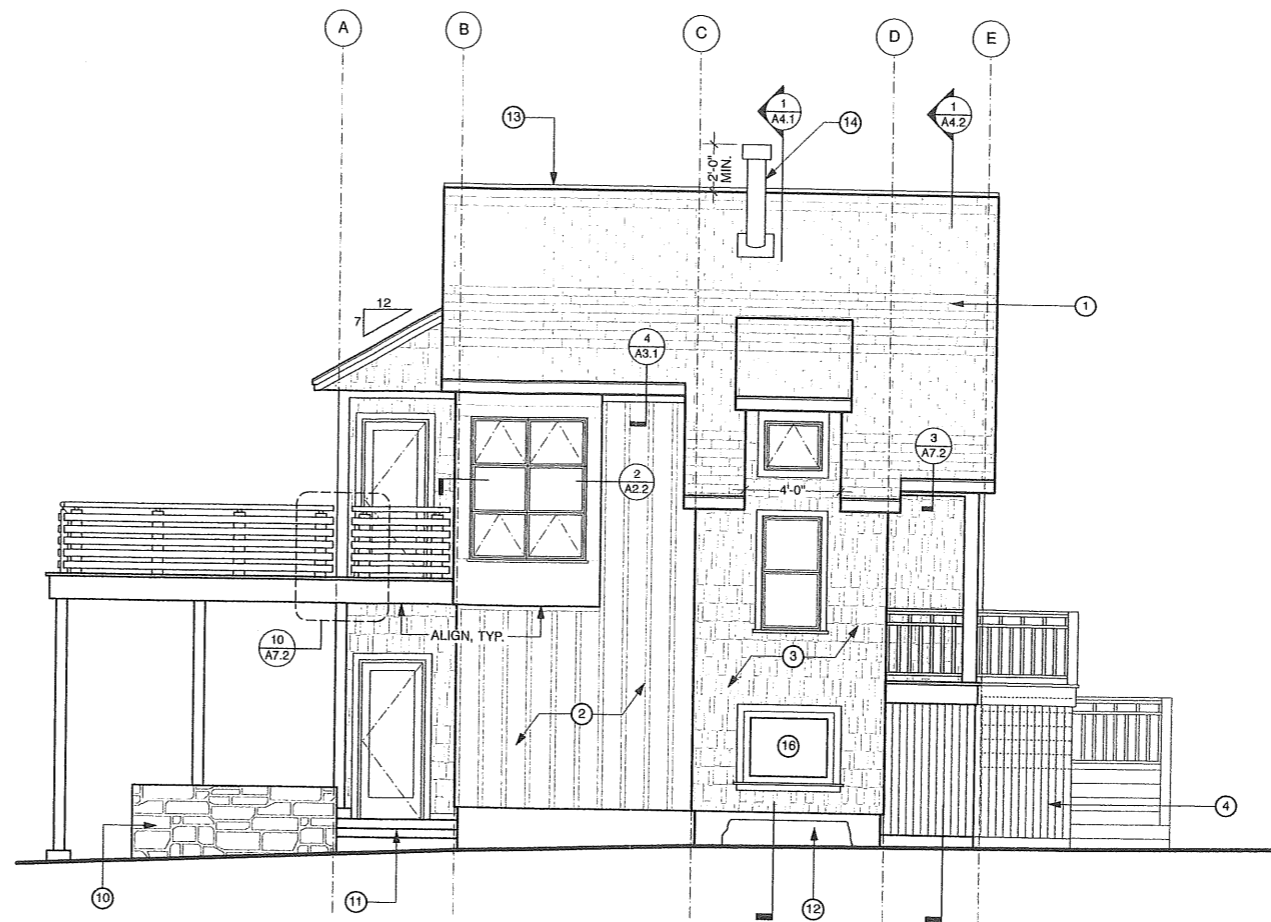
EAVE ELEVATION DETAIL 5
3"=1'-0"



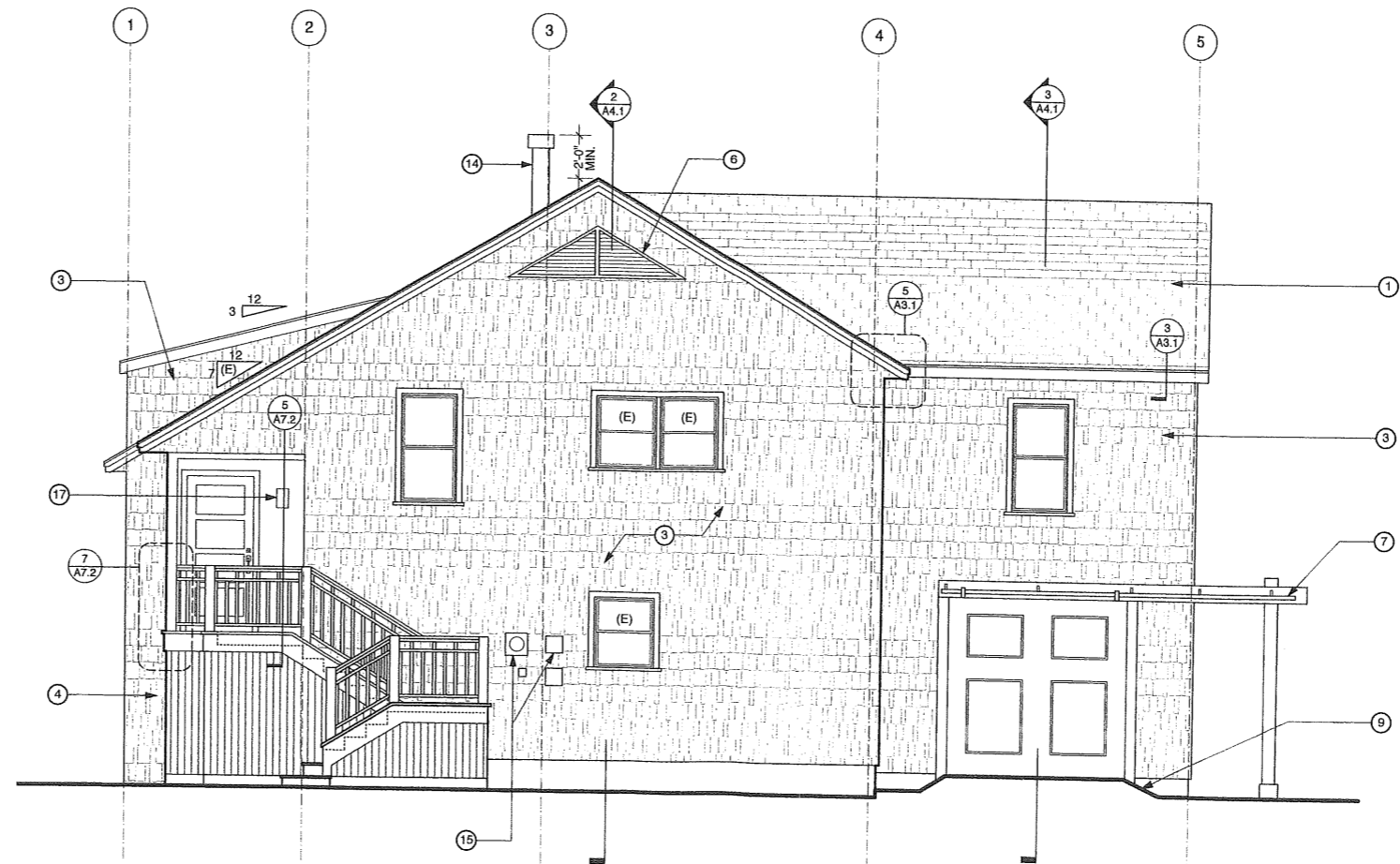
TYPICAL (E) MODIFIED EAVE DETAIL 4
3"=1'-0"



TYPICAL (N) EAVE DETAIL 3
3"=1'-0"



EAST ELEVATION 2
1/4"=1'-0"



NORTH ELEVATION 1
1/4"=1'-0"

GENERAL NOTES

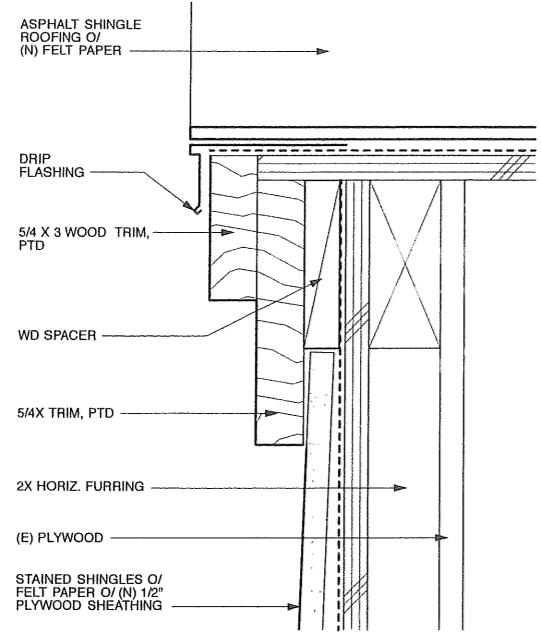
- EXISTING WINDOWS TO REMAIN ARE NOTED AS (E).
- ALL EXISTING SIDING, ROOF SHINGLES, FLASHING, AND BUILDING FELTS TO BE REMOVED.
- WINDOW TRIM CONDITIONS AT SHINGLE WALLS SHALL BE PTD. 5/4 X 4 JAMB AND HEAD TRIM ONLY. WINDOW TRIM CONDITIONS AT BOARD AND BATTENS SHALL BE 1X3 STAINED TO MATCH BATTENS AT HEAD, JAMB AND SILL (PICTURE FRAME).

SHEET NOTES

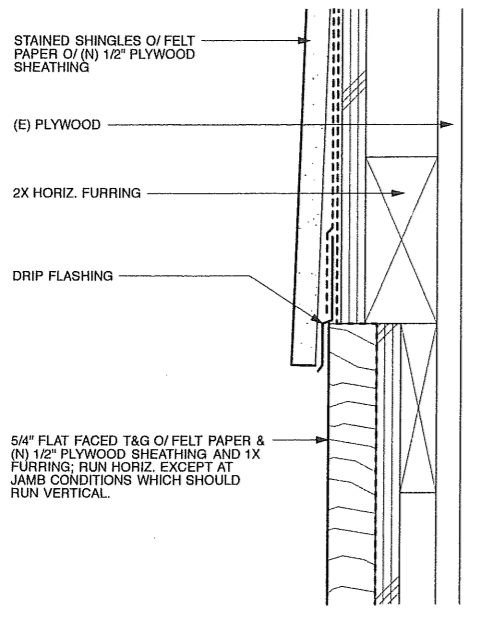
- NEW ASPHALT SHINGLE ROOF, ON ADDITION AND TO REPLACE (E) SHINGLES O/ FELT PAPER
- STAINED BOARD AND BATTEN SIDING O/ NEW FELT PAPER.
- STAINED WHITE CEDAR SHINGLES O/ NEW FELT PAPER.
- 1X4 SLATS @ 4" O.C., PTD.; PROVIDE ACCESS PANEL / DOOR.
- EXISTING WINDOWS THAT ARE TO BE SALVAGED AND RELOCATED
- (E) ATTIC VENT, TO REMAIN. VERIFY CONDITION IN FIELD
- BARN DOOR TRACK MOUNTED TO BUILT-UP BEAM ENCASED IN WOOD TRIM
- (N) ATTIC VENT TO MATCH (E) ON NORTH ELEV.
- CONCRETE SLAB TRANSITION TO STORAGE FLOOR
- FUTURE PATIO STONE WALL, N.I.C.
- FUTURE PATIO STONE STEPS, N.I.C.
- (E) STONE LANDING FOR ACCESS DOOR TO REMAIN
- (N) RIDGE VENT
- 10" DIA. STAINLESS STEEL FIREPLACE FLUE W/ BRACKET AND SPARK ARRESTOR
- (N) LOCATION OF ELECTRICAL, CABLE, PHONE SERVICE, AND WATER SUB-METER
- (N) CRAWL SPACE DOOR
- EXTERIOR LIGHT FIXTURE

EXTERIOR FINISH MATERIALS

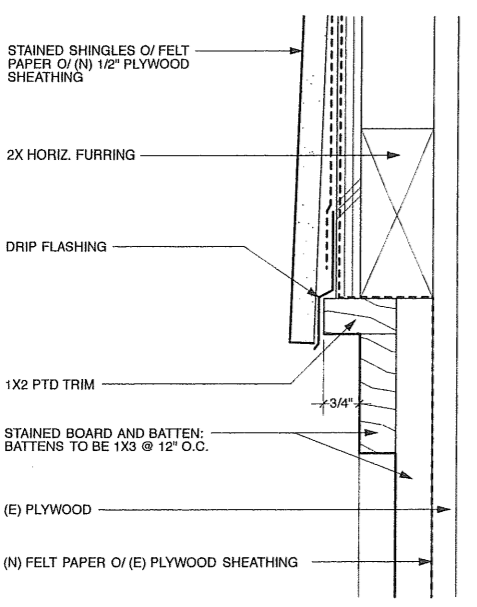
- ASPHALT SHINGLES:**
CERTAIN-TEED - TBD
- WOOD TRIM:**
5/4", #2 PINE; BACK-PRIME AND PAINT, U.O.N.
- BOARD AND BATTEN:**
1X12 #3 PINE BOARDS W/ 1X3 #3 PINE BATTENS @ 12" O.C.; STAIN ALL 6 SIDES
- WOOD SHINGLES:**
WHITE CEDAR SHINGLES; CLEAR FACE W/ 5± EXPOSURE; MAIBEL / COASTAL FOREST PRODUCTS; COLOR, TBD.
- WOOD SOFFITS:**
#2 PINE; 1X6 BEADED; BACK-PRIME AND PAINT
- DECK RAILING:**
4X6 AND 1X4
- DECK HANDRAIL:**
TBD, W/ CLEAR GLOSS FINISH



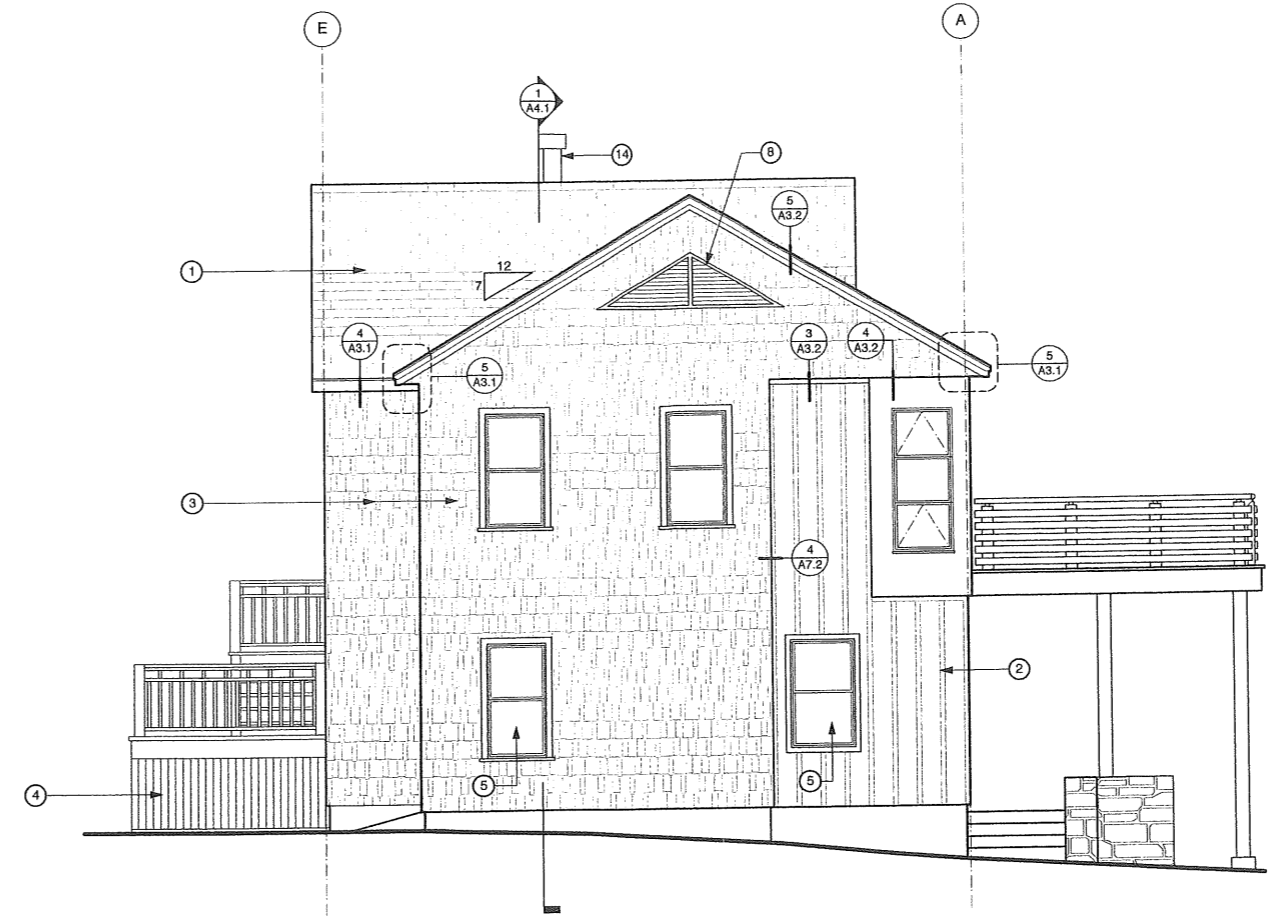
TYPICAL RAKE DETAIL 5
6" = 1'-0"



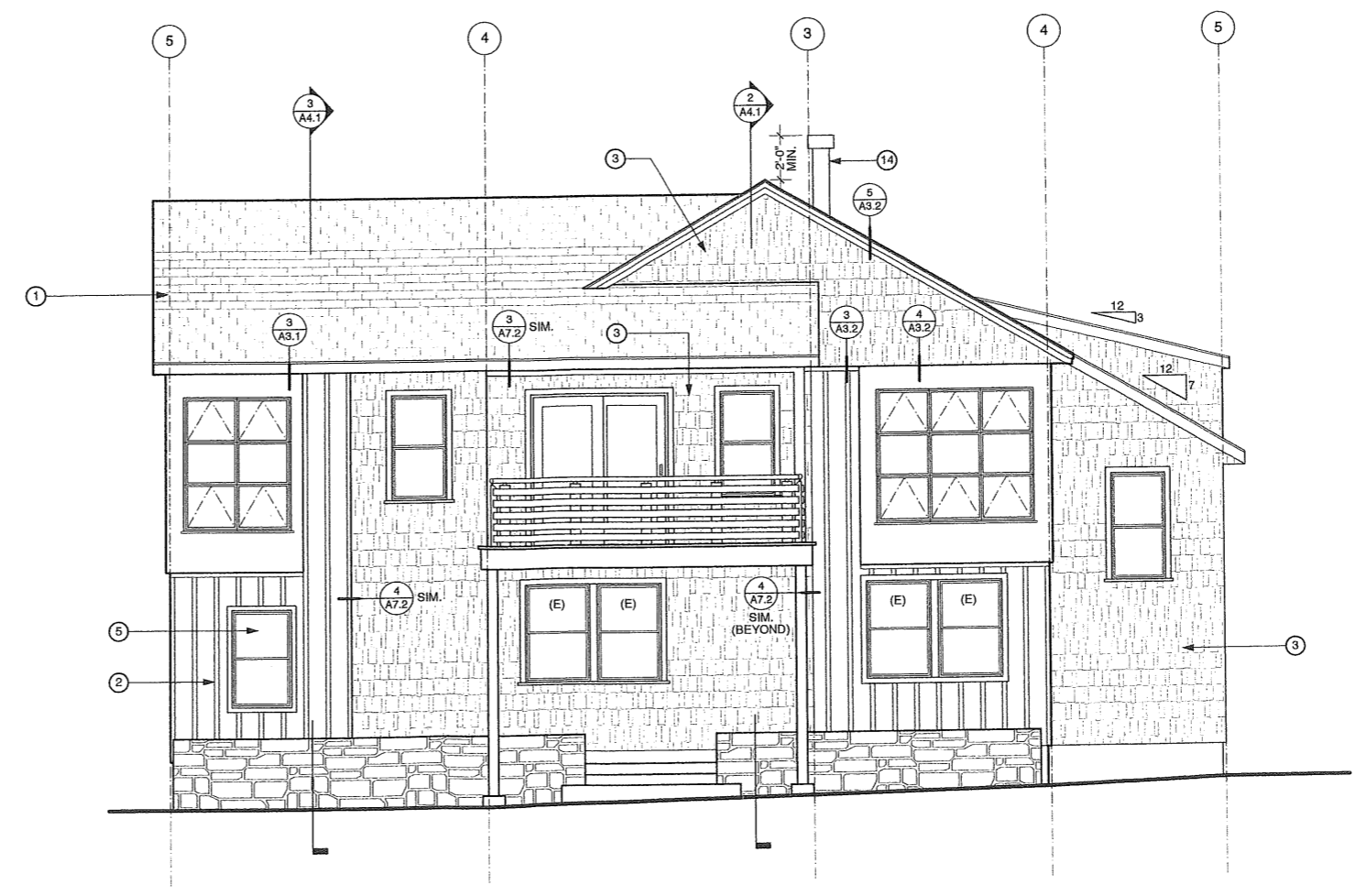
DETAIL: WINDOW TRIM TO SHINGLES 4
6" = 1'-0"



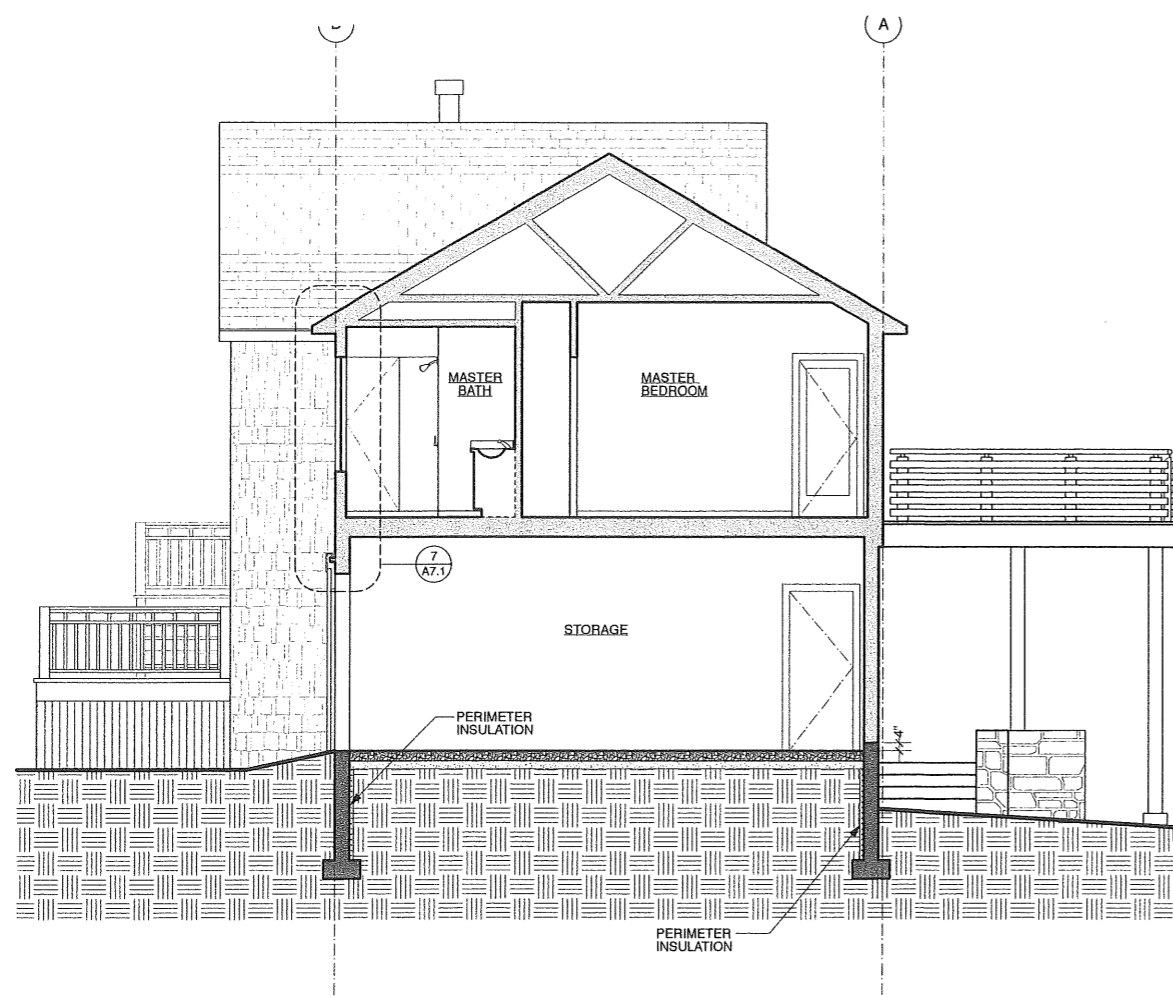
DETAIL: BOARD AND BATTEN TO SHINGLES 3
6" = 1'-0"



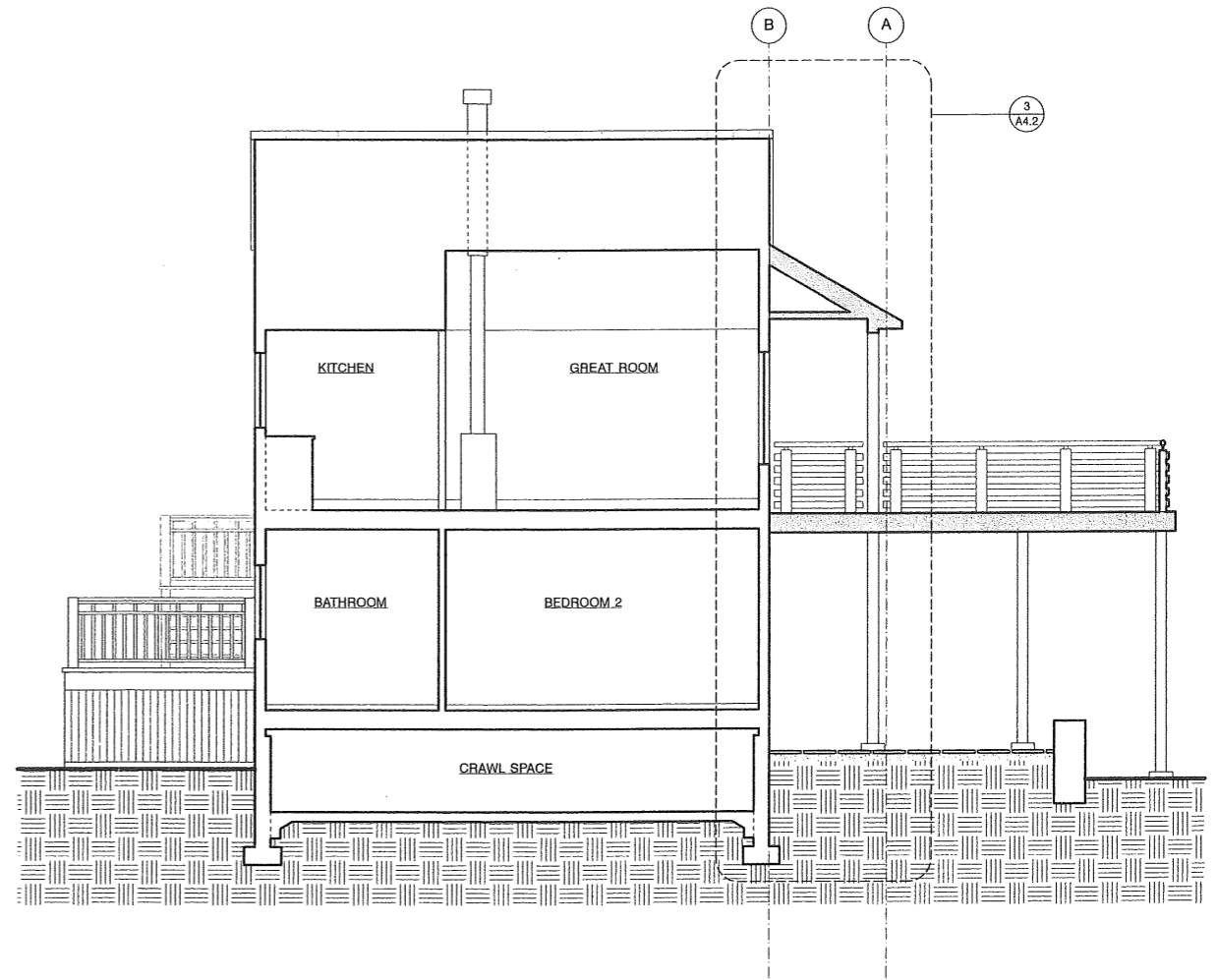
WEST ELEVATION 2
1/4" = 1'-0"



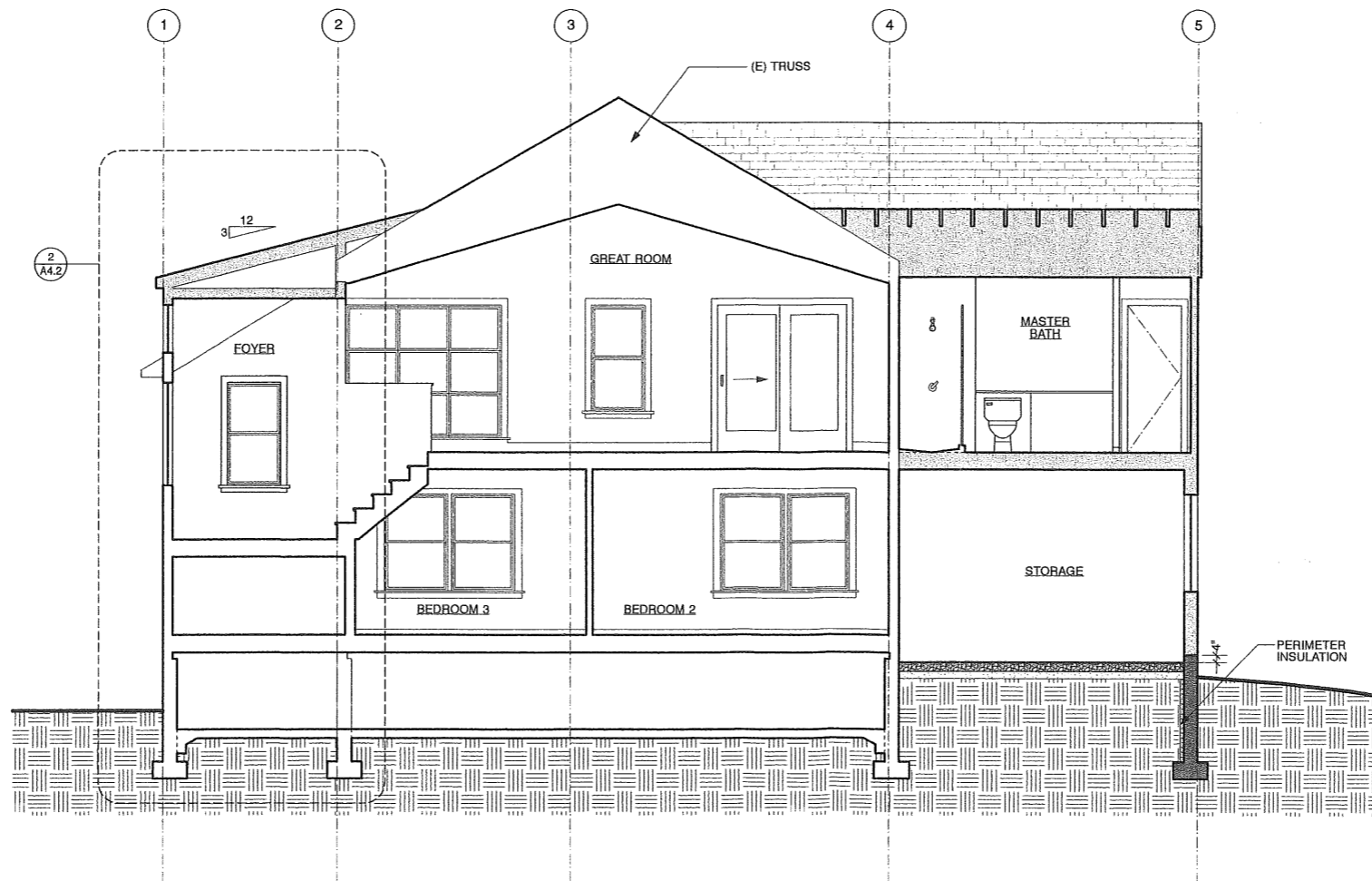
SOUTH ELEVATION 1
1/4" = 1'-0"



BUILDING SECTION 3 3
1/4" = 1'-0"




BUILDING SECTION 2 2
1/4" = 1'-0"



BUILDING SECTION 1 1
1/4" = 1'-0"

LEGEND

 NEW (N) CONSTRUCTION

GENERAL NOTES

- EXISTING WINDOWS TO REMAIN ARE NOTED AS (E).
- ALL EXISTING SIDING, ROOF SHINGLES, FLASHING, AND BUILDING FELTS TO BE REMOVED.
- WINDOW TRIM CONDITIONS AT SHINGLE WALLS SHALL BE PTD. 5/4 X 4 JAMB AND HEAD TRIM ONLY. WINDOW TRIM CONDITIONS AT BOARD AND BATTENS SHALL BE 1X3 STAINED TO MATCH BATTENS AT HEAD, JAMB AND SILL (PICTURE FRAME).

SHEET NOTES

- NEW ASPHALT SHINGLE ROOF, ON ADDITION AND TO REPLACE (E) SHINGLES O/ FELT PAPER
- STAINED BOARD AND BATTEN SIDING O/ NEW FELT PAPER.
- STAINED WHITE CEDAR SHINGLES O/ NEW FELT PAPER.
- 1X4 SLATS @ 4" O.C., PTD.; PROVIDE ACCESS PANEL / DOOR.
- EXISTING WINDOWS THAT ARE TO BE SALVAGED AND RELOCATED
- (E) ATTIC VENT, TO REMAIN. VERIFY CONDITION IN FIELD
- BARN DOOR TRACK MOUNTED TO BUILT-UP BEAM ENCASED IN WOOD TRIM
- (N) ATTIC VENT TO MATCH (E) ON NORTH ELEV.
- CONCRETE SLAB TRANSITION TO STORAGE FLOOR
- FUTURE PATIO STONE WALL, N.I.C.
- FUTURE PATIO STONE STEPS, N.I.C.
- (E) STONE LANDING FOR ACCESS DOOR TO REMAIN
- (N) RIDGE VENT
- 10" DIA. STAINLESS STEEL FIREPLACE FLUE W/ BRACKET AND SPARK ARRESTOR
- (N) LOCATION OF ELECTRICAL, CABLE, PHONE SERVICE, AND WATER SUB-METER
- (N) CRAWL SPACE DOOR
- EXTERIOR LIGHT FIXTURE

EXTERIOR FINISH MATERIALS

ASPHALT SHINGLES:
CERTAIN-TEED - TBD

WOOD TRIM:
5/4", #2 PINE; BACK-PRIME AND PAINT, U.O.N.

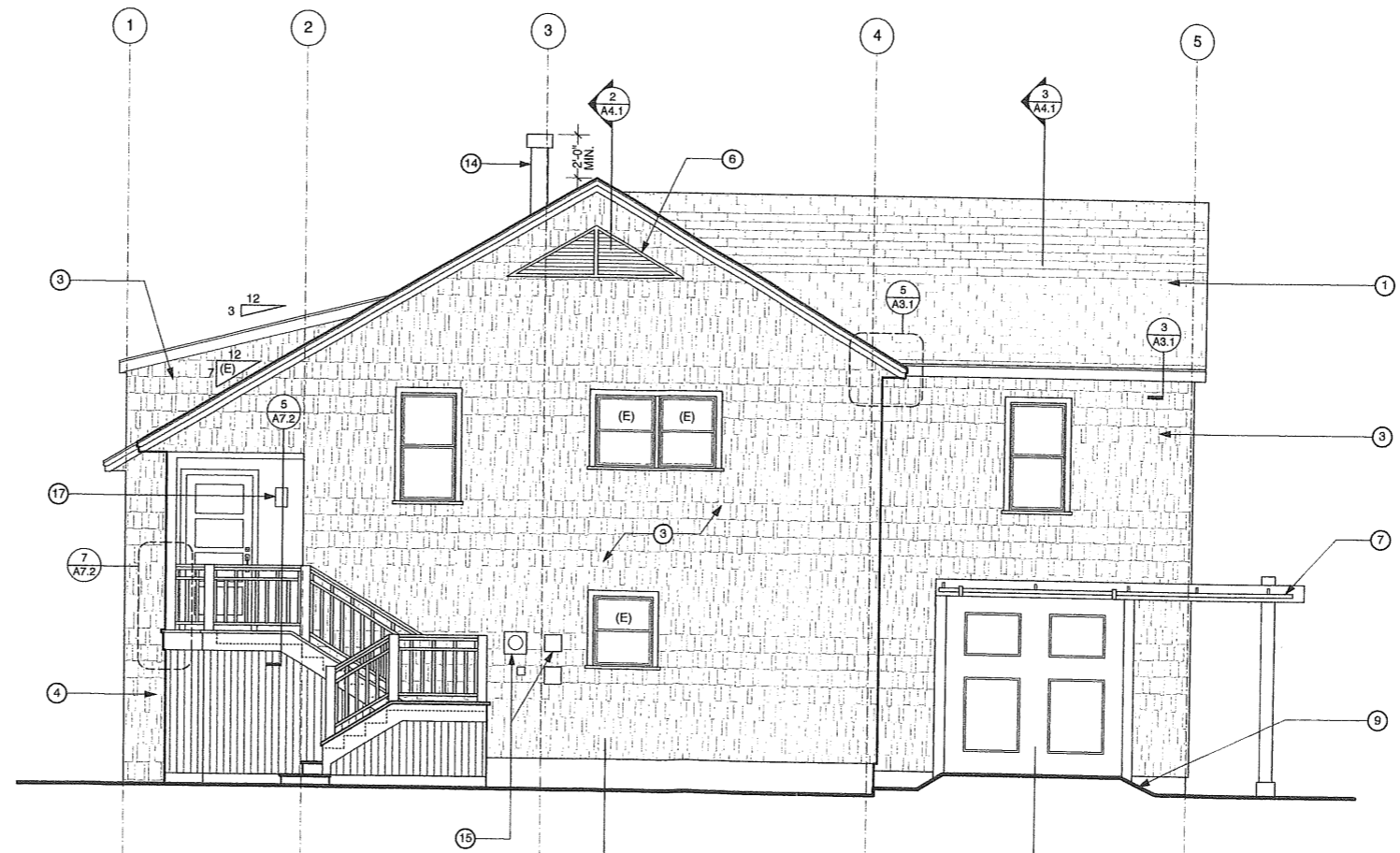
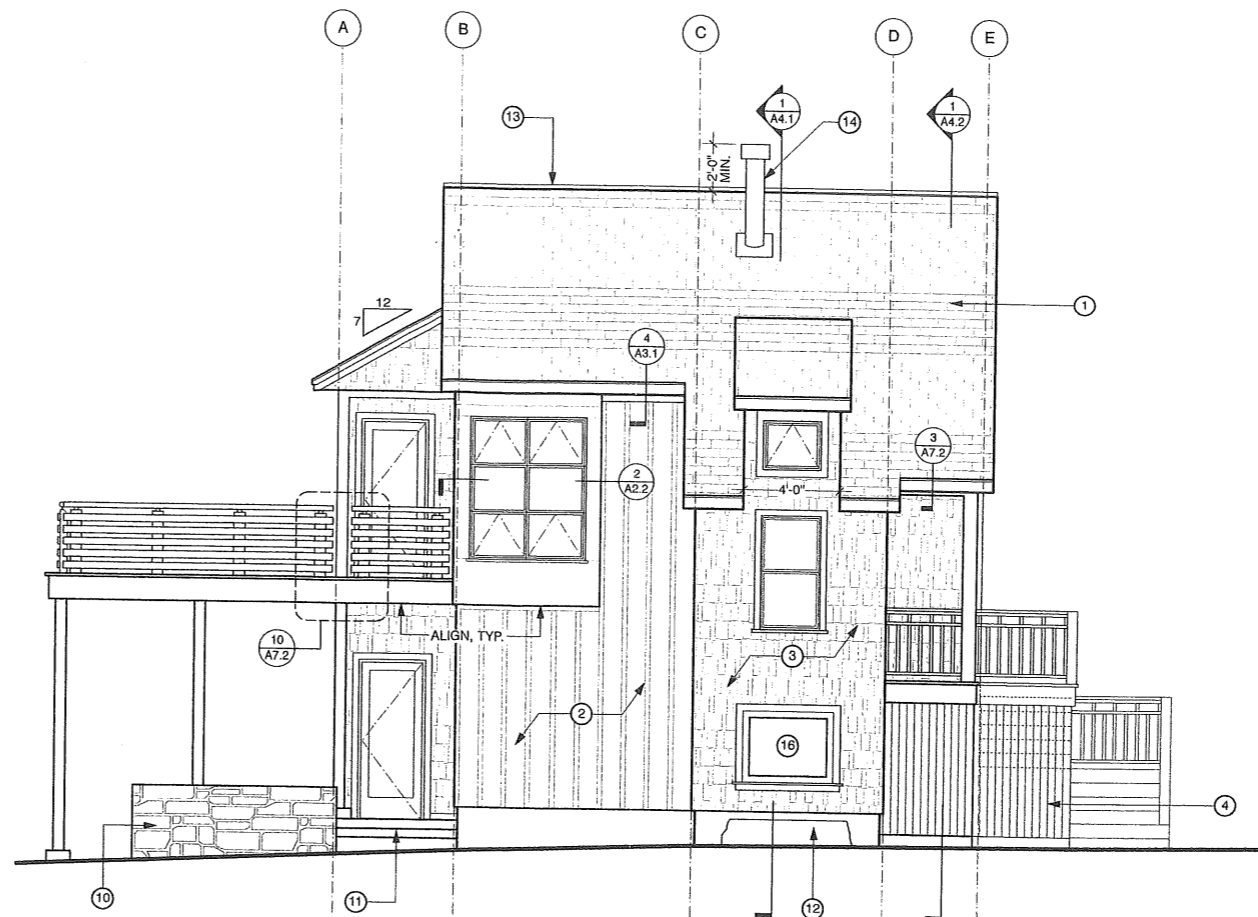
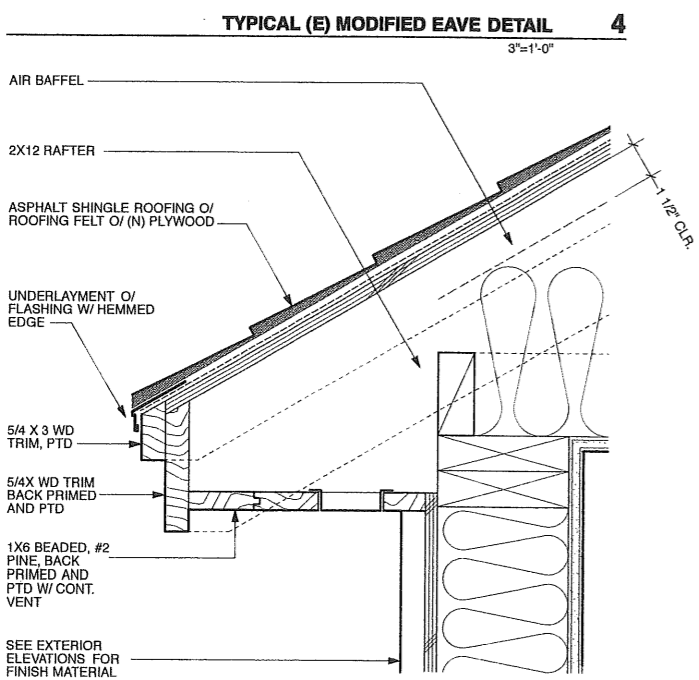
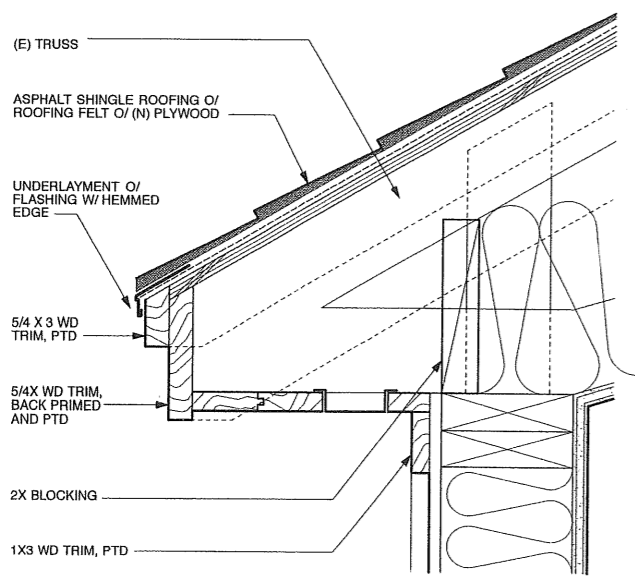
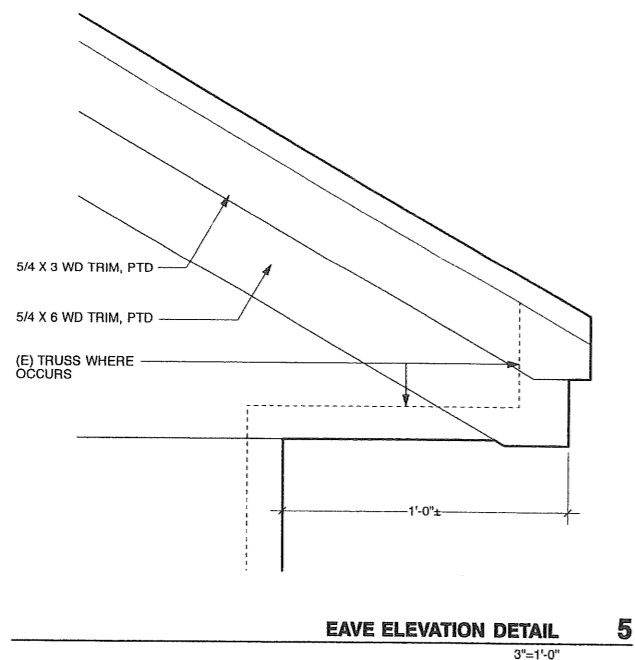
BOARD AND BATTEN:
1X12 #3 PINE BOARDS W/ 1X3 #3 PINE BATTENS @ 12" O.C.; STAIN ALL 6 SIDES

WOOD SHINGLES:
WHITE CEDAR SHINGLES; CLEAR FACE W/ 5"± EXPOSURE; MAIBEL / COASTAL FOREST PRODUCTS; COLOR, TBD.

WOOD SOFFITS:
#2 PINE; 1X6 BEADED; BACK-PRIME AND PAINT

DECK RAILING:
4X6 AND 1X4

DECK HANDRAIL:
TBD, W/ CLEAR GLOSS FINISH



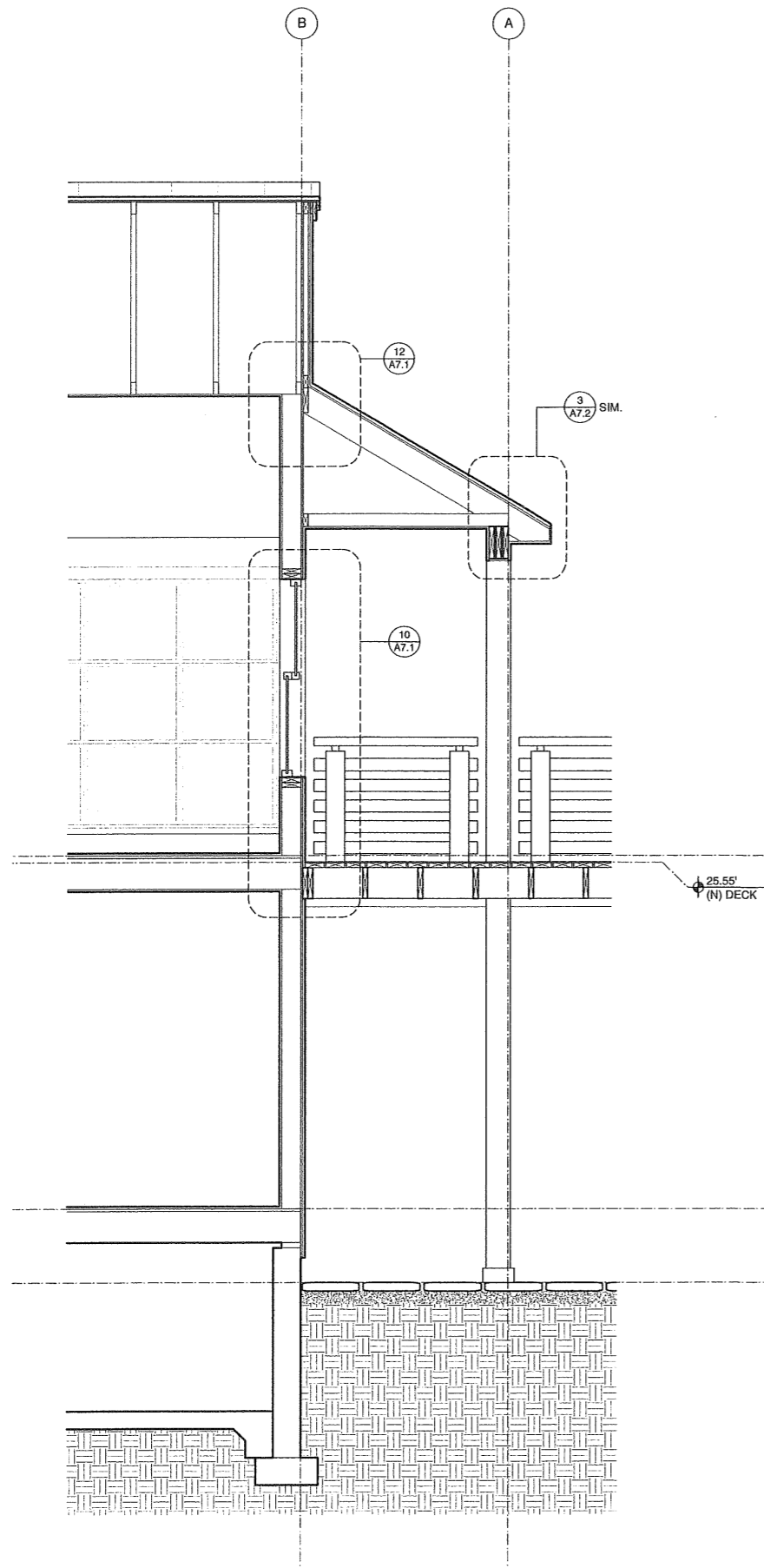
EAVE ELEVATION DETAIL 5
3"=1'-0"

TYPICAL (E) MODIFIED EAVE DETAIL 4
3"=1'-0"

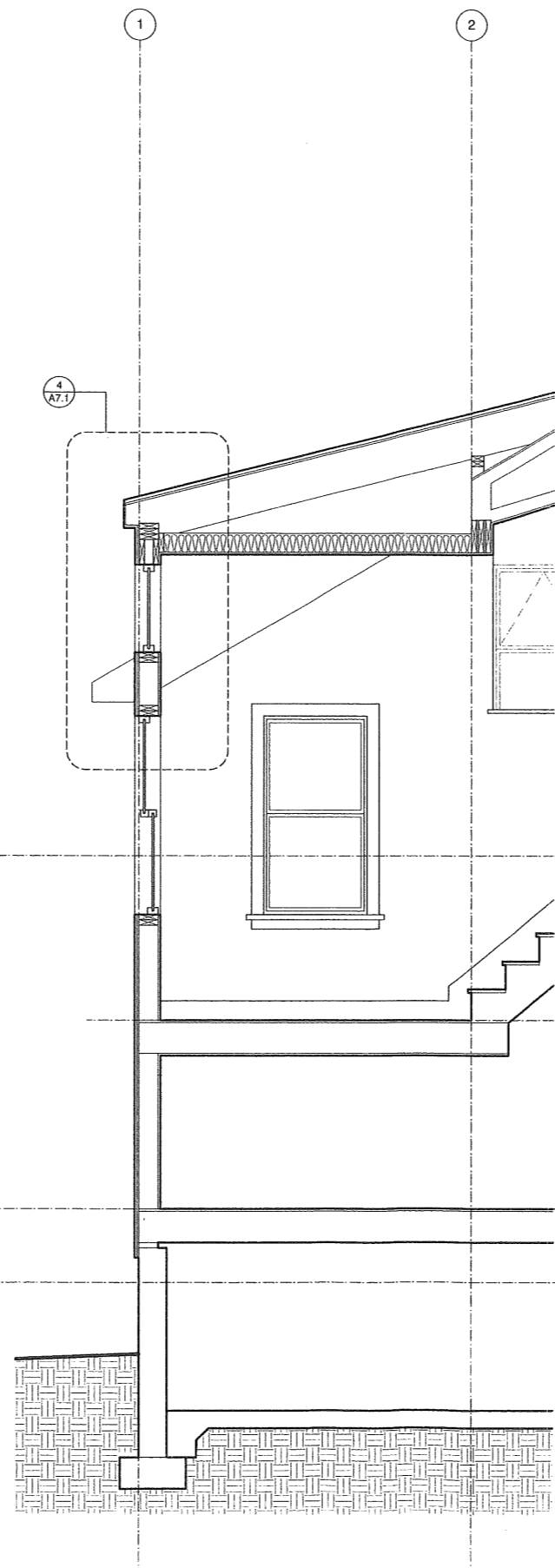
TYPICAL (N) EAVE DETAIL 3
3"=1'-0"

EAST ELEVATION 2
1/4"=1'-0"

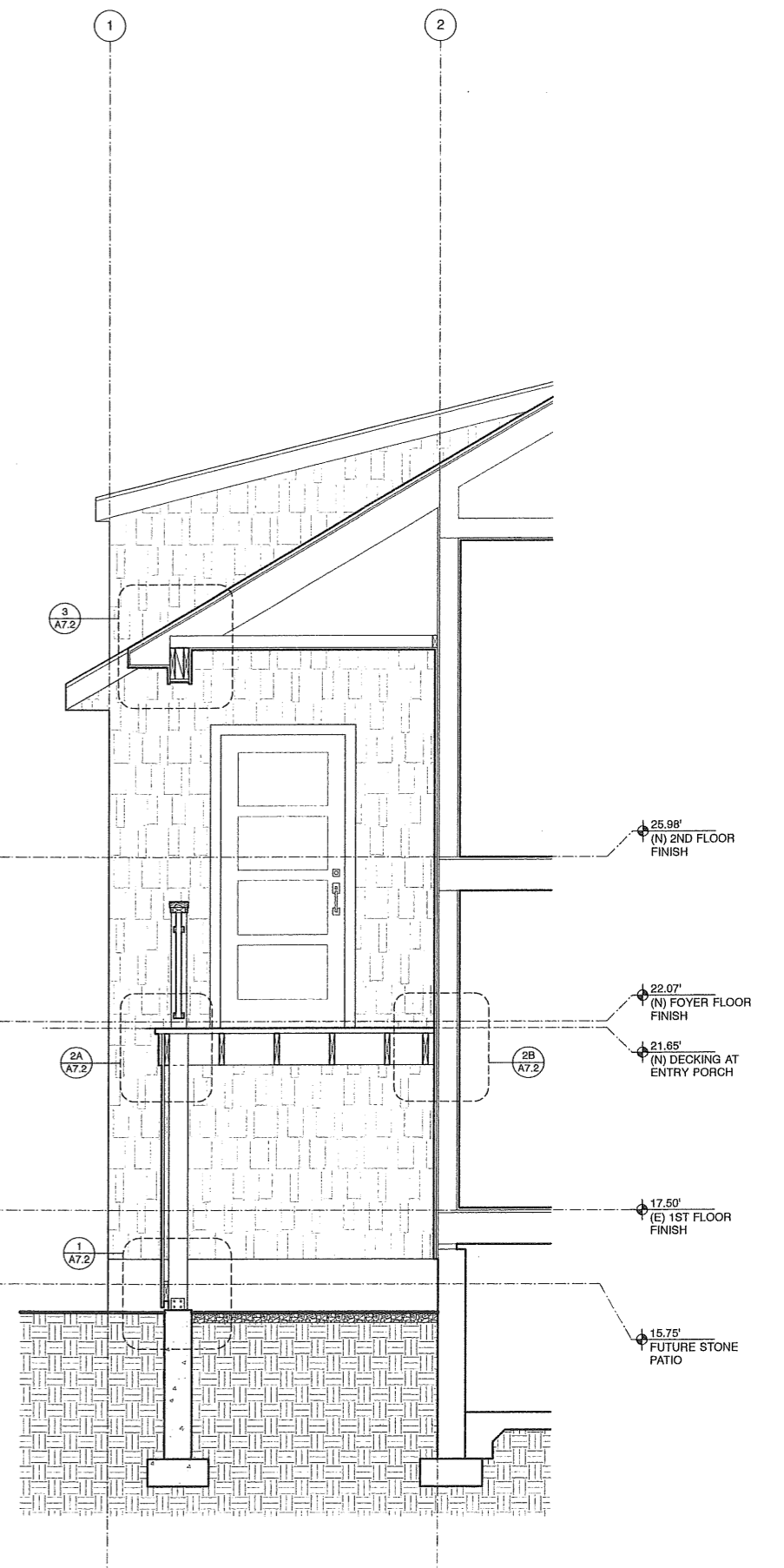
NORTH ELEVATION 1
1/4"=1'-0"



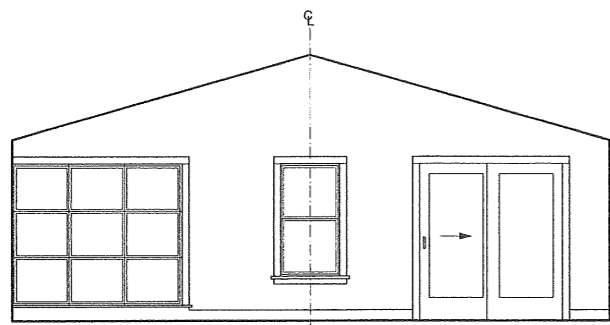
WALL SECTION 3 3
1/2" = 1'-0"



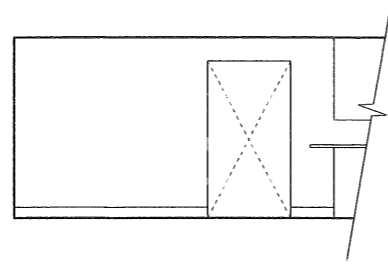
WALL SECTION 2 2
1/2" = 1'-0"



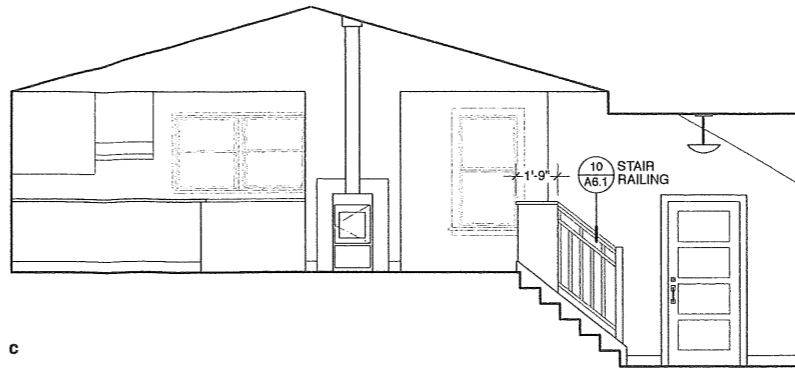
WALL SECTION 1 1
1/2" = 1'-0"



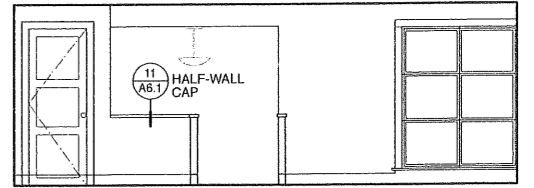
A



B

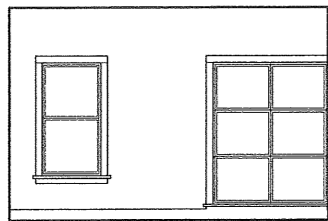


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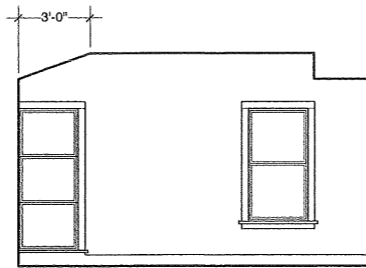


D

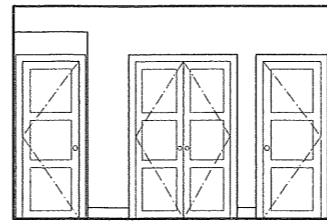
GREAT ROOM 4
1/4" = 1'-0"



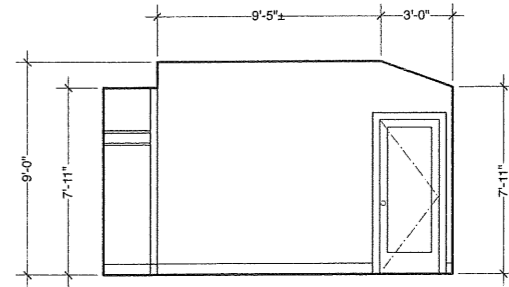
A



B

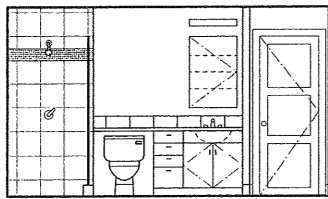


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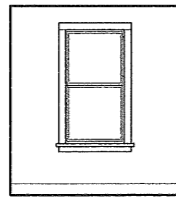


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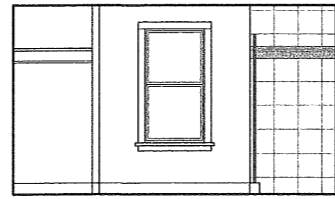
MASTER BEDROOM 3
1/4" = 1'-0"



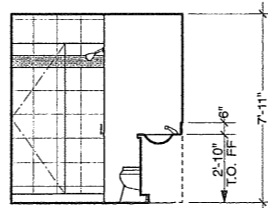
A



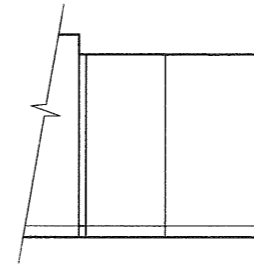
B



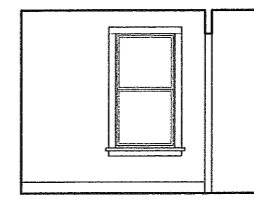
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D



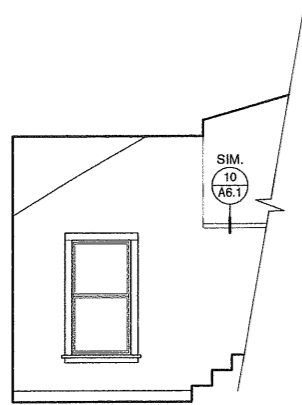
B



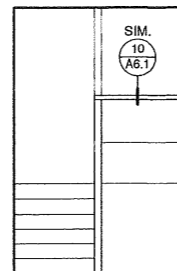
C

MASTER BATHROOM 6
1/4" = 1'-0"

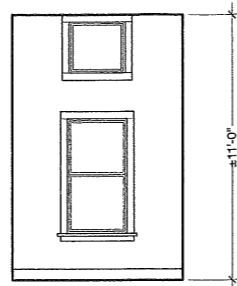
STUDY AREA 2
1/4" = 1'-0"



A

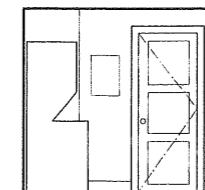


B

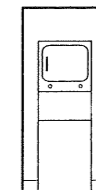


D

FOYER 5
1/4" = 1'-0"

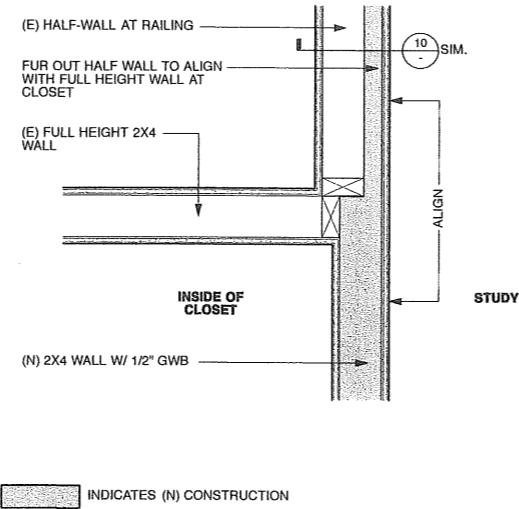


A

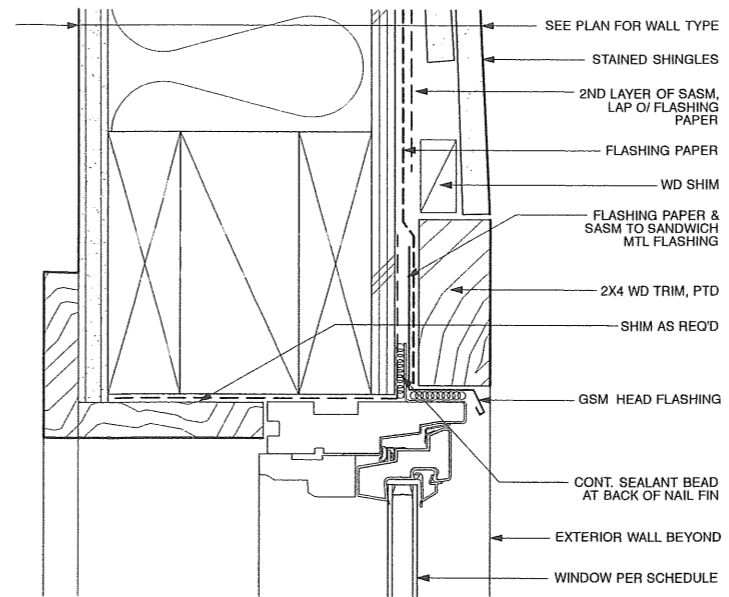


D

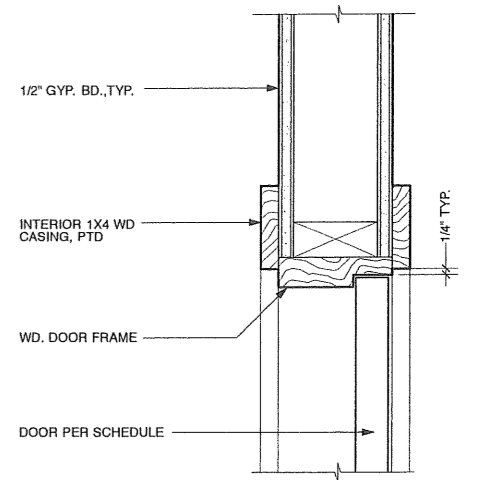
LAUNDRY ROOM 1
1/4" = 1'-0"



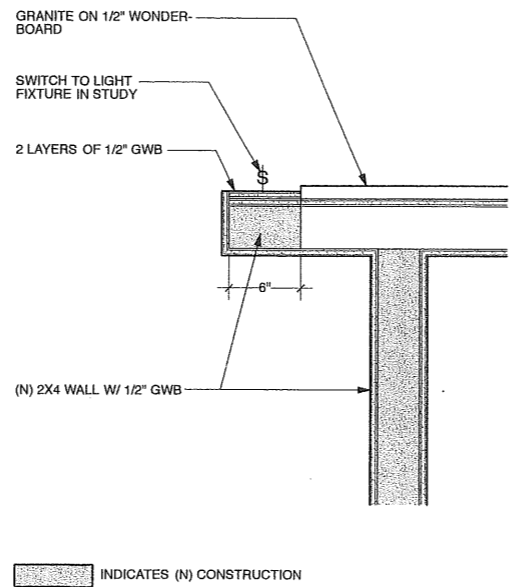
ENLARGED PLAN AT STUDY RAILING 9
 1-1/2" = 1'-0"



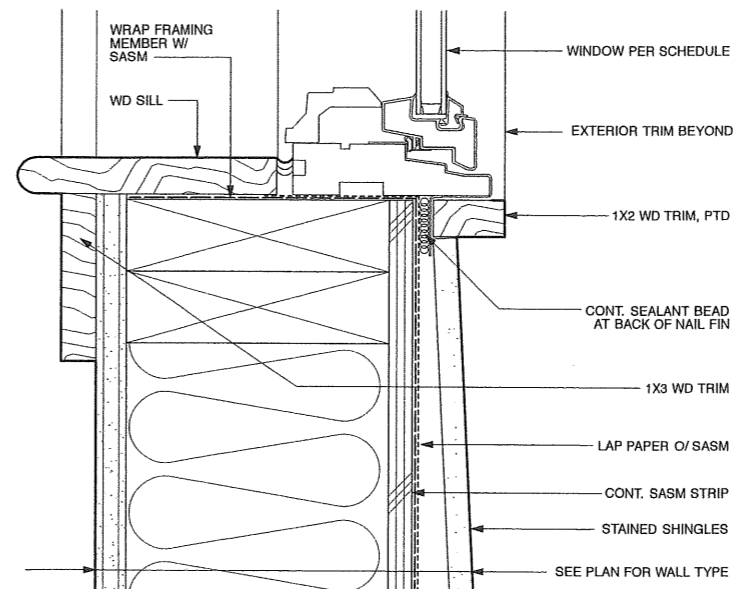
WINDOW HEAD DETAIL (JAMB SIM.) 6
 6" = 1'-0"



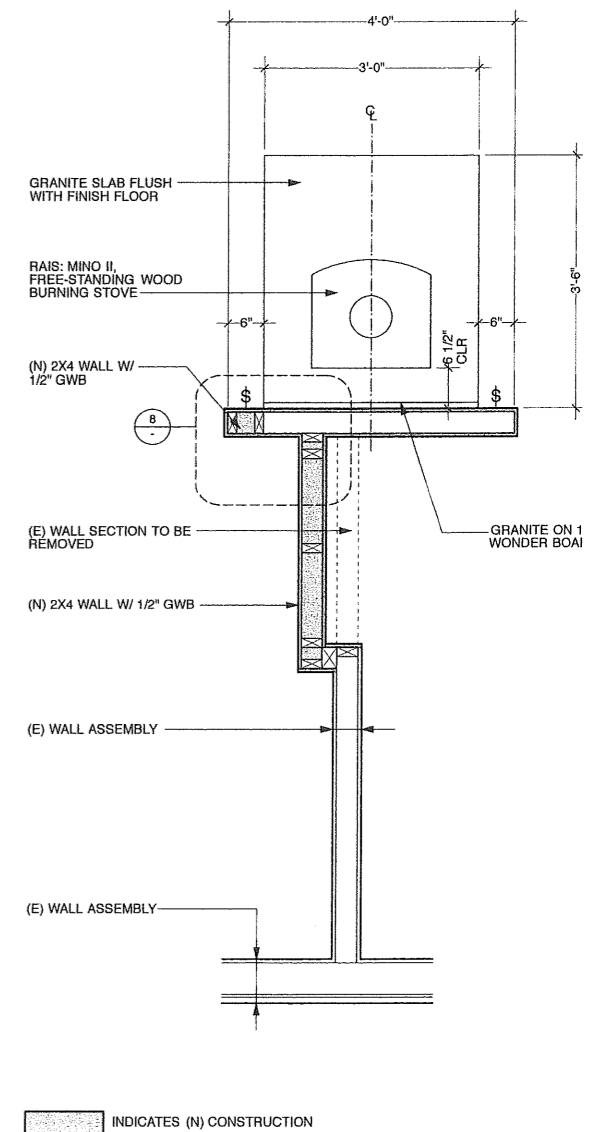
TYPICAL INTERIOR DOOR HEAD (JAMB SIM.) 3
 3" = 1'-0"



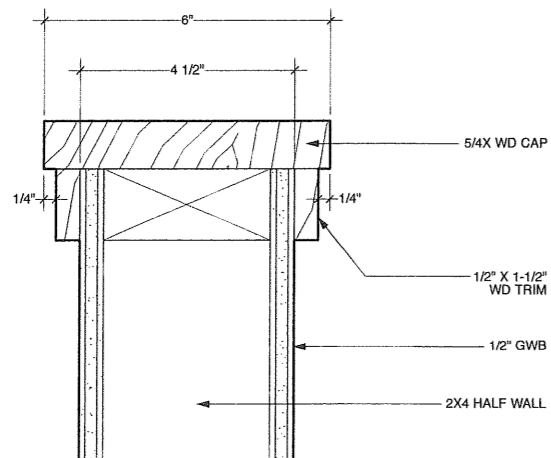
ENLARGED PLAN AT FIREPLACE WALL 8
 1-1/2" = 1'-0"



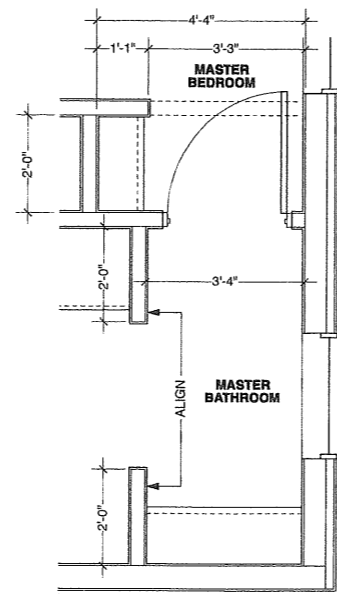
WINDOW SILL DETAIL 5
 6" = 1'-0"



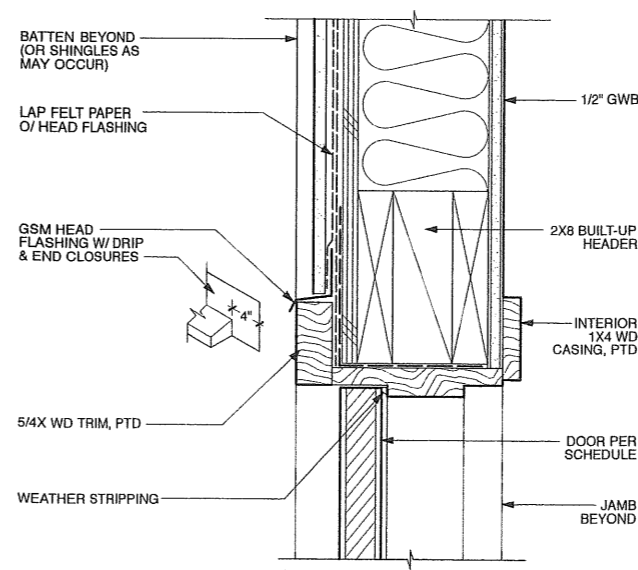
REFRIGERATOR OFFSET & WOOD STOVE PLAN 1
 3/4" = 1'-0"



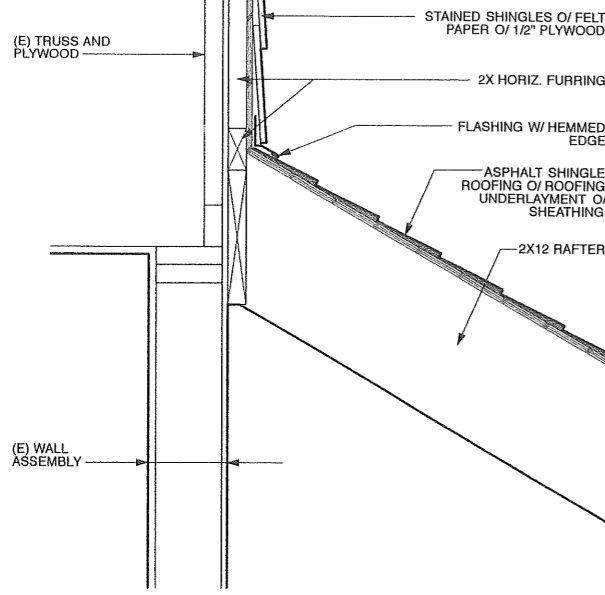
CAP DETAIL AT INTERIOR HALF WALL 10
 6" = 1'-0"



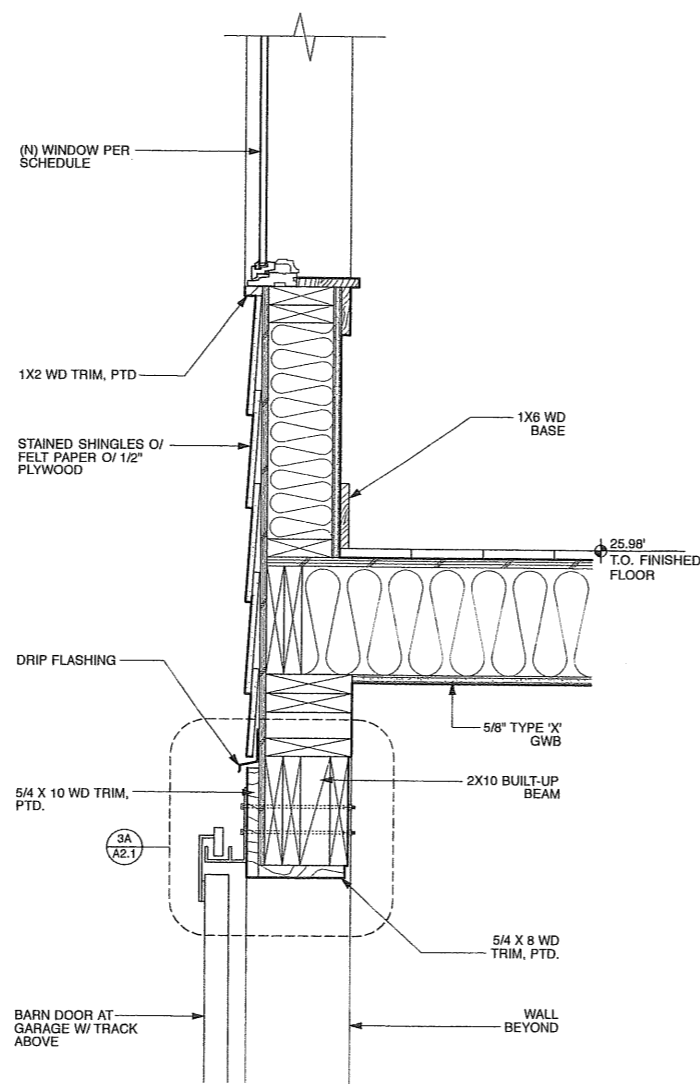
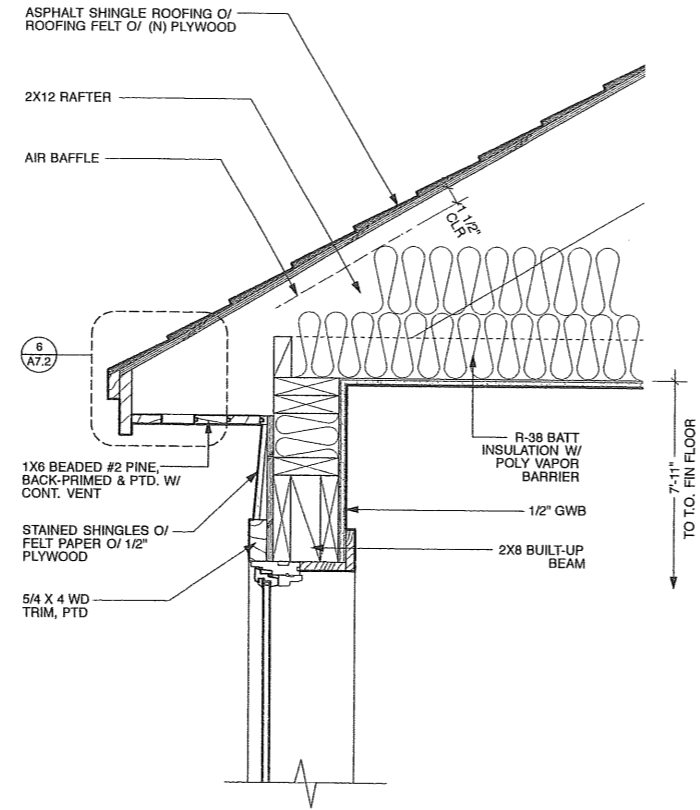
ENLARGED BATHROOM ENTRY PLAN 7
 1/2" = 1'-0"



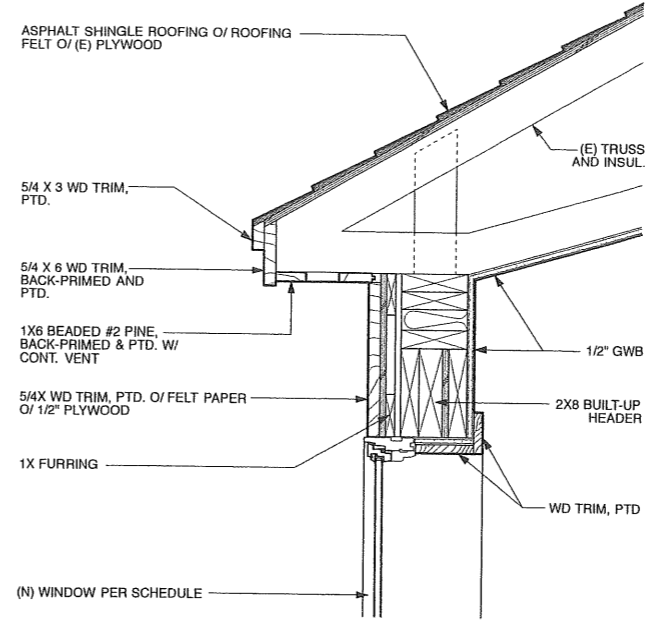
EXTERIOR DOOR HEAD (JAMB SIM.) 4
 3" = 1'-0"



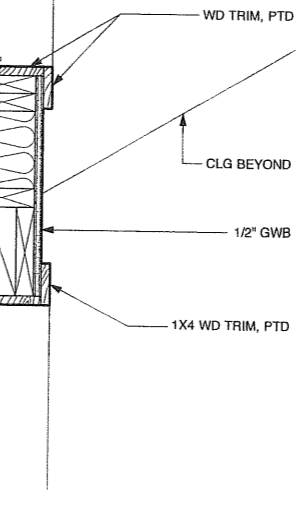
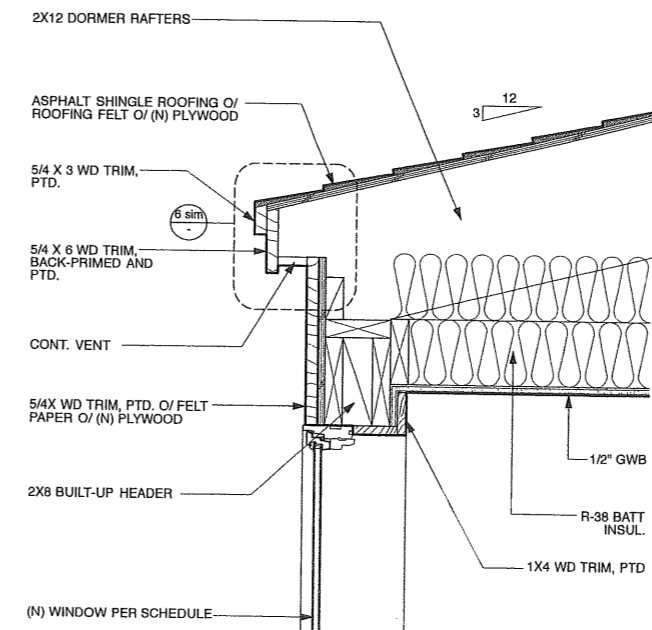
HEADWALL, TYP. 12
1-1/2" = 1'-0"



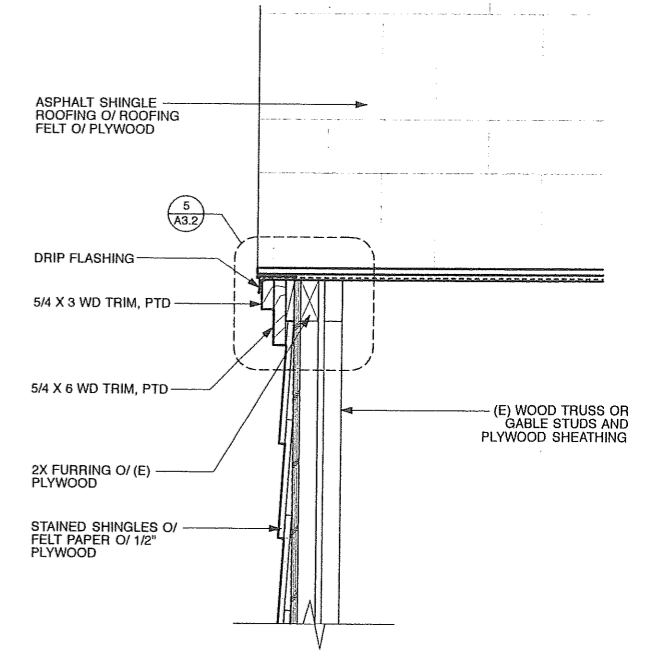
WALL SECTION AT BATHROOM 7
1-1/2" = 1'-0"



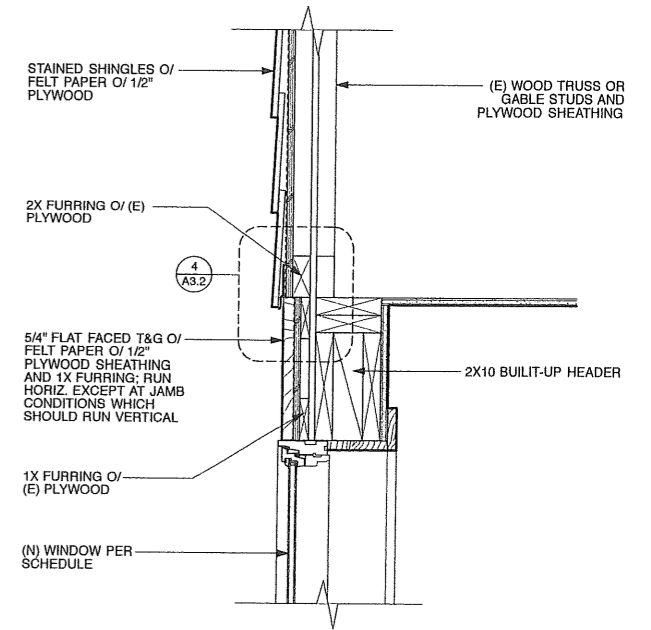
MODIFIED EAVE AT EXISTING TRUSS 6
1-1/2" = 1'-0"



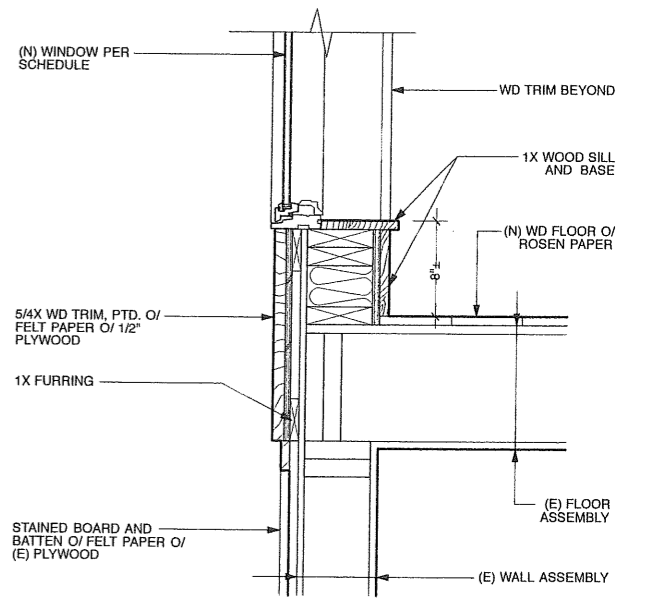
DETAIL @ DORMER 4
1-1/2" = 1'-0"



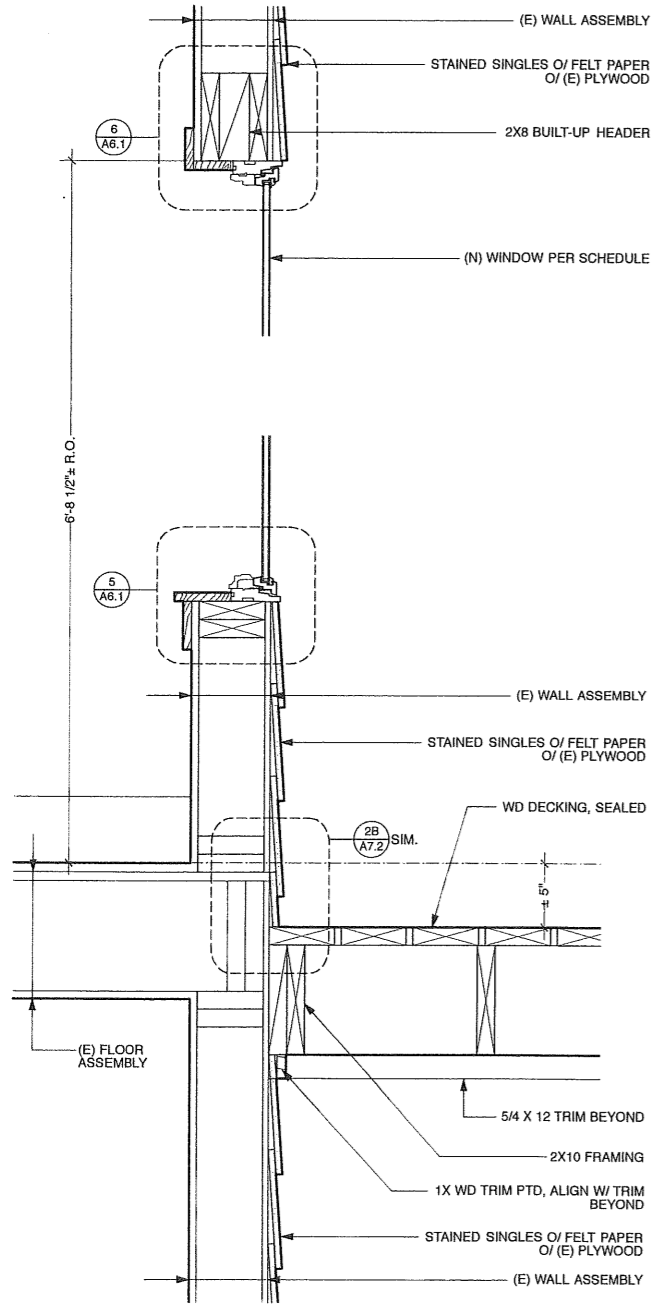
DETAIL @ RAKE 3
1-1/2" = 1'-0"



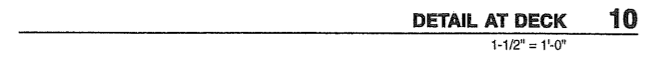
DETAIL @ WINDOW TRIM AND SHINGLES 2
1-1/2" = 1'-0"



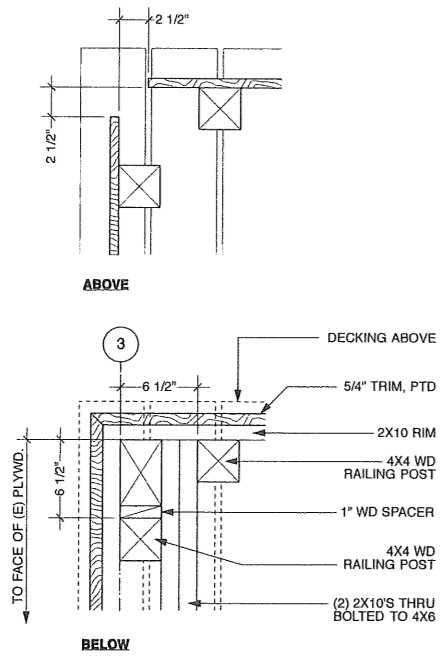
DETAIL @ BOARD & BATTEN AND WINDOW TRIM 1
1-1/2" = 1'-0"



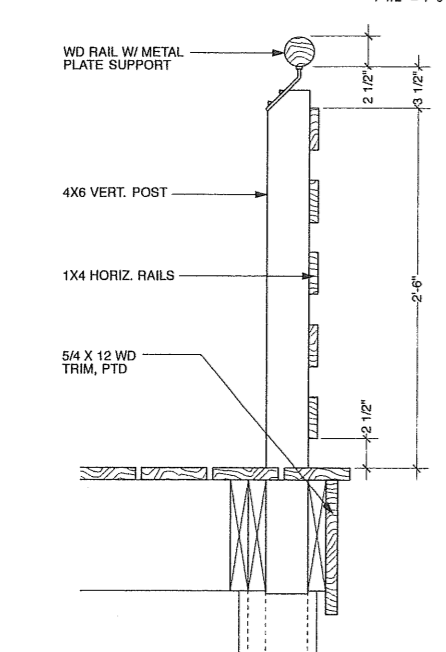
DETAIL AT DECK 10
1-1/2" = 1'-0"



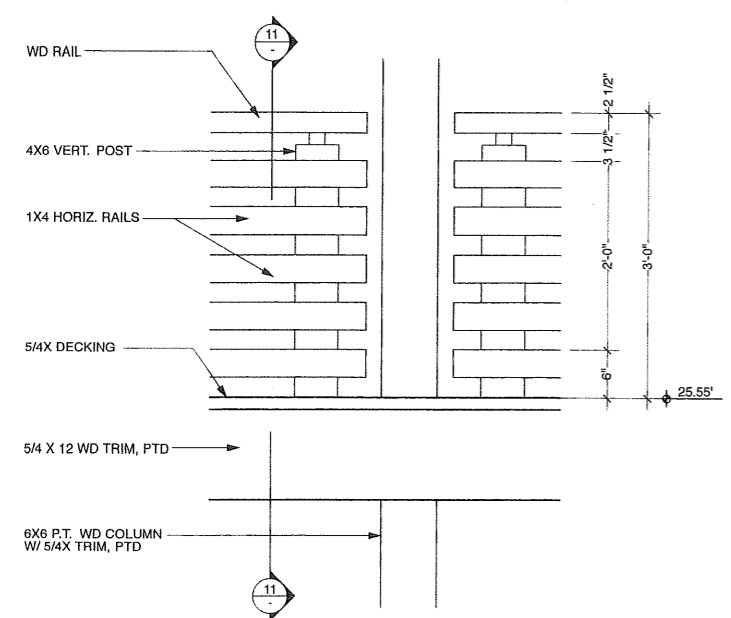
DETAIL AT DECK 10
1-1/2" = 1'-0"



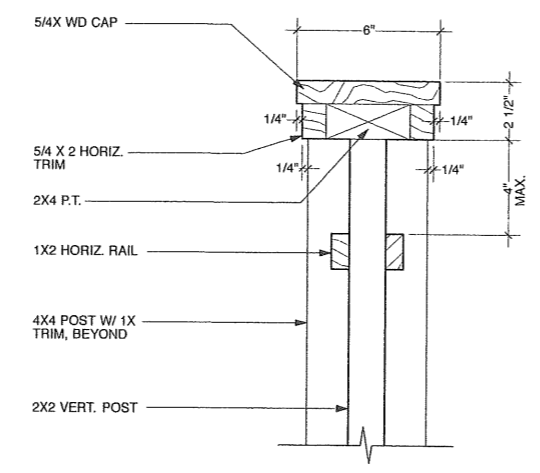
DECK: PLAN DETAILS AT RAILING 12
1-1/2" = 1'-0"



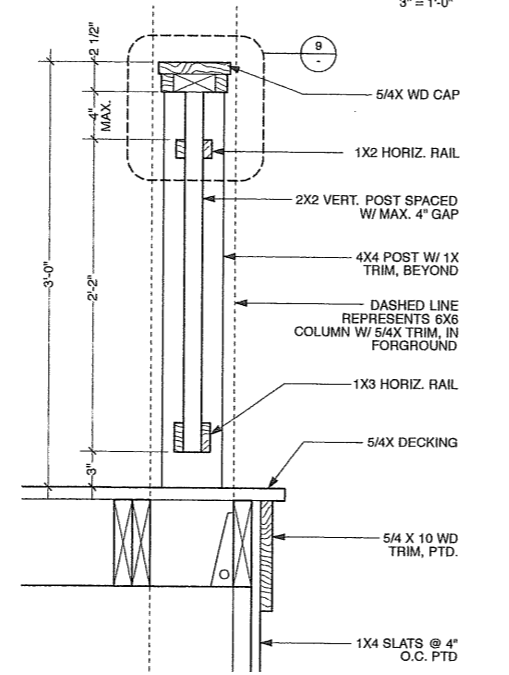
DECK: SECTION AT RAILING 11
1-1/2" = 1'-0"



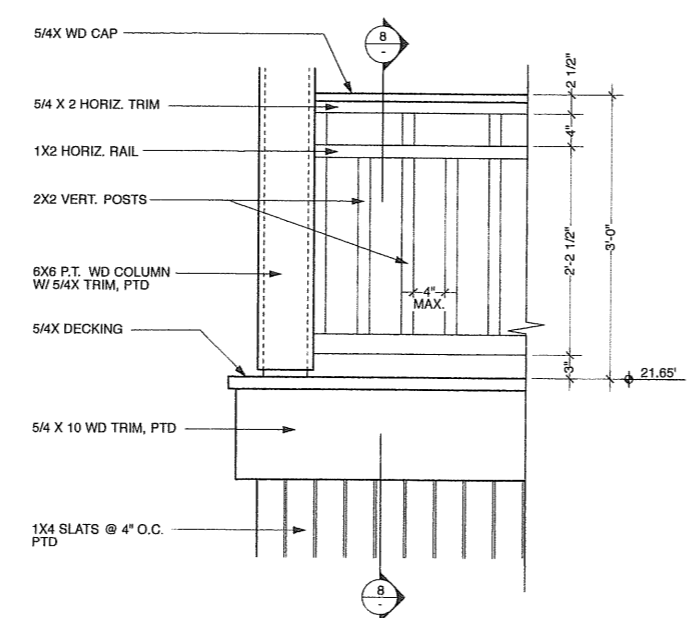
DECK: RAILING ELEVATION 10
1" = 1'-0"



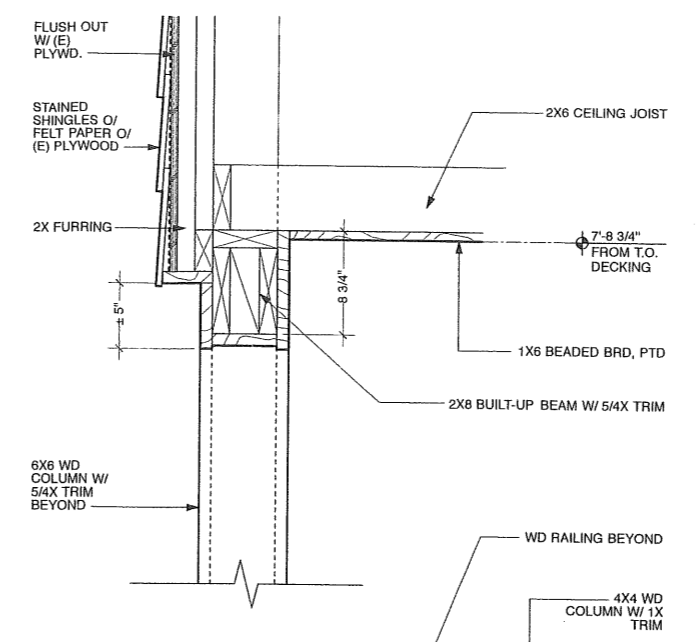
ENTRY PORCH: RAILING DETAIL 9
3" = 1'-0"



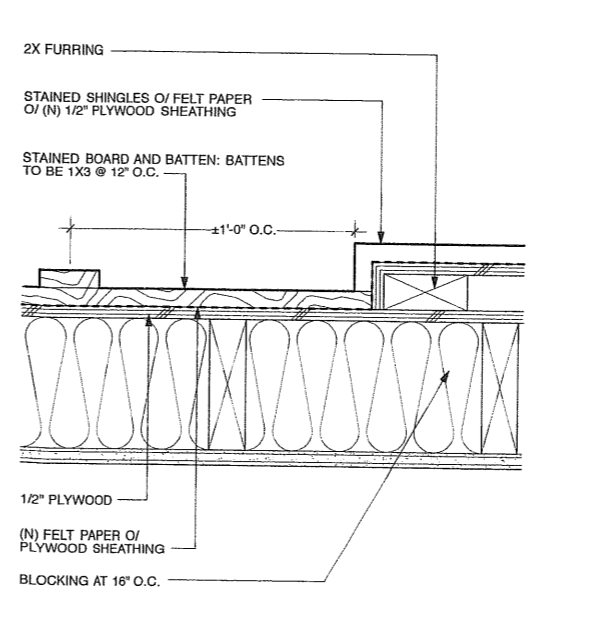
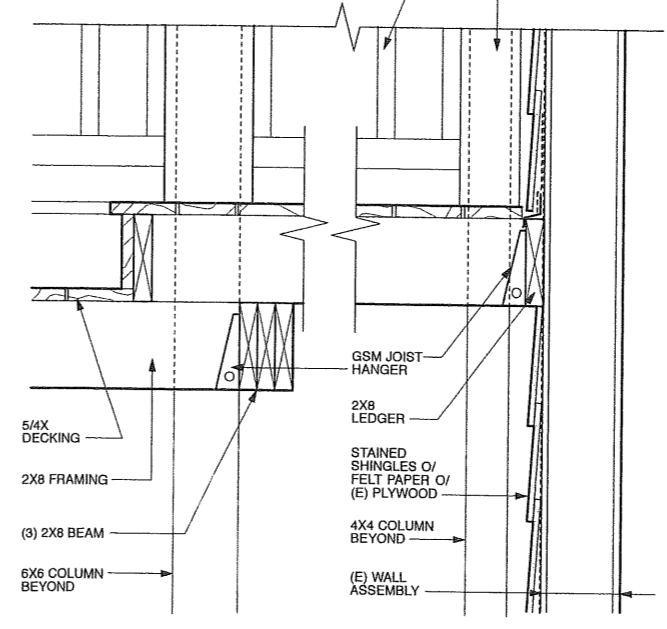
ENTRY PORCH: SECTION AT RAILING 8
1-1/2" = 1'-0"



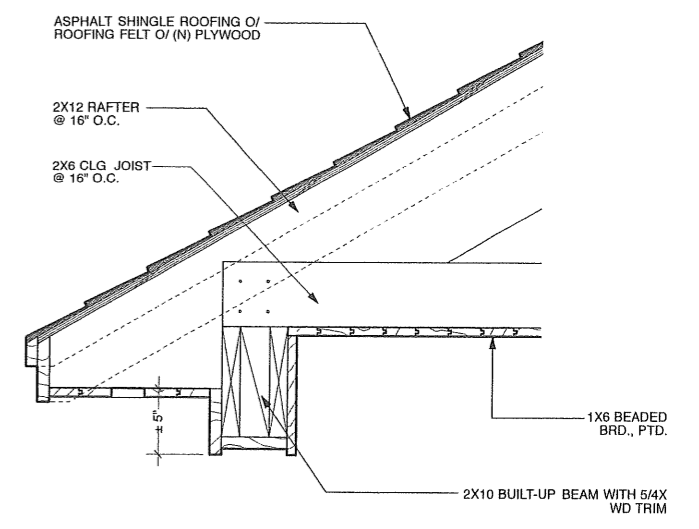
ENTRY PORCH: RAILING ELEVATION 7
1" = 1'-0"



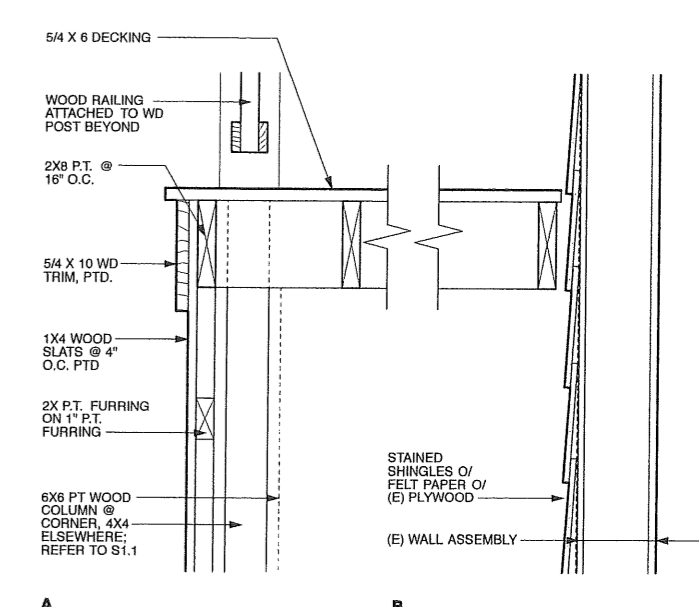
ENTRY PORCH / STAIR DETAIL 5
1-1/2" = 1'-0"



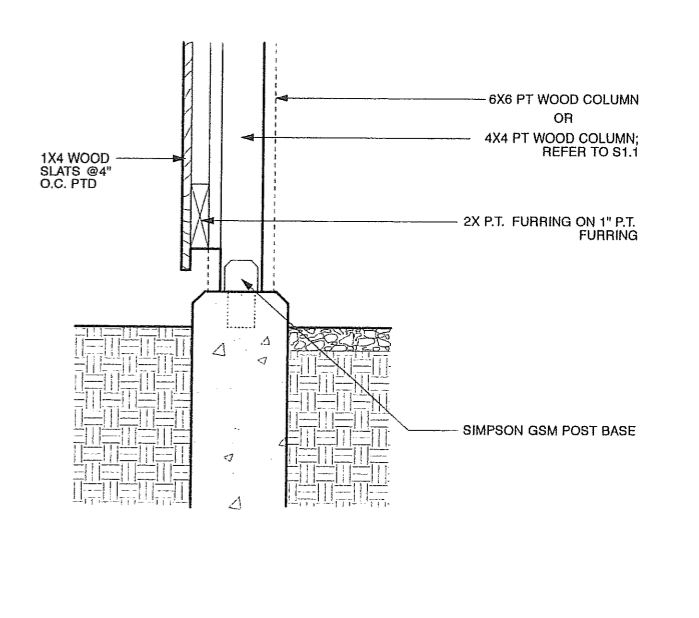
PLAN DETAIL: SHINGLES TO BOARD AND BATTEN 4
3" = 1'-0"



EAVE @ ENTRY PORCH 3
1-1/2" = 1'-0"



ENTRY PORCH DETAIL 2
1-1/2" = 1'-0"



ENTRY PORCH POST BASE DETAIL 1
1-1/2" = 1'-0"

INTERIOR MATERIAL SPECIFICATIONS

WOOD FLOORING #1: RED PINE OR SPRUCE; 3/4" PLANK FLOORING.

WOOD FLOORING #2: BAMBOO FLOORING; NATURAL CORK / HORIZONTAL NATURAL; LONG BOARD #604 HN (75 1/2 X 3 3/4 X 5/8"), AVAILABLE THROUGH ATLANTIC HARDWOOD. CHECK WITH OWNER. SOME MATERIAL MAY BE ON SITE.

WOOD BASE: 1X4 #2 PINE, PTD. - LOWER LEVEL
1X6 #2 PINE, PTD. - UPPER LEVEL

WALLS: 1/2" GYPSUM WALL BOARD, USE MOISTURE RESISTANT AT BATHROOM WALLS. AT COMMON WALL & CEILING IN STORAGE, USE 5/8" TYPE 'X' GWB TAPED, MUD & SAND.

STONE HEARTH: TBD

WALL TILE: TBD

ACCENT TILE: TBD

INTERIOR PAINT: KELLY-MOORE OR APPROVED EQUAL. EGGSHELL ON ALL WALL GWB AND FLAT ON CEILING GWB AND SEMI-GLOSS ON WOOD TRIM CALLED OUT TO BE PAINTED.

INTERIOR STAIN: TBD

WOOD BURNING STOVE: RAIS; MINO II

INTERIOR MATERIAL SPECIFICATIONS (CONTINUED)

CLOSET SHELVES/POLES: PINE SHELVES W/ HARDWOOD RODS TO RECEIVE CLEAR STAIN.

PUMBING: FIXTURES (TBD)

SHOWER FITTINGS: TBD

LAVATORY FITTINGS: TBD

TOILET: TBD

LAVATORY: TBD

ROOM #	TYP. ROOM NAME	FLOOR	WALLS		BASE		CEILING		SHEET NOTES
			MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	
101	UTILITY	WD-2	GWB/P	PTD	WD	PTD	GWB/P	PTD	2
104	STORAGE	CR	ES	N/A	N/A	N/A	GWB	N/A	1
201	FOYER/STAIRWAY	WD-1	GWB/P	PTD	WD	PTD	GWB/P	M&T	2
202	STUDY	WD-1	GWB/P	PTD	WD	PTD	GWB/P	PTD	2
205	MASTER BATHROOM	WD-1	ST/GWB	SS/PTD	WD	PTD	GWB	PTD	
206	MASTER BEDROOM	WD-1	GWB	PTD	WD	PTD	GWB	PTD	
207	GREAT ROOM	WD-1	GWB/P	PTD	WD	PTD	GWB/P	PTD	2

ABBREVIATIONS

CR CRUSHED ROCK
CONC. CONCRETE, SEALED
E EXISTING
ES EXPOSED STRUCTURE
GWB GYPSUM WALL BOARD
GWB/P PATCH (E) GYPSUM BOARD
M&T MUD AND TAPE
N/A NONE OR NOT APPLICABLE
PTD PAINT
SG WD STAINED GRADE WOOD
SS STONE SEALER
ST STONE TILE
STN STAINED
TL TILE
WD WOOD

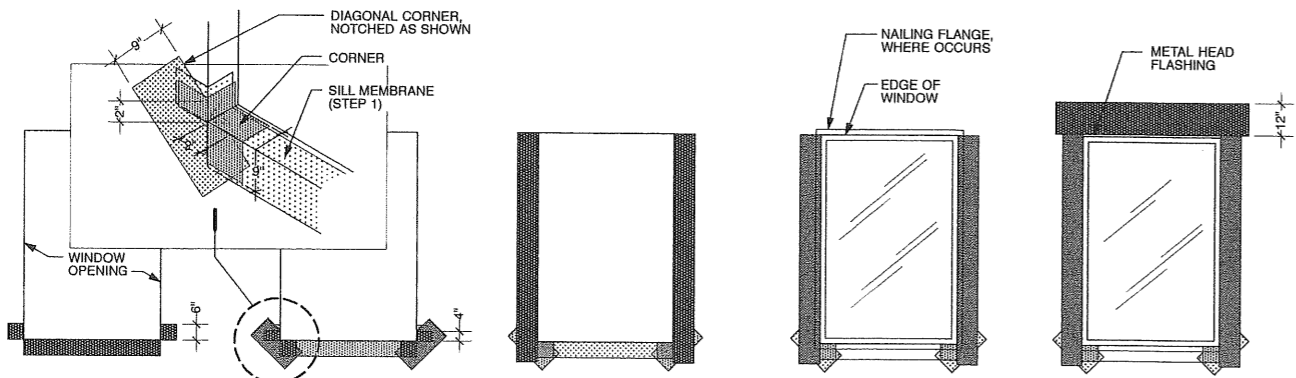
SHEET NOTES

- EXISTING WALL SHALL RECEIVE 5/8" TYPE 'X' GWB O/ PLYWOOD O/ MUD AND TAPE.
- PATCH GWB TO MATCH EXISTING THICKNESS AND FEATHER OUT WITH EXISTING FOR SMOOTH FLUSH.

GENERAL NOTES:

- USE MR GWB IN MASTER BATH AND OTHER WET AREAS.
- USE CEMENT BACKER BOARD AT ALL WALL TILE CONDITIONS.

FINISH SCHEDULE AND SPECIFICATIONS 8



STEP 1: MEMBRANE AT SILL
INSTALL MEMBRANE SILL FLASHING, TURNED UP AT JAMB AS SHOWN. NOTE THAT HOUSEWRAP IS TO BE INSTALLED UNDER SILL MEMBRANE.

STEP 2: CORNER REINFORCEMENT
INSTALL DIAGONAL CORNER MEMBRANE FLASHING; REINFORCE WITH CORNER PIECES AS SHOWN

STEP 3: JAMB FLASHING
INSTALL MEMBRANE AT JAMBS, TURNING INTO OPENING. LAP MEMBRANE OVER SILL PIECES.

STEP 4: INSTALL WINDOW
NAIL FIN WINDOWS ARE TO BE SET IN A CONTINUOUS BEAD OF SEALANT AT THE JAMBS AND HEAD

STEP 5: JAMB & HEAD FLASHING
INSTALL MEMBRANE FLASHING STRIPS AT JAMB (LAP OVER FLANGE AT NAIL FIN WINDOWS); INSTALL METAL HEAD FLASHING, THEN LAP 1/2" MEMBRANE FLASHING OVER METAL PIECE AT HEAD. HOUSEWRAP TO BE SECURED OVER JAMB & HEAD MEMBRANE FLASHING.

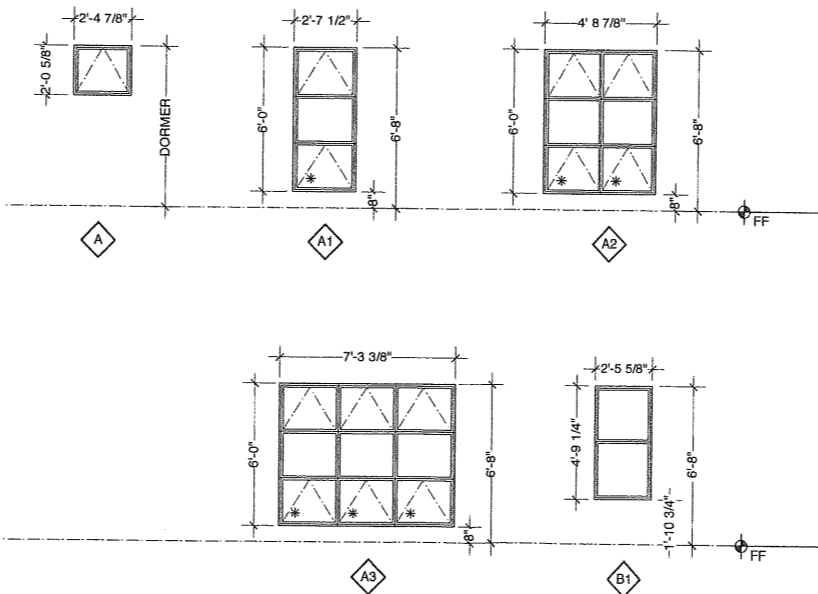
WINDOW SCHEDULE & TYPICAL FLASHING DETAILS 4

GENERAL NOTES - WINDOWS

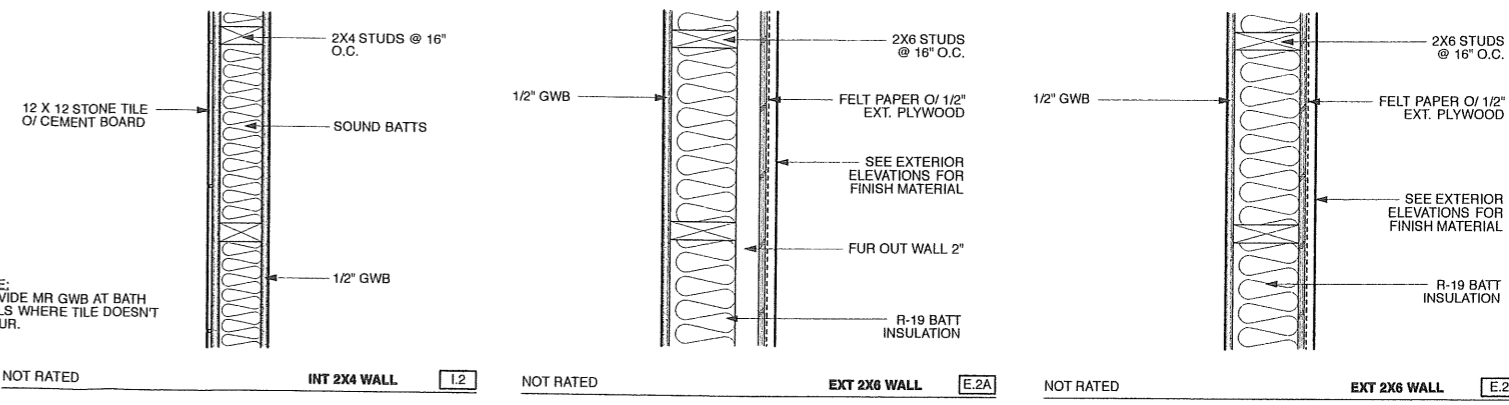
- DIMENSIONS NOTED ARE FRAME SIZES; CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS.
- ALL WINDOWS ARE EXTERIOR CLAD, NATURAL WOOD INTERIOR ANDERSON UNITS AS FOLLOWS:

A - 400 SERIES; A251
A1 - 400 SERIES; (1) AXW281-12
A2 - 400 SERIES; (2) AXW281-12
A3 - 400 SERIES; (3) AXW281-12
B1 - 200 SERIES; 2446

* INDICATES THAT SAFETY GLAZING IS REQUIRED FOR THESE PANELS.



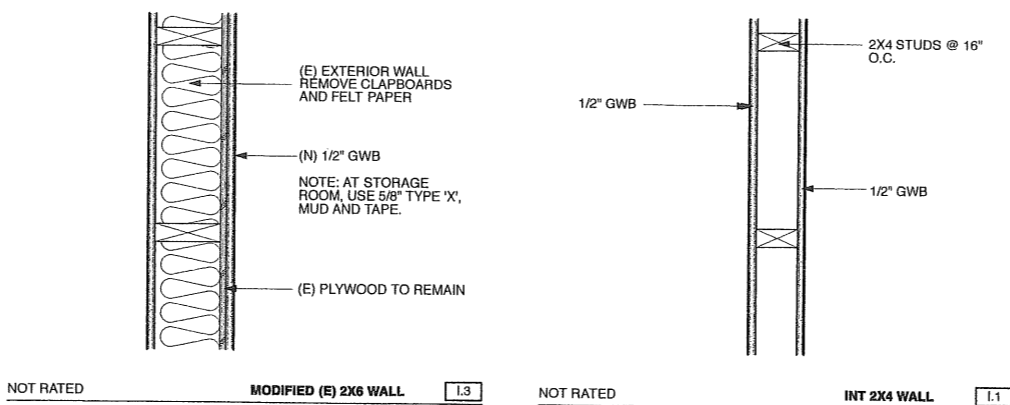
1/4" = 1'-0"



NOT RATED INT 2X4 WALL E.1.2

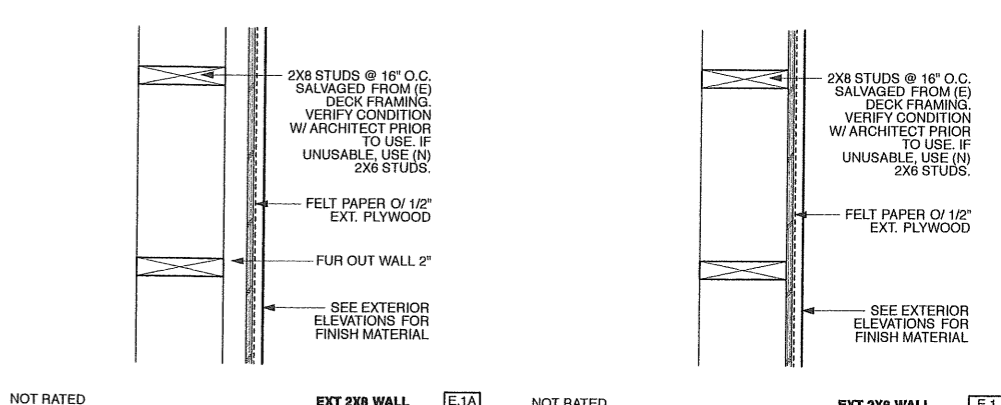
NOT RATED EXT 2X6 WALL E.2A

NOT RATED EXT 2X6 WALL E.2



NOT RATED MODIFIED (E) 2X6 WALL E.1.3

NOT RATED INT 2X4 WALL E.1.1

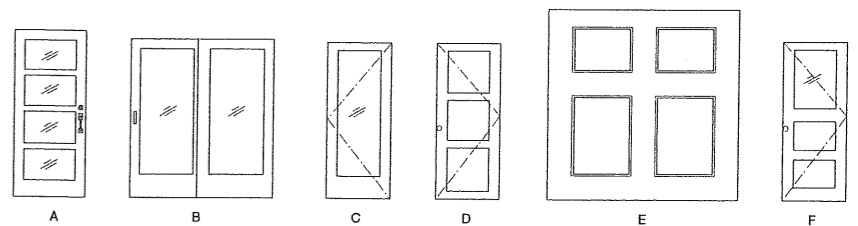


NOT RATED EXT 2X8 WALL E.1A

NOT RATED EXT 2X6 WALL E.1

WALL TYPES 3

1/2" = 1'-0"



MARK	TYPE	WIDTH	HGT	THICK	CONST	FIN.	FRAME		DETAILS			HWDR	NOTES	
							CONST	FIN.	JAMB	HEAD	THRSHLD.			
FIRST FLOOR														
1.01	E	8'0"	8'0"	1 3/4"	WD.	PTD.	WD.	PTD.	2A/A2.1	3A/A2.1	--	--	1	
1.02	A						(E)						1	3
1.03	A						(E)						1	3
1.04	A						(E)						2	3
1.05	A						(E)						1	3
1.06	D	2'6"	6'8"	1 3/8"	WD.	ST.	WD.	PTD.	3/A6.1	SIM.	--	--	1	4, 6
1.07	F	2'8"	6'8"	1 3/4"	WD./GL.	PTD.	WD.	PTD.	4/A6.1	SIM.	--	--	3	
SECOND FLOOR														
2.01	A	3'0"	7'0"	1 3/4"	WD./GL.	ST.	WD.	PTD.	--	--	--	--	--	5
2.02	D	2'6"	6'8"	1 3/8"	WD.	ST.	WD.	PTD.	3/A6.1	SIM.	--	--	1	4
2.03	C	2'9"	6'8"	1 3/4"	WD./GL.	CL./ST.	WD.	PTD.	4/A6.1	SIM.	--	--	--	7, 9
2.04	D	2'8"	6'8"	1 3/8"	WD.	ST.	WD.	PTD.	3/A6.1	SIM.	--	--	1	4
2.05	DD	4'0"	6'8"	1 3/8"	WD.	ST.	WD.	PTD.	3/A6.1	SIM.	--	--	5	4
2.06	D	2'6"	6'8"	1 3/8"	WD.	ST.	WD.	PTD.	3/A6.1	SIM.	--	--	2	4
2.07	B	6'0"	6'8"	1 3/4"	WD./GL.	CL./ST.	WD./CL.	PTD.	--	--	--	--	4	8, 9

GENERAL NOTES

- DOOR TO BE STAIN ON ALL SIX SIDES, U.O.N.
- ALL DOOR GLAZING TO BE TEMPERED SAFETY GLAZING
- ALL DOORS ARE SIMPSON VERTICAL GRAIN FIR, TO RECEIVE CLEAR FINISH, U.O.N.
- HARDWARE SHALL BE AS FOLLOWS:
GROUP 1
GROUP 2
GROUP 3
GROUP 4
GROUP 5

SHEET NOTES:

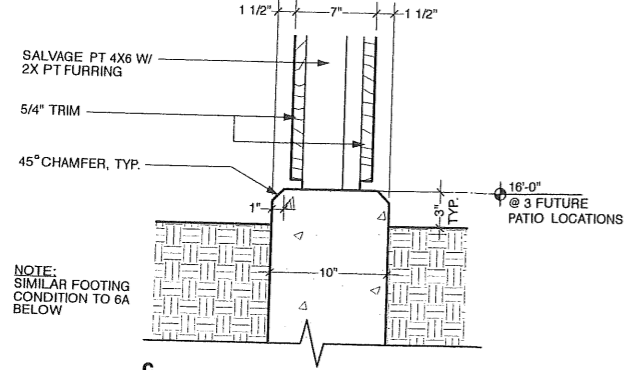
- CUSTOM CONSTRUCTED SLIDING DOOR W/ BARN DOOR HARDWARE
- CONFIRM WIDTH, THICKNESS AND HEIGHT WITH (E) CONDITIONS PRIOR TO ORDERING AND ADJUST SIZING AS NECESSARY
- EXISTING DOOR, N.I.C.
- SIMPSON #730, SHAKER STYLE DOOR
- JELD-WEN 1505AP 4-LITE FRENCH DOOR W/ SIDE LITE; HARDWARE COMES WITH DOOR; SHALL BE ___ FINISH
- CONFIRM WIDTH OF W/D UNIT AND CLEARANCE W/ 2'-6" WIDE DOOR
- ANDERSON: HINGED PATIO DOORS INSWING: ISPD2968AR; EXTERIOR COLOR: WHITE; INTERIOR: PINE
- ANDERSON: NARROWLINE GLIDING PATIO DOOR: NLGD6088L W/ AUXILIARY FOOT LOCK; EXTERIOR COLOR: WHITE; INTERIOR: PINE
- HARDWARE: METRO COLLECTION: ANVERS; FINISH TO BE SATIN NICKEL

DOOR SCHEDULE 1

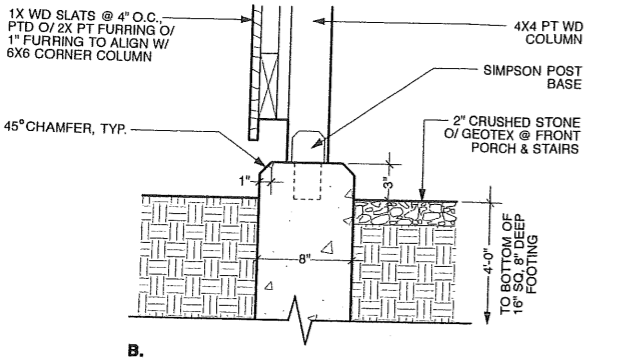
1/4" = 1'-0"

GENERAL NOTES

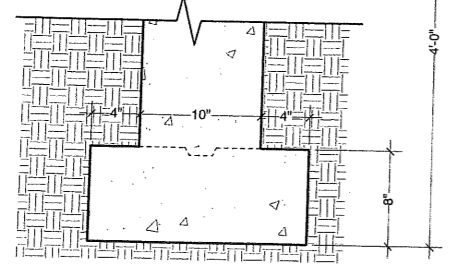
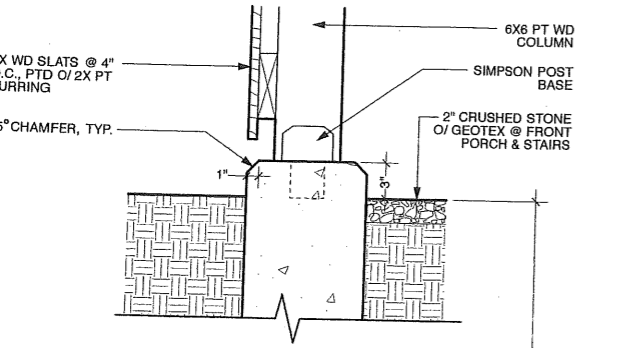
1. ALL INTERIOR FRAMING SHALL BE #2 SPRUCE PINE FIR.
2. ALL EXTERIOR DECK AND STAIR FRAMING SHALL BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE.
3. ALL FRAMING SHALL BE IN ACCORDANCE WITH 2003 INTERNATIONAL RESIDENTIAL CODE.



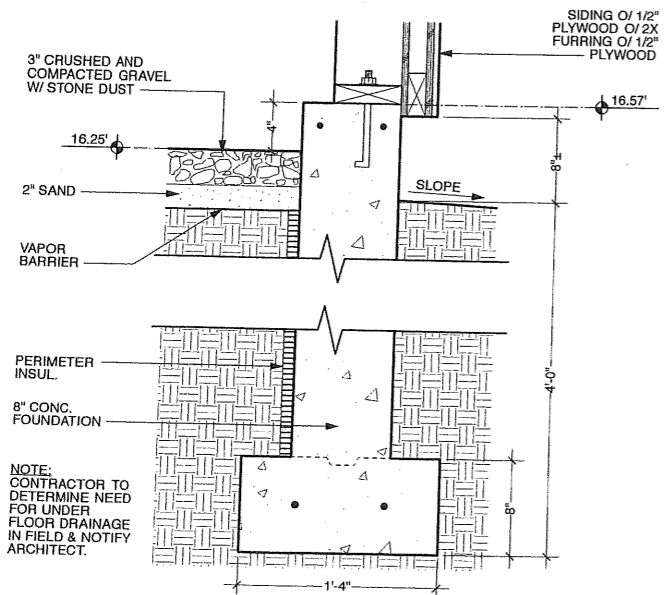
C.



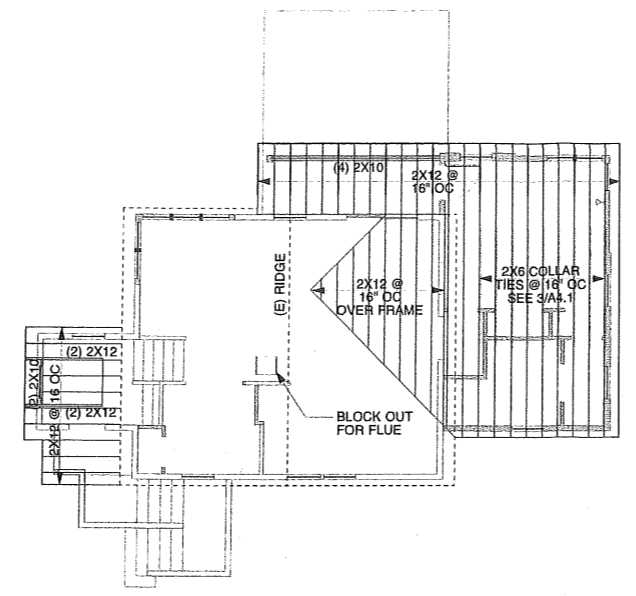
B.



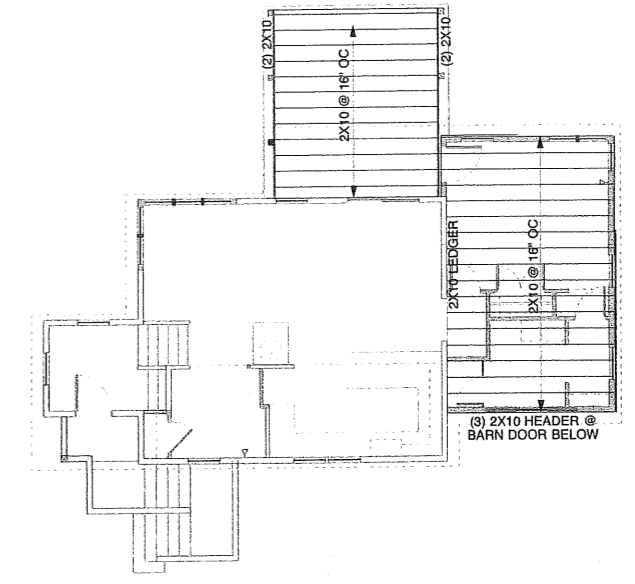
A. TYPICAL COLUMN FOUNDATIONS 6
1-1/2" = 1'-0"



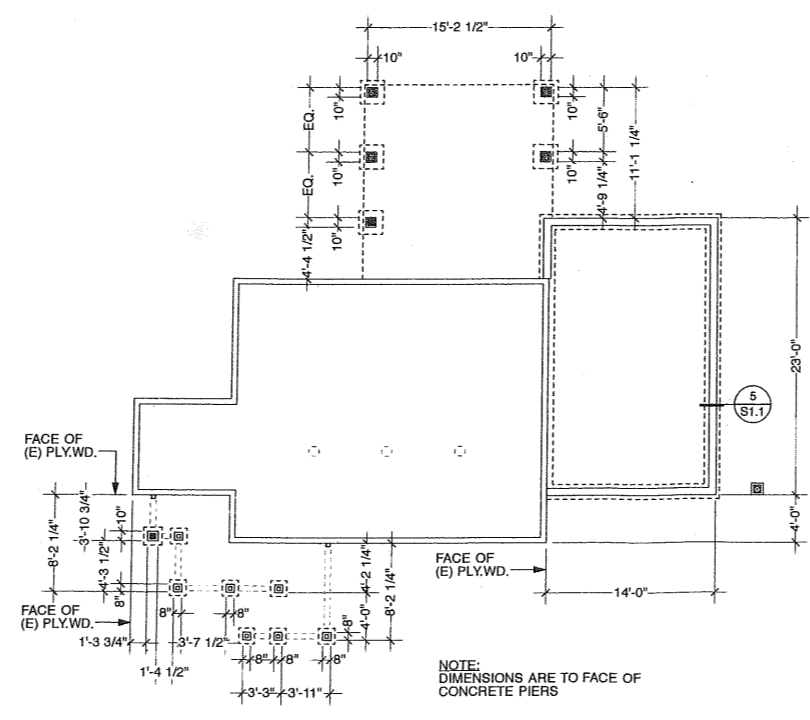
TYP. FOUNDATION SECTION 5
1-1/2" = 1'-0"



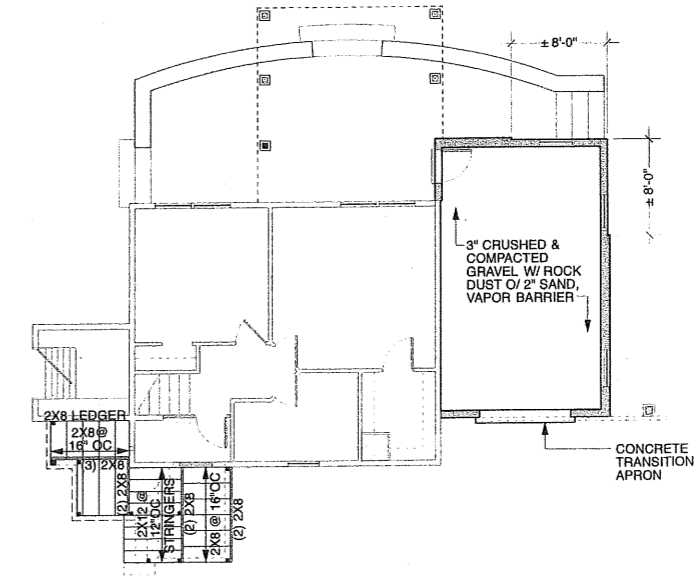
ROOF FRAMING 4
1/8" = 1'-0"



SECOND FLOOR FRAMING 2
1/8" = 1'-0"



FOUNDATION 3
1/8" = 1'-0"



ENTRY PORCH / FIRST FLOOR FRAMING 1
1/8" = 1'-0"

INDEX

- 6X6 PT COLUMN COND. REFER TO 6A/S1.1
- 4X4 PT COLUMN COND. REFER TO 6B/S1.1
- ⊠ (E) 4X6 RE-USED WITH 2X FURRING COND. REFER TO 6C/S1.1