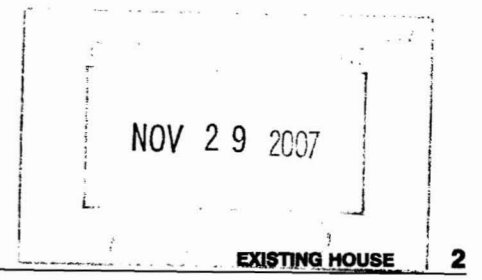
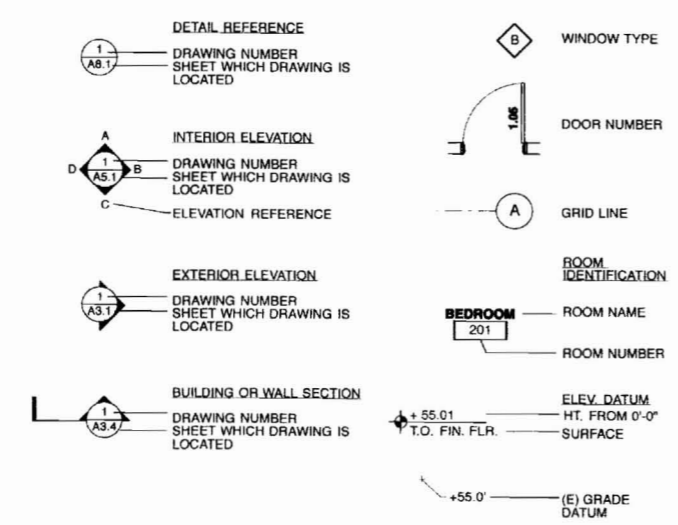


AFF	Above Finished Floor	GCMU	Glazed Conc Masonry Units	RFL	Reflected
AP	Access Panel	GD	Grading	REFR	Refrigerator
ACC	Acoustical	GRN	Granite	REG	Register
ADD	Addendum	GVL	Gravel	RE	Reinforce (d), (ing)
ADH	Adhesive	GT	Grout	REM	Remove
ADJ	Adjacent	GWB	Gypsum Wall Board	RES	Resilient
ADJT	Adjustable	GYP	Gypsum	RET	Return
A/C	Air Conditioning			RA	Return Air
ALT	Alternate	HDW	Hardware	REV	Revision (s), Revised
AL	Aluminum	HMTL	Hollow Metal	R	Riser
AB	Anchor Bolt	HWD	Hardwood	RD	Roof Drain
ANOD	Anodized	HDR	Header	RFH	Roof Hatch
APX	Approximate	HTG	Heating	RFG	Roofing
ARCH	Architect (ural)	HVAC	Heating/Ventilation/Air Conditioning	RM	Room
AD	Area Drain	HT	Height	RO	Rough Opening
		HC	Hollow Core	RB	Rubber Base
		HOR	Horizontal	RBT	Rubber Tile
		HB	Hose Bib	RWL	Rain Water Leader
		HWH	Hot Water Heater		
BSMT	Basement			SAC	Suspended Acoustical Clg.
BVL	Beveled			SASM	Self Adhesive Sht Membrane
BIT	Bituminous	INCL	Include (d), (ing)	SFGL	Safety Glass
BLK	Block	ID	Inside Diameter	SCD	See Civil (Eng) Drawings
BLKG	Blocking	INS	Insulate (d), (ing)	SCHD	Schedule
BD	Board	INT	Interior	SCN	Screen
B.O.	Bottom Of	INV	Invert	SLNT	Sealant
BRK	Brick			SEC	Section
BLDG	Building	JT	Joint	SSK	Service Sink
BUR	Built Up Roofing	JF	Joint Filler	SHTH	Sheathing
		KPL	Kickplate	SHT	Sheet
CAB	Cabinet	KIT	Kitchen	SF	Square Feet
CK	Calk (ing) Caulk (ing)	KO	Knockout	SG	Sheet Glass
CPT	Carpet (ed)			SIM	Similar
CSMT	Casement	LBL	Label	SD	See Landscape Drawings
CST	Cast Stone	LB	Lag Bolt	SC	Solid Core
CLG	Ceiling	LAM	Laminate (d)	SMD	See Mechanical Drawings
CT	Ceiling Height	LAV	Lavatory	SP	Soundproof
ER	Ceramic	LW	Lightweight	SPC	Spacer
CT	Ceramic Tile	LWC	Lightweight Concrete	SPD	See Plumbing Drawings
CLR	Clear (ance)	LMS	Limestone	SPK	Speaker
C.O.L.	Column	LVR	Louver	SPEC	Specification (s)
CONC	Concrete	LPT	Low Point	SQ	Square
CMU	Concrete Masonry Unit			SS	Stainless Steel
CONST	Construction	M	Mirrored	SSD	See Structural Drawings
CONT	Continuous or Continue	MB	Machine Bolt	STD	Standard
CJ	Control Joint	MDF	Medium Density Fiberboard	STA	Station
CG	Corner Guard	MH	Manhole	STN	Stain
		MFR	Manufacture (r)	STOR	Storage
DP	Dampproofing	MAS	Masonry	SD	Storm Drain
DEM	Demolish, Demolition	MO	Masonry Opening	STR	Structural
DTL	Detail	MAX	Maximum	SUS	Suspended
DIAG	Diagonal	MECH	Mechanic (al)	SYM	Symmetry (ical)
DIA	Diameter	MC	Medicine Cabinet	SV	Sheet Vinyl
D	Drain	MET	Metal	STC	Sound Transmission Coefficient
DIM	Dimension	MTRF	Metal Furring		
DIV	Division	MWK	Millwork	TEL	Telephone
DH	Double Hung	MIN	Minimum	TMP	Tempered
DN	Down	MIR	Mirror	TV	Television
DS	Downspout	MISC	Miscellaneous	THK	Thick (ness)
DWG	Drawing	MLD	Molding, Moulding	THR	Threshold
		NR	Noise Reduction	TPD	Toilet Paper Dispenser
EF	Each Face	NOM	Nominal	TR	Trash
ELEC	Electric (al)	NIC	Not In Contract	TOP	Top of Plate
EP	Electrical Panelboard	NTS	Not to Scale	TOS	Top of Slab
EL	Elevation	NO (#)	Number	TST	Top of Steel
ELEV	Elevator			TW	Top of Wall
EMER	Emergency	O/	Over	TB	Towel Bar
EPDM	Ethylene Propylene Diene Monomer	OBS	Obscure	T	Tread
EQ	Equal	OC	On Center (s)	TYP	Typical
EOP	Equipment	OFS	Over Flow Drain		
EST	Estimate	OFS	Overflow Scupper	UNF	Unfinished
EXH	Exhaust	OP	Opaque	UON	Unless Otherwise Noted
EB	Expansion Bolt	OPG	Opening	UR	Urinal
EJ	Expansion Joint	OPP	Opposite		
EXP	Exposed	OD	Outside Diameter	V	Vaulted
(E)	Existing	OA	Overall	VAR	Varies
EXT	Exterior	OH	Overhead	VB	Vapor Barrier
				VNR	Veneer
FC	Fiberglass Clad	PTR	Paper Towel Receptor	VERT	Vertical
FOC	Face Of Concrete	PB	Particle Board	VG	Vertical Grain
FOF	Face Of Finish	PTD	Painted	VIN	Vinyl
FOM	Face Of Masonry	PTN	Partition	VAT	Vinyl Acoustical Tile
FOS	Face Of Studs	PBD	Particle Board	VB	Vinyl Base
FF	Finish Floor	PERF	Perforate (d)	VCT	Vinyl Composite Tile
FIN	Finish (ed)	PERI	Perimeter		
FFE	Finished Floor Elevation	PLAM	Plastic Laminata	W/	With
FA	Fire Alarm	PG	Plate Glass	WSCT	Wainscot
FP	Fireproof	PWTW	Plywood	WTW	Wall To Wall
FR	Fire-resistant	PT	Point	WH	Wall Hung
FRT	Fire-retardant	PVC	Polyvinyl Chloride	WC	Water Closet
FL	Floor	PSF	Pounds Per Square Foot	WP	Waterproofing, Waterproof
FLR	Floor (ing)	PSI	Pounds Per Square Inch	WPM	Water Proof Membrane
FLS	Flashing	PCC	Precast Concrete	WR	Water Repellant
FD	Floor Drain	PFB	Prefabricate (d)	WRB	Weather Resistant Barrier
FLUR	Fluorescent	PFN	Prefinished	WS	Waterslop
FTJ	Flush Joint	PRF	Prefomed	WWF	Welded Wire Fabric
FLUR	Fluorescent	PL	Property Line	WDW	Window
FTG	Footing	PT	Pressure Treated	WG	Wired Glass
FND	Foundation			WM	Wire Mesh
FUR	Furred (ing)			W/O	Without
				WD	Wood
G	Grade			WB	Wood Base
GA	Gage, Gauge			WI	Wrought Iron
GV	Galvanized				
GC	General Contractor				
GL	Glass, Glazing				
GLB	Glass Block				
GSM	Galvanized Sheet Metal				

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS FOR BUILDING AND SITE PRIOR TO PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR SHALL THOROUGHLY REVIEW THE EXISTING HOUSE DRAWINGS.
- CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS, WHEN SHOWN IN THE ARCHITECTURAL PLANS, ARE TO FACE OF STUD, STRUCTURAL WOOD COLUMNS OR CONCRETE UNLESS OTHERWISE NOTED.
- ALL CHANGES IN FLOOR MATERIAL OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL (LAMINATED OR TEMPERED) WHERE REQUIRED AND SHALL MEET LOCAL, STATE AND FEDERAL REQUIREMENTS.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- PRIOR TO BIDDING, THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME ACQUAINTED WITH ALL CONDITIONS RELATING TO THE CONSTRUCTION AND COMPLETION OF THE PROJECT AND THE EMPLOYMENT OF LABOR THEREON. BIDDERS AND THEIR SUBCONTRACTORS SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT CONSENT OF THE ARCHITECT.
- INSTALL ALL WORK PLUMB, LEVEL, SQUARE, TRUE, AND IN PROPER ALIGNMENT.
- CONTRACTOR SHALL PAY SPECIFIC ATTENTION TO THE DIMENSIONS OR IMPLIED PLAN AND SECTIONAL SPATIAL RELATIONSHIPS, AND VERIFY ALL AXES AND IMPLIED SYMMETRIES BEFORE BEGINNING WORK.
- PROVIDE AND COORDINATE LOCATION AND TYPE OF BLOCKING / BACKING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS. REVIEW ALL BLOCKING PRIOR TO COVERING W/ OTHER MATERIAL.
- DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- ANY WASTE AND REFUSE CAUSED BY THE CONTRACTOR SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL REGULATIONS.
- DEFINITIONS USED IN THE DRAWINGS:  
AS REQUIRED: AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICES, OR BY THE CONTRACT DOCUMENTS.  
TYPICAL: IDENTICAL FOR ALL SUCH CONDITIONS, UNLESS OTHERWISE NOTED.  
FURNISH: SUPPLY ONLY, OTHERS TO INSTALL.  
INSTALL: INSTALL ITEMS FURNISHED BY OTHERS  
PROVIDE: FURNISH AND INSTALL  
REMOVE: ELIMINATE AND DISPOSE OF PROPERLY  
SALVAGE: REMOVE FROM EXISTING AND KEEP FOR RE-USE ELSEWHERE AS INDICATED ON DRAWINGS.
- ALL EXISTING SURFACES TO REMAIN SHALL BE PROTECTED TO AVOID DAMAGE. FURNITURE SHALL BE MOVED FROM AREA OF WORK AND ALSO PROTECTED.

GENERAL NOTES 5



PROJECT INFORMATION

**PROJECT ADDRESS:** 12 ONWAY AVENUE, PEAKS ISLAND PORTLAND, MAINE

**PROJECT DESCRIPTION:** ADDITION / RENOVATION TO EXISTING HOUSE

**PROJECT ZONING:** IR-1; ISLAND RESIDENTIAL I

**BUILDING HEIGHT:** 28'-0" MAX., NO HIGHER THAN EXISTING

**TOTAL SITE AREA:** 10,894 S.F./2.25 ACRE

**(E) BUILDING COVERAGE:** 649 S.F.

**(N) CONSTRUCTION COVERAGE:** 325 S.F.

**TOTAL BUILDING COVERAGE:** 974 S.F. (EXCLUDING DECKS)

**TOTAL LOT COVERAGE:** 8.9%

**(E) DECK SQUARE FOOTAGE:** 488 S.F.

**(N) DECK SQUARE FOOTAGE:** 272 S.F. (DECK) 257 S.F. (FUTURE STONE PATIO, ON GRADE)

ARCHITECTURAL DRAWINGS

A1.1 PROJECT INFORMATION  
A1.2 EXISTING SITE SURVEY  
A1.3 SITE PLAN / SCOPE OF WORK

A2.1 FIRST FLOOR PLAN / DETAILS  
A2.2 SECOND FLOOR PLAN / DETAILS

A3.1 ELEVATIONS: NORTH AND EAST/ DETAILS  
A3.2 ELEVATIONS: SOUTH AND WEST/ DETAILS

A4.1 BUILDING SECTIONS  
A4.2 WALL SECTIONS

A5.1 INTERIOR ELEVATIONS

A6.1 INTERIOR & MISC. DETAILS

A7.1 EXTERIOR DETAILS  
A7.2 EXTERIOR DETAILS

A8.1 SCHEDULES AND WALL TYPES

S1.1 STRUCTURAL PLANS AND DETAILS

CONTACT INFORMATION:

**OWNER:** ED, JILL AND LAUREN DETMER  
18 AVON ROAD  
KENSINGTON, CA 94707  
P: 510.526.5734

**CONTRACTOR:** THOMPSON JOHNSON WOODWORKS  
HARVEY JOHNSON  
115 ISLAND AVENUE  
PEAKS ISLAND, MAINE  
P: 207.766.5919

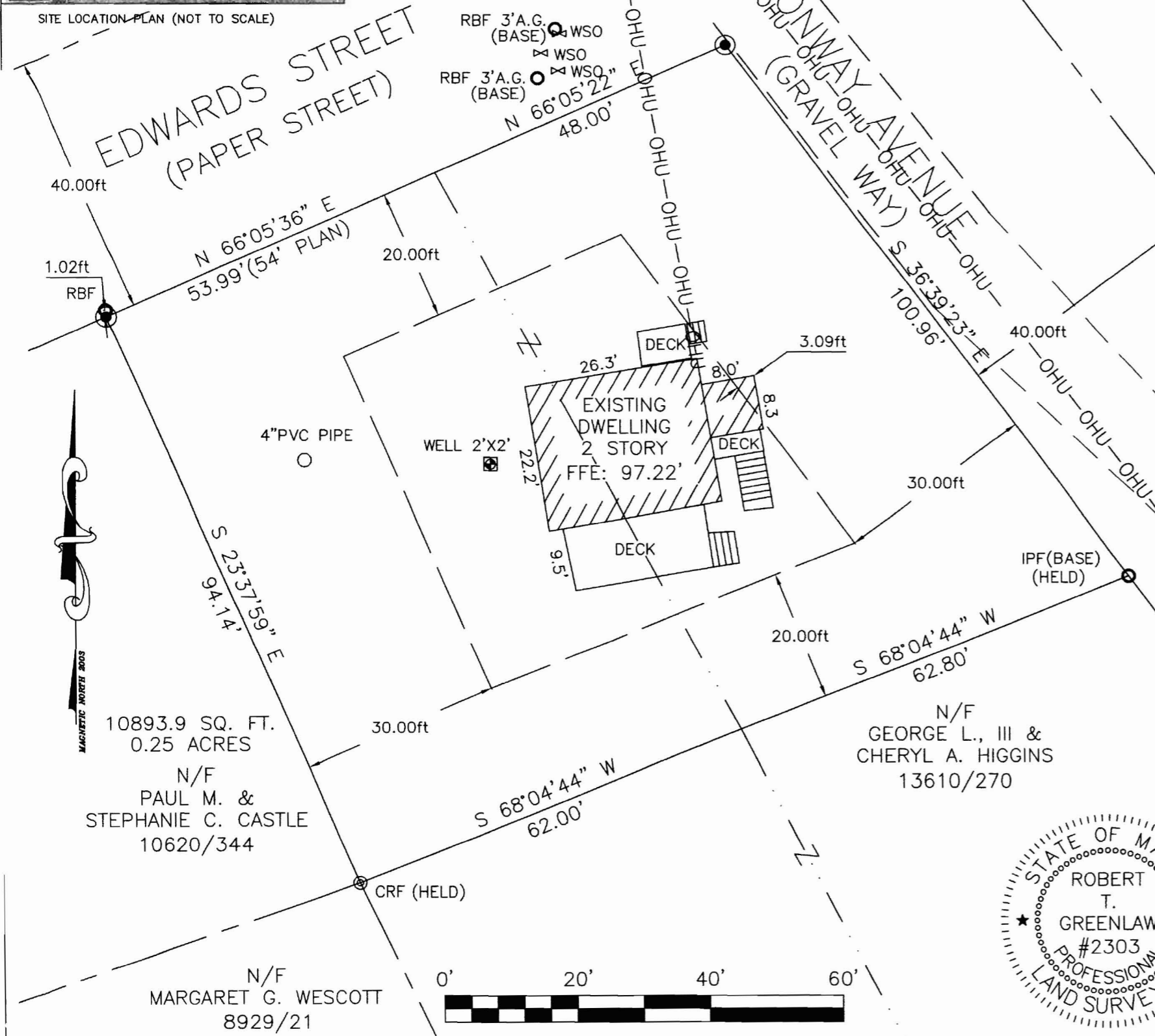
**ARCHITECT:** BDE ARCHITECTURE  
ED DETMER  
465 CALIFORNIA STREET, SUITE 350  
SAN FRANCISCO, CA 94104  
P: 415.677.0966 x308  
F: 415.677.0964

Issue	Date
OWNER/CONTRACTOR INITIAL REVIEW	07/15/07
PRE-PERMIT SET	08/21/07
PERMIT / ESTIMATE SUBMITTAL	09/31/07
RESUBMITTAL CONSTRUCTION SET	11/16/07
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ALL DRAWINGS AND ALL ORIGINAL EXISTING HOUSE CONSTRUCTION EMPLOYED AND UNMODIFIED WITH THE EXCEPTED AND NOT BE CONSIDERED AS A CONTRACT DOCUMENT UNLESS SPECIFICALLY NOTED OTHERWISE.



SITE LOCATION PLAN (NOT TO SCALE)



**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL: EDWARD G. DETMER & JILL J. DETMER, BOOK 23186 PAGE 322 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
  2. BEARINGS ARE BASED UPON MAGNETIC MARIDIAN OF DRAWING REFERENCE 4a ELEVATIONS ARE BASED UPON AN ASSUMED VALUE OF 100.0'
  3. AREA OF SUBJECT PARCEL: 10893.9 SQ. FT. 0.25 ACRES
  4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
    - a.) SITE PLAN AND TOPOGRAPHY, 4 WINDING WAY, PEAKS ISLAND, PORTLAND, MAINE, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 9 PAGE 57. LOT SHOWN AS LOT 274 & 276.
    - b.) PLAN OF HENRY BRACKETT ESTATE IN PEAKS ISLAND, MAINE FOR A PROPOSED ONE STORY DWELLING FOR CHUCK PARKER, BY BACK BAY BOUNDARY, INC., DRAWING NO. 2007012, DATED MARCH 24, 2007, UNRECORDED.
    - c.) CITY OF PORTLAND, MAINE TAX ASSESSORS PLAN 85 BLOCK CC LOTS 4
- ZONE: IR-1 ISLAND RESIDENTIAL I  
 SETBACKS: FRONT - 30 FT  
 REAR - 30 FT  
 SIDE - 20 FT  
 MINIMUM LOT SIZE: 40,000 SF with public water; 60,000 without  
 MINIMUM LOT FRONTAGE: 100 FT  
 MAXIMUM BUILDING HEIGHT: 35 FT  
 MAXIMUM LOT COVERAGE: 20%

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 15B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

- LEGEND**
- ⊙ Capped 5/8" Rebar Found
  - ⊙ Capped 5/8" Rebar Set, PLS #2303
  - Iron Pipe or Solid Pin Found
  - △ Survey Instrument Point
  - - - Abutter Line
  - Property Line
  - - - Street Line
  - (50.00') Distance from reference plan or deed.
  - N/F Now Or Formerly
  - FFE: First Floor Elevation
  - OHU - OHU - Overhead Utility Existing
  - ⊕ Utility Pole
  - - - Edge of traveled way
  - - - Set Back Line

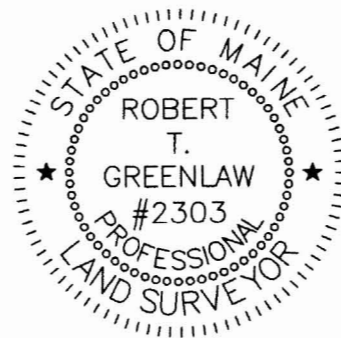
**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

ROBERT T. GREENLAW P.L.S.#2303  
 V. PRESIDENT, BACK BAY BOUNDARY, INC.

REVISED: NOVEMBER 13, 2007  
 DATE: MAY 31, 2007



REVISED 11-13-2007: CORRECTED ISLAND ZONING TO IR-1  
 REVISED 05-31-2007: ADJUSTED AREA AND CHANGED CLIENT NAME  
**MINOR SITE PLAN**  
 12 ONWAY AVENUE, PEAKS ISLAND, PORTLAND, MAINE  
 FOR: EDWARD G. AND JILL J. DETMER

DRAWN BY: DMD/PJM/AIH	DATE OF SURVEY: 04/26/07
CHECKED BY: GAS	JOB NUMBER: 2007031
SCALE: 1"=20'	SHEET: 1 OF 2

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
 PROFESSIONAL LAND SURVEYING  
 643 FOREST AVENUE  
 PORTLAND, MAINE 04101  
 207-774-2855 FAX 207-347-4346

DRAWER: 2007 NO: 031

ISSUE	DATE
OWNER/CONTRACTOR INITIAL REVIEW	07.15.07
PRE-PERMIT SET	08.21.07
PERMIT / ESTIMATE SUBMITTAL	09.31.07
RESUBMITTAL / CONSTRUCTION SET	11.16.07
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**SITE PLAN & SCOPE OF WORK**

Sheet Title: \_\_\_\_\_  
Scale: AS NOTED  
Project No: 0777 Drawn By: BW

**GENERAL NOTES**

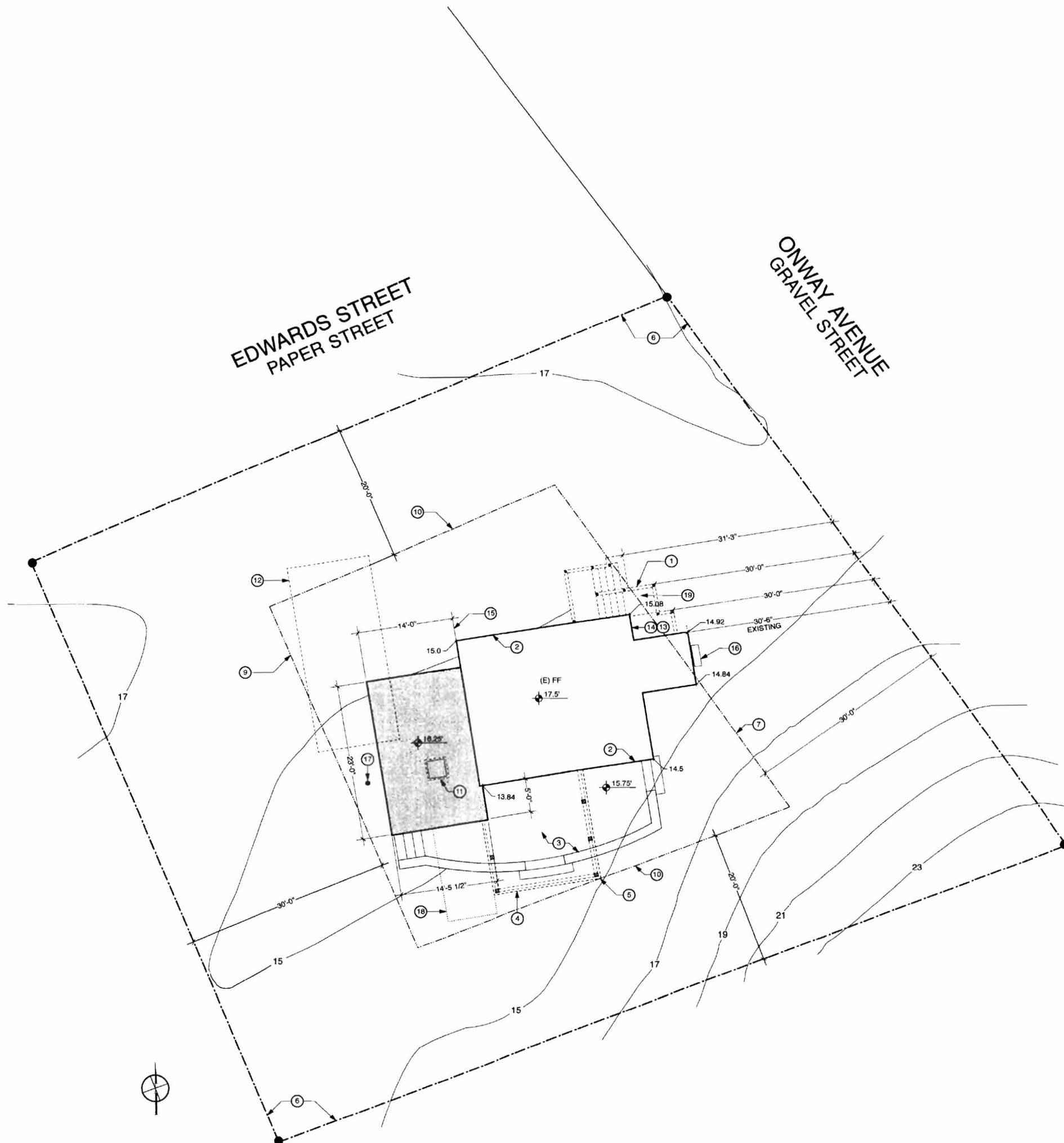
1. FINISH FLOOR ELEVATIONS ARE ESTIMATES, BASED ON FIELD OBSERVATIONS. RELATIONSHIPS NOTED ARE ACCURATE.
2. BUILDING CORNER ELEVATIONS ARE WHERE EXISTING STRUCTURE MEETS GRADE.
3. NO EXISTING TREES TO BE REMOVED, UON.

**SHEET NOTES**

- 1 LINE OF ENTRY PORCH, ABOVE
- 2 LINE OF (E) FOOTPRINT
- 3 FUTURE STONE PATIO AND LOW WALL, NIC
- 4 LINE OF DECK, ABOVE
- 5 HOLD EDGE OF DECK BEHIND SIDE YARD SETBACK. VERIFY DIMENSION IN FIELD.
- 6 PROPERTY LINE, REFER TO (E) SITE SURVEY ON SHEET A1.2, FOR FURTHER INFORMATION
- 7 FRONT YARD SETBACK LINE
- 8 NOT USED
- 9 REAR YARD SETBACK LINE
- 10 SIDE YARD SETBACK LINE
- 11 (E) PUMP TO BE REPLACED AND RELOCATED
- 12 EXTENT OF (E) LEACHFIELD TO BE RE-ENGINEERED AND RELOCATED.
- 13 EXISTING OVERHEAD ELECTRICAL, CABLE AND PHONE SERVICE TO BE RELOCATED. REFER TO 1/A3.1 FOR NEW LOCATION. ELEC SUB TO DETERMINE HOW ELECTRICAL LOAD AND UPGRADE ACCORDINLY, IF REQUIRED.
- 14 EXISTING WATER SUB-METER TO BE RELOCATED, REFER TO 1/A3.1.
- 15 FACE OF (E) EXTERIOR PLYWOOD
- 16 (E) STONE LANDING FOR CRAWL SPACE & ACCESS DOOR
- 17 PROTECT (E) 8" DIA. BIRCH TREE AND GRADE TO PROTECT TREE BASE
- 18 LOCATION OF FUTURE STAIR, N.I.C.
- 19 2" CRUSHED STONE O/ GEOTEX UNDER ENTRY PORCH AND STAIR

**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- INDICATES AREA OF NEW LOT COVERAGE



**A) SITE AND GENERAL ITEMS**

1. RELOCATE (E) OVERHEAD ELECTRICAL, CABLE AND PHONE SERVICE. ALSO RELOCATE WATER SUB-METER. REFER TO FIRST FLOOR PLAN AND ELEVATION 1/A3.1 FOR NEW LOCATION.
2. RELOCATE TANK AND LEACH FIELD PER CITY REQUIREMENTS. SEPTIC SYSTEM TO BE REDESIGNED BY ALBERT FRICK & ASSOC. TO ACCOMMODATE THIRD BEDROOM AND NEW FOOTPRINT.
3. REMOVE (E) DECKING AND FRAMING. SALVAGE JOISTS & POSTS FOR RE-USE.
4. PRIOR TO COMPLETION OF WORK ALL EXTERIOR DOORS SHALL BE KEYS TO OPERATE FROM ONE KEY.
5. INCREASE ELECTRICAL SERVICE AS NECESSARY TO ACCOMMODATE ADDITIONAL ELEC. NEEDS FOR ADDITION & ASSOCIATED BASE BOARD HEATING.
6. DRAIN ANY REMAINING KEROSENE FROM TANK IN BASEMENT AT END OF HEATING SEASON.
7. PROTECT WATER LINES & METER FROM FREEZING DURING COURSE OF CONSTRUCTION.

**B) DEMOLITION**

1. REMOVE (E) DECKING AND FRAMING AS NOTED A/3 ABOVE.
2. REPLACE (E) ELECTRICAL BASEBOARD & RELOCATE THERMOSTATS AS DIRECTED BY OWNER.
3. REMOVE (E) MONITOR HEATING SYSTEM AND ASSOCIATED FUEL SUPPLY LINE. PATCH WALL AS NECESSARY. STORE MONITOR UNIT IN (N) STORAGE SPACE.
4. REMOVE (E) ASPHALT SHINGLE ROOFING, FLASHINGS AND PAPER. PROTECT ROOF AND INTERIOR FINISHES TO REMAIN WHILE UNDER CONSTRUCTION.
5. REMOVE (E) CLAPBOARD SIDING, TRIMS AND PAPER. PROTECT INTERIOR FINISHES TO REMAIN WHILE UNDER CONSTRUCTION.
6. REMOVE ALL (E) DECK PIER FOUNDATIONS TO MIN. 6" BELOW FUTURE FINISH GRADE.
7. REMOVE (E) DOORS AND WINDOWS NOT TO BE REUSED.
8. REMOVE OR CAP IN WALL ALL DISCONNECTED ELECTRICAL AND PLUMBING NOT TO BE REUSED.

**C) NEW CONSTRUCTION**

1. AS DEFINED IN RESUBMITTAL / CONSTRUCTION SET DATED 11.16.07.
2. GENERAL CONTRACTOR SHALL ALSO RETAIN ELECTRICAL SUB AND MODIFY & ADD TO (E) ELECTRICAL BASE BOARD HEATING SYSTEM.

Issue	Date
OWNER/CONTRACTOR INITIAL REVIEW	07.15.07
PRE-PERMIT SET	08.21.07
PERMIT / ESTIMATE SUBMITTAL	09.31.07
RESUBMITTAL/ CONSTRUCTION SET	11.16.07
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**FIRST FLOOR PLAN**

- ALL INTERIOR DOORS TO REMAIN SHALL RECEIVE NEW HARDWARE, REFER TO DOOR SCHEDULE 1/A8.1.
- ELEVATIONS ARE TO EXISTING AND NEW CONSTRUCTION.
- NOT ALL SHEET NOTES ARE USED ON EVERY SHEET.
- STAIR FROM DECK IS FUTURE AND NIC.
- ALL (N) INTERIOR WALLS TO BE WALL TYPE L1, U.O.N.

**SHEET NOTES**

- FUTURE STONE PATIO & LOW WALL, NIC.
- LINE OF DECK ABOVE.
- ADJUST CONC. BASE HEIGHT TO ACCOMMODATE FUTURE PATIO ELEVATION. CONC. SHOULD BE AT 16.0' ±.
- ROLLING BARN DOOR REFER TO DOOR SCHEDULE.
- INFILL WALL.
- LOCATION OF RELOCATED ELECTRICAL PANEL BEHIND DOOR 1.06 IS ALSO OPTION, IF EASIER.
- REMOVE (E) WINDOW AND PATCH WALL AND FINISHES.
- CONCRETE TRANSITION APRON. SLOPE TO GRADE.
- 6X6 P.T. COLUMN WITH 5/4X TRIM. REFER TO 3/A2.1. SUPPORT FOR BARN DOOR TRACK.
- (E) STAIRS TO RECEIVE NEW WOOD RISERS AND TREADS, REFER TO 7/A8.1.
- RE-USE (E) 4X6 PT COLUMNS W/ 2X FURRING AND 5/4" WOOD TRIM.
- 6X6 PT COLUMN. FULL HEIGHT TO ROOF ABOVE. NOTCH INSIDE FACE 1/2" TO RECEIVE (2) 2X10 HEADER AT DECK & ALIGN W/ OTHER COLUMN ALONG LINE 3.
- FACE OF 4X6 PT COLUMN WHICH, ON GRID-LINE 4, ALIGNS WITH FACE OF (N) 1/2" PLYWD. SEE 4/A2.1 AND 4/A2.2.
- FACE OF (E) PLYWOOD / REMOVE (E) CLAPBOARDS AND BLDG PAPER AND INSTALL 5/8" TYPE 'X' GWB, MUD, TAPE, & SAND OR (N) FELT & SIDING.
- VERIFY IN FIELD NEED FOR STEP AND NOTIFY ARCHITECT OF REQUIRED ADJUSTMENTS, NIC.
- REFER TO 2/A3.1 FOR (N) CRAWL SPACE DOOR.
- 1X4 SLATS AT 4" O.C., PTD ON 2X4 P.T. FRAMING.
- 6X6 P.T. COLUMN WITH PTD 5/4X TRIM, WHERE EXPOSED.
- 4X4 P.T. COLUMN.
- NEW RAILING, TBD.
- DRYER EXHAUST.
- NEW STACKED WASHER/DRYER PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- ATTIC ACCESS PANEL ABOVE.
- 2" CRUSHED STONE O/ GEOTEX.
- FUTURE STAIR LOCATION, N.I.C.
- RECESSED MEDICINE CABINET.

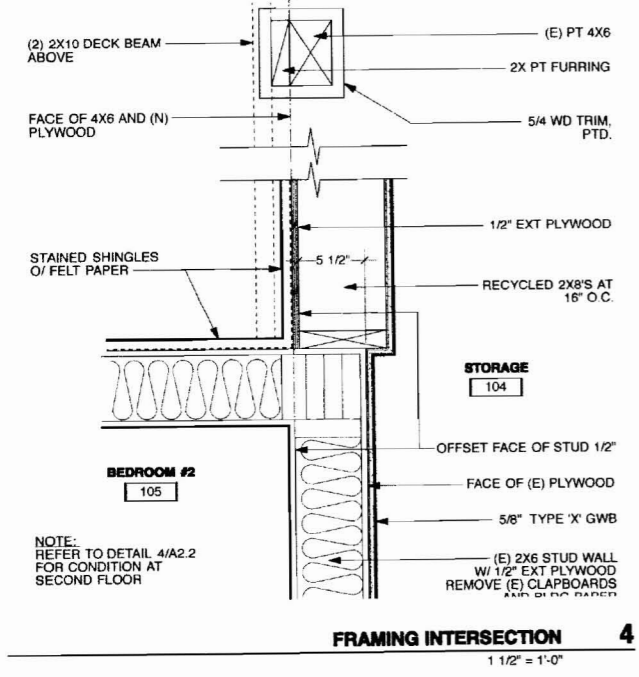
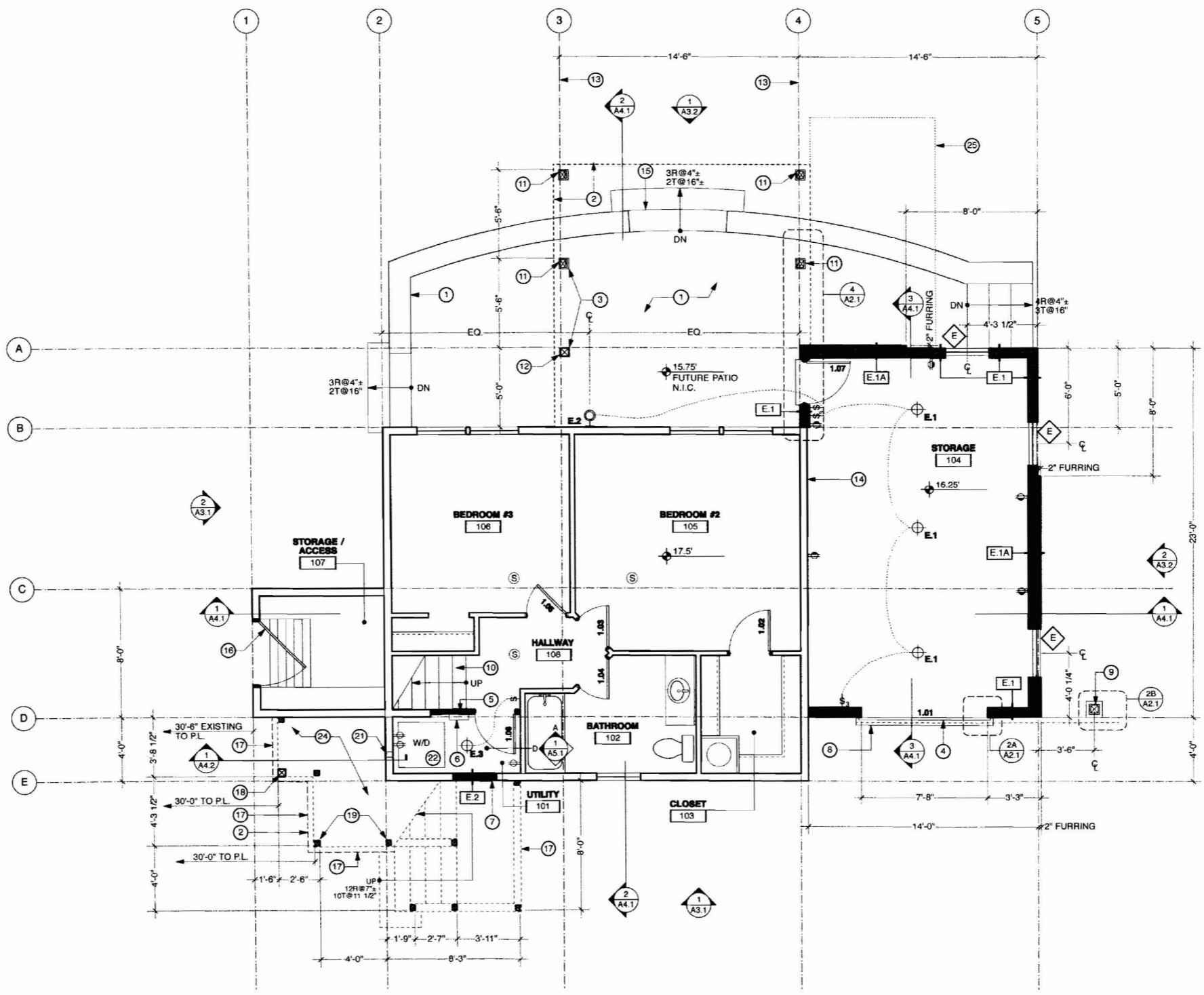
**ELECTRICAL NOTES**

- ALL SWITCHES TO BE AT 3'-0" AND ALL OUTLETS TO BE AT 12" A.F.F. U.O.N.
- STORAGE ROOM TO HAVE RIGID CONDUIT WHERE EXPOSED IF REQ'D BY CODE.
- LIGHT FIXTURES TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR, U.O.N.
- SWITCHES AND OUTLETS TO BE WHITE, U.O.N.
- RELOCATE (E) SWITCHES & OUTLETS AS MAY BE NECESSARY.

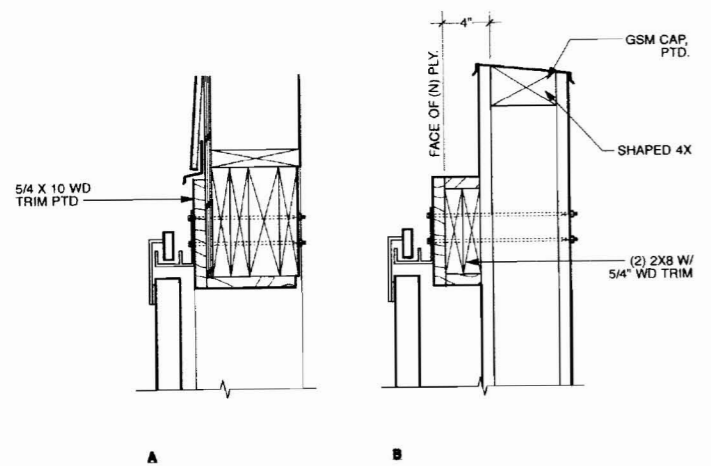
**LEGEND**

- EXISTING (E) WALL
- NEW (N) WALL
- DUPLEX OUTLET
- GFCI OUTLET
- LIGHT SWITCH
- SMOKE DETECTOR

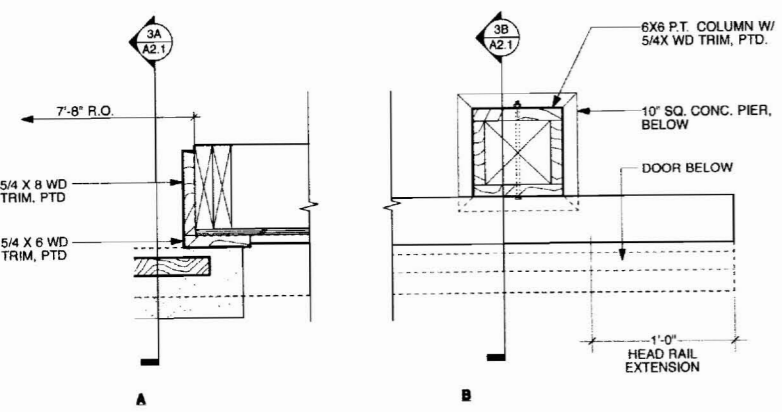
**FIRST FLOOR PLAN 1**



**FRAMING INTERSECTION 4**  
1 1/2" = 1'-0"



**BARN DOOR / HEAD AND TRACK 3**  
1 1/2" = 1'-0"



**BARN DOOR JAMB AND COLUMN 2**  
1 1/2" = 1'-0"

Issue	Date
OWNER/CONTRACTOR INITIAL REVIEW	07-15-07
PRE-PERMIT SET	08-21-07
PERMIT / ESTIMATE SUBMITTAL	09-31-07
RESUBMITTAL / CONSTRUCTION SET	11-16-07
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5/18/08  
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**SECOND FLOOR PLAN**

- ALL INTERIOR DOORS TO REMAIN SHALL RECEIVE NEW HARDWARE, REFER TO DOOR SCHEDULE 1/A8.1.
- ELEVATIONS ARE TO EXISTING AND NEW CONSTRUCTION.
- NOT ALL SHEET NOTES ARE USED ON EVERY SHEET.
- STAIR FROM DECK IS FUTURE AND NIC.
- ALL (N) INTERIOR WALLS TO BE WALL TYPE I.1, U.O.N.

**SHEET NOTES**

- FUTURE STONE PATIO & LOW WALL, NIC.
- LINE OF DECK ABOVE.
- ADJUST CONC. BASE HEIGHT TO ACCOMMODATE FUTURE PATIO ELEVATION. CONC SHOULD BE AT 16.0'-0".
- ROLLING BARN DOOR REFER TO DOOR SCHEDULE.
- INFILL WALL.
- LOCATION OF RELOCATED ELECTRICAL PANEL BEHIND DOOR 1.08 IS ALSO OPTION, IF EASIER.
- REMOVE (E) WINDOW AND PATCH WALL AND FINISHES.
- CONCRETE TRANSITION APRON, SLOPE TO GRADE.
- 6X6 P.T. COLUMN WITH 5/4X TRIM. REFER TO 3/A2.1. SUPPORT FOR BARN DOOR TRACK.
- (E) STAIRS TO RECEIVE NEW WOOD RISERS AND TREADS, REFER TO 7/A8.1.
- RE-USE (E) 4X6 PT COLUMNS W/ 2X FURRING AND 5/4" WOOD TRIM.
- 6X6 PT COLUMN, FULL HEIGHT TO ROOF ABOVE. NOTCH INSIDE FACE 1/2" TO RECEIVE (2) 2X10 HEADER AT DECK & ALIGN W/ OTHER COLUMN ALONG LINE 3.
- FACE OF 4X6 PT COLUMN WHICH, ON GRID-LINE 4, ALIGNS WITH FACE OF (N) 1/2" PLYWD. SEE 4/A2.1 AND 4/A2.2.
- FACE OF (E) PLYWOOD / REMOVE (E) CLAPBOARDS AND BLDG PAPER AND INSTALL 5/8" TYPE 'X' GWB., MUD, TAPE, & SAND OR (N) FELT & SIDING.
- VERIFY IN FIELD NEED FOR STEP AND NOTIFY ARCHITECT OF REQUIRED ADJUSTMENTS, NIC.
- REFER TO 2/A3.1 FOR (N) CRAWL SPACE DOOR.
- 1X4 SLATS AT 4" O.C., PTD ON 2X4 P.T. FRAMING.
- 6X6 P.T. COLUMN WITH PTD 5/4X TRIM, WHERE EXPOSED.
- 4X4 P.T. COLUMN.
- NEW RAILING, TBD.
- DRYER EXHAUST.
- NEW STACKED WASHER/DRYER PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- ATTIC ACCESS PANEL ABOVE.
- 2" CRUSHED STONE OR GEOTEX.
- FUTURE STAIR LOCATION, N.I.C.
- RECESSED MEDICINE CABINET.

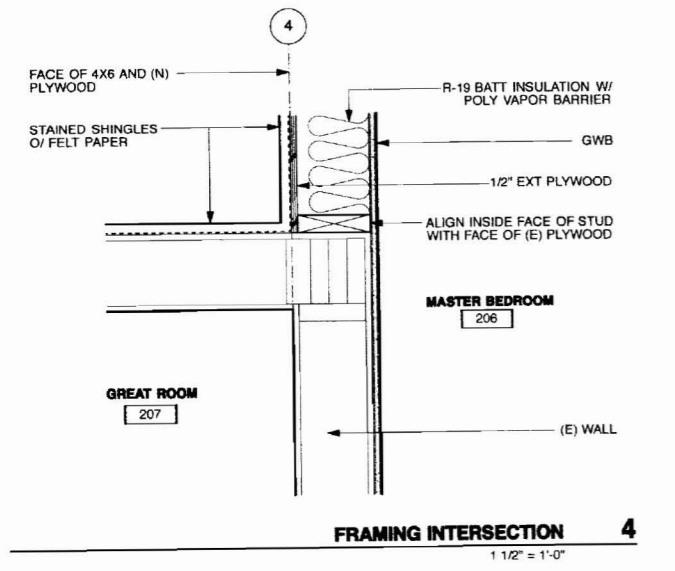
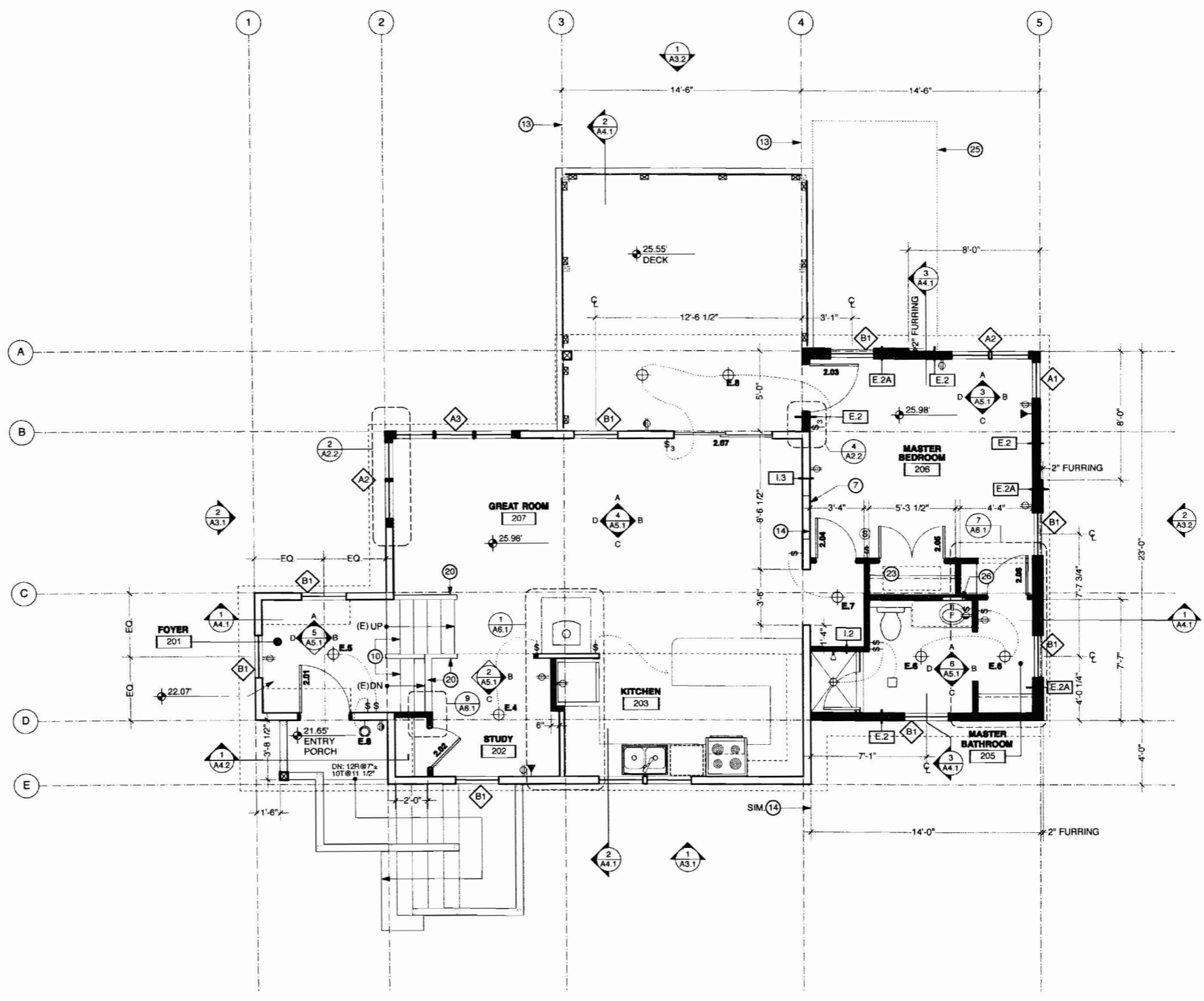
**ELECTRICAL NOTES**

- ALL SWITCHES TO BE AT 3'-0" AND ALL OUTLETS TO BE AT 12" A.F.F. U.O.N.
- STORAGE ROOM TO HAVE RIGID CONDUIT WHERE EXPOSED IF REQ'D BY CODE.
- LIGHT FIXTURES TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR, U.O.N.
- SWITCHES AND OUTLETS TO BE WHITE, U.O.N.
- RELOCATE (E) SWITCHES & OUTLETS AS MAY BE NECESSARY.

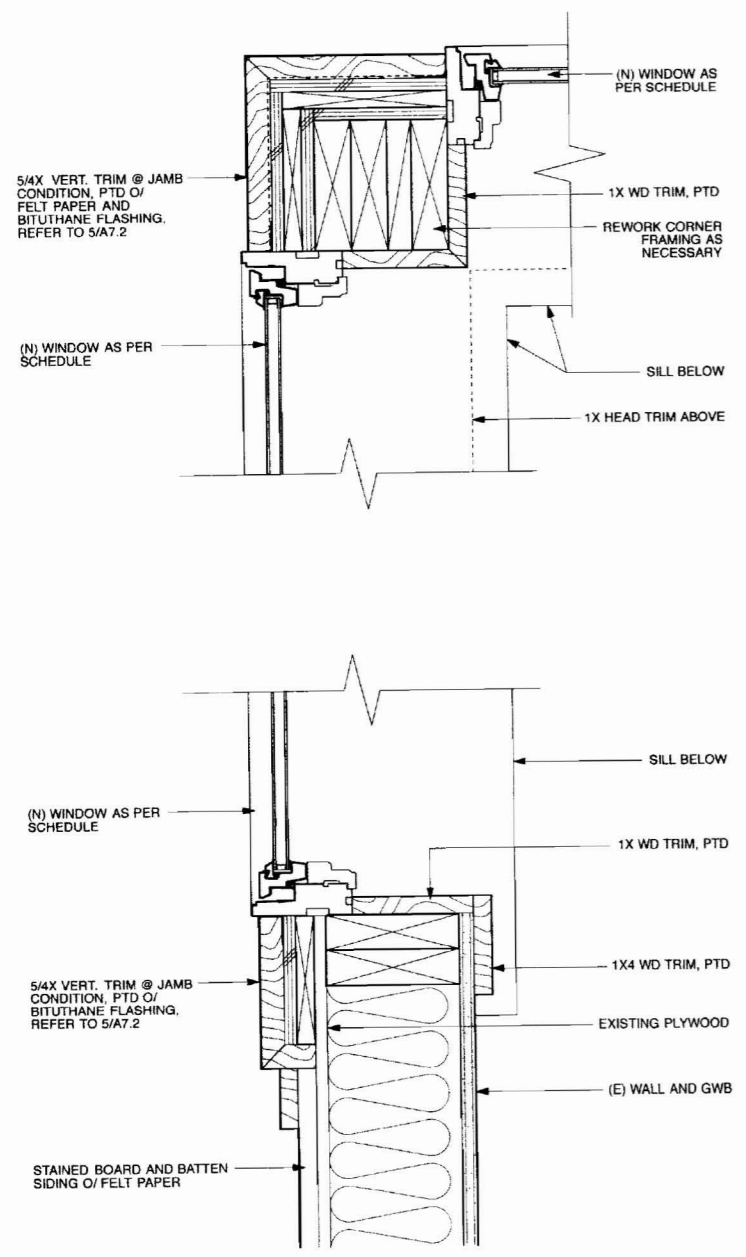
**LEGEND**

- EXISTING (E) WALL
- NEW (N) WALL
- DUPLEX OUTLET
- GFCI OUTLET
- LIGHT SWITCH
- SMOKE DETECTOR

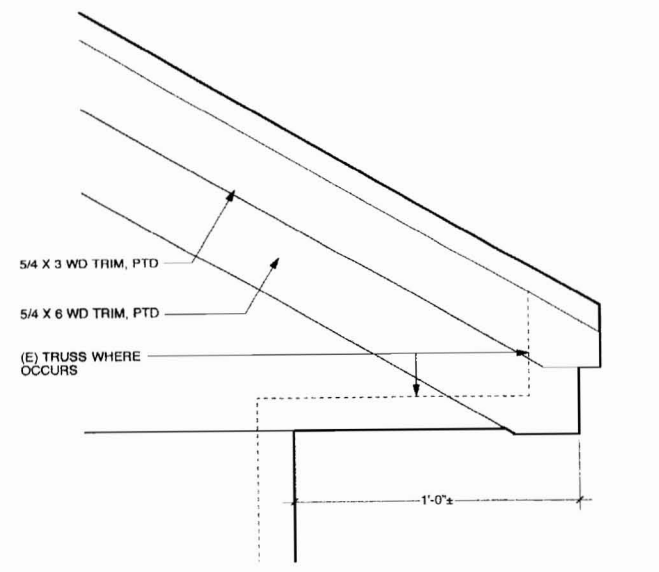
**SECOND FLOOR PLAN 1**



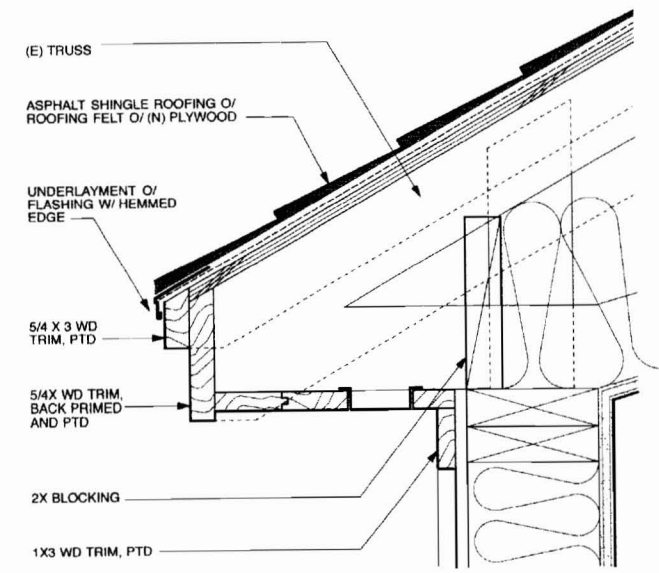
**FRAMING INTERSECTION 4**  
1/4" = 1'-0"



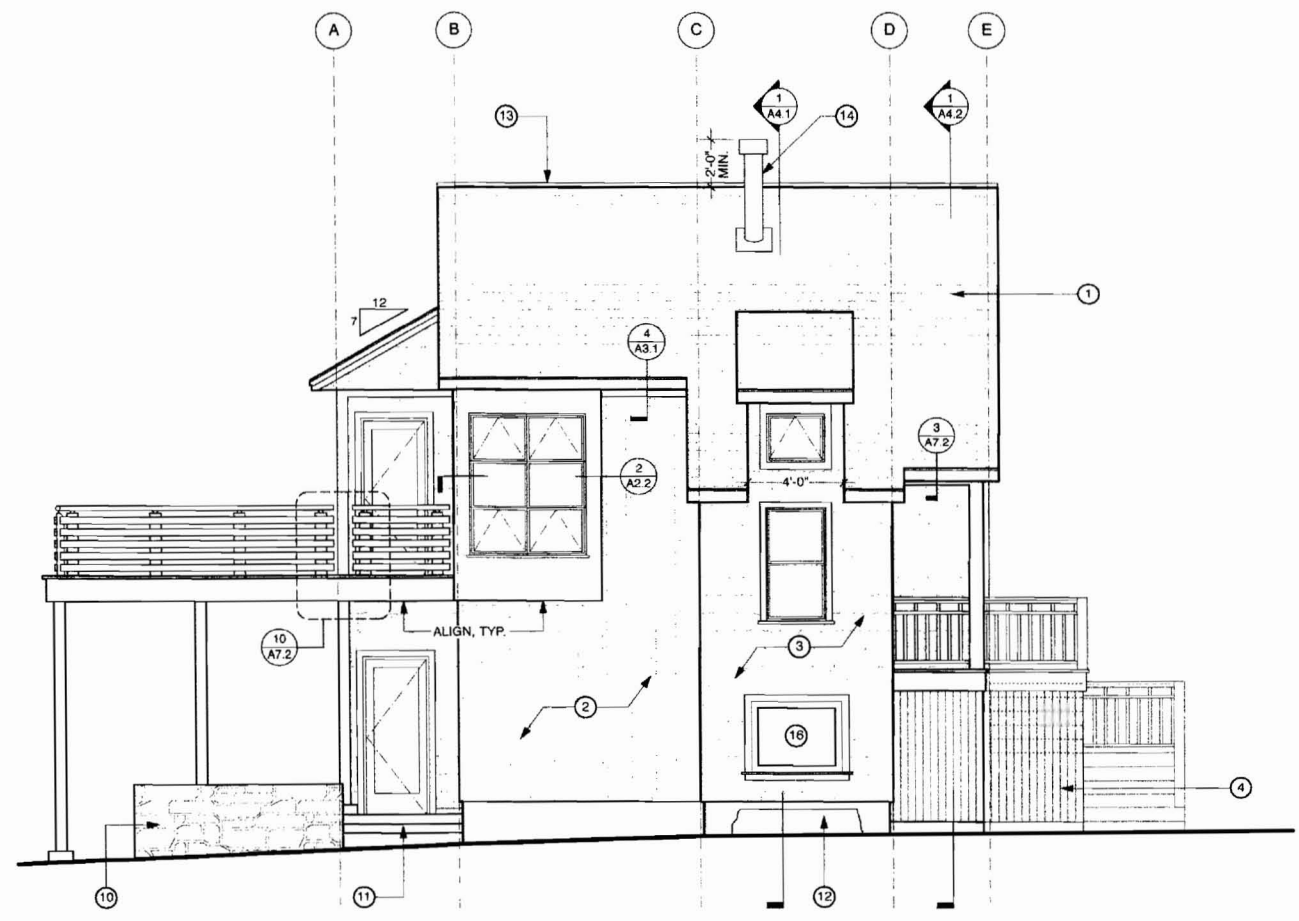
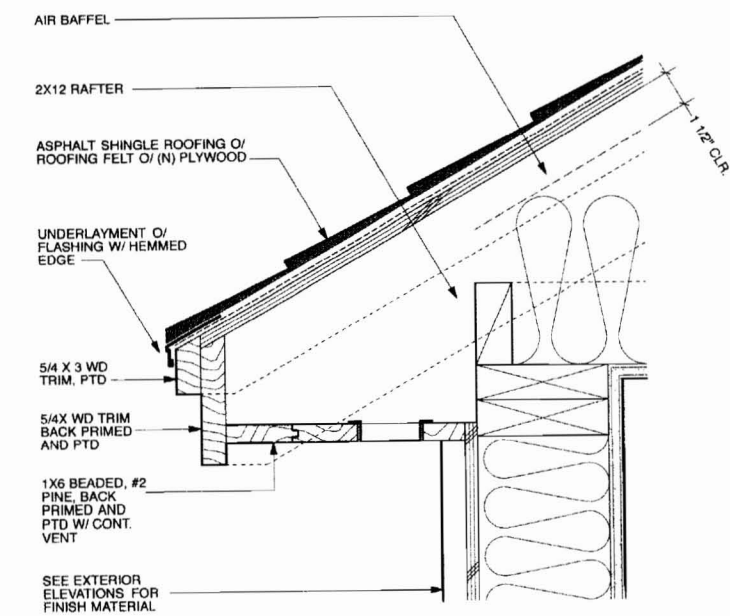
**TYP. CORNER WINDOW CONDITION 2**  
3/4" = 1'-0"



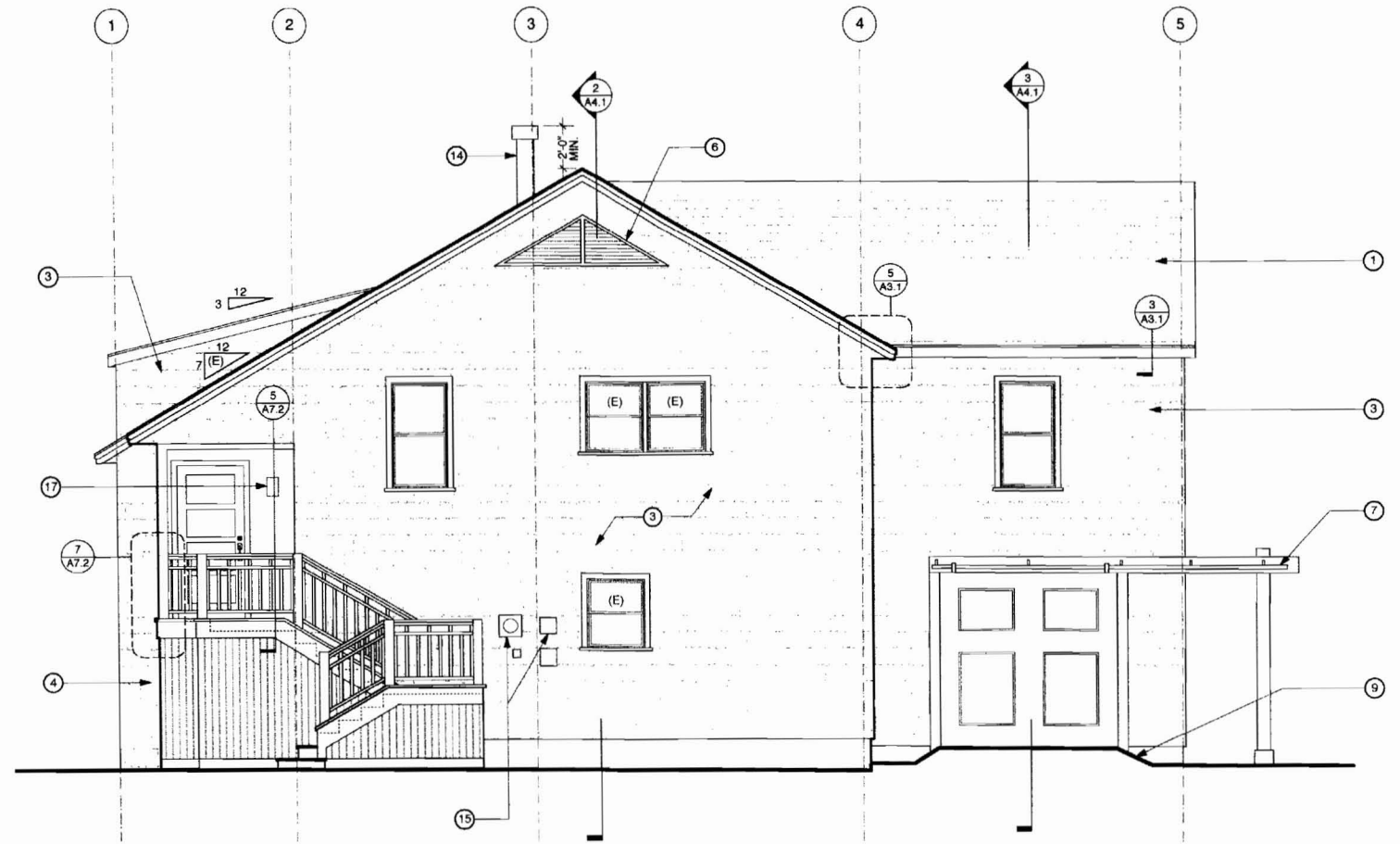
**EAVE ELEVATION DETAIL 5**  
3"=1'-0"



**TYPICAL (E) MODIFIED EAVE DETAIL 4**  
3"=1'-0"



**EAST ELEVATION 2**  
1/4"=1'-0"



**GENERAL NOTES**

- EXISTING WINDOWS TO REMAIN ARE NOTED AS (E).
- ALL EXISTING SIDING, ROOF SHINGLES, FLASHING, AND BUILDING FELTS TO BE REMOVED.
- WINDOW TRIM CONDITIONS AT SHINGLE WALLS SHALL BE PTD. 5/4 X 4 JAMB AND HEAD TRIM ONLY. WINDOW TRIM CONDITIONS AT BOARD AND BATTENS SHALL BE 1X3 STAINED TO MATCH BATTENS AT HEAD, JAMB AND SILL (PICTURE FRAME).

**SHEET NOTES**

- NEW ASPHALT SHINGLE ROOF, ON ADDITION AND TO REPLACE (E) SHINGLES O/ FELT PAPER
- STAINED BOARD AND BATTEN SIDING O/ NEW FELT PAPER.
- STAINED WHITE CEDAR SHINGLES O/ NEW FELT PAPER.
- 1X4 SLATS @ 4" O.C., PTD.; PROVIDE ACCESS PANEL / DOOR.
- EXISTING WINDOWS THAT ARE TO BE SALVAGED AND RELOCATED
- (E) ATTIC VENT, TO REMAIN. VERIFY CONDITION IN FIELD
- BARN DOOR TRACK MOUNTED TO BUILT-UP BEAM ENCASED IN WOOD TRIM
- (N) ATTIC VENT TO MATCH (E) ON NORTH ELEV.
- CONCRETE SLAB TRANSITION TO STORAGE FLOOR
- FUTURE PATIO STONE WALL, N.I.C.
- FUTURE PATIO STONE STEPS, N.I.C.
- (E) STONE LANDING FOR ACCESS DOOR TO REMAIN
- (N) RIDGE VENT
- 10" DIA. STAINLESS STEEL FIREPLACE FLUE W/ BRACKET AND SPARK ARRESTOR
- (N) LOCATION OF ELECTRICAL, CABLE, PHONE SERVICE, AND WATER SUB-METER
- (N) CRAWL SPACE DOOR
- EXTERIOR LIGHT FIXTURE

**EXTERIOR FINISH MATERIALS**

- ASPHALT SHINGLES:**  
CERTAIN-TEED - TBD
- WOOD TRIM:**  
5/4", #2 PINE; BACK-PRIME AND PAINT, U.O.N.
- BOARD AND BATTEN:**  
1X12 #3 PINE BOARDS W/ 1X3 #3 PINE BATTENS @ 12" O.C.; STAIN ALL 6 SIDES
- WOOD SHINGLES:**  
WHITE CEDAR SHINGLES; CLEAR FACE W/ 5% EXPOSURE; MAIBEL / COASTAL FOREST PRODUCTS. COLOR, TBD.
- WOOD SOFFITS:**  
#2 PINE; 1X6 BEADED; BACK-PRIME AND PAINT
- DECK RAILING:**  
4X6 AND 1X4
- DECK HANDRAIL:**  
TBD, W/ CLEAR GLOSS FINISH

**JILL'S CLAMSHACK**  
12 ONWAY AVENUE  
PEAKS ISLAND  
PORTLAND, MAINE

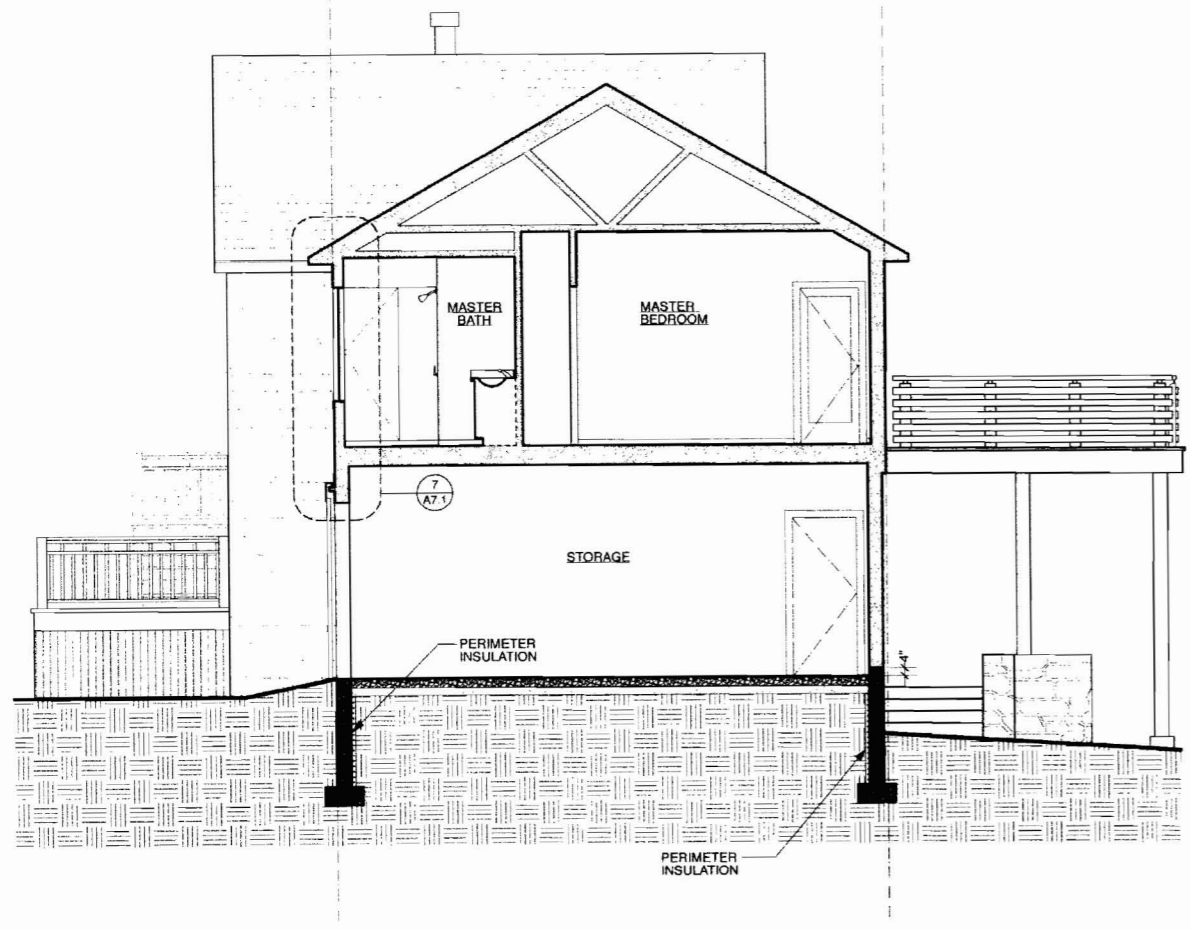
Issue	Date
OWNER/CONTRACTOR INITIAL REVIEW	07 15 07
PRE-PERMIT SET	08 21 07
PERMIT / ESTIMATE SUBMITTAL	09 31 07
RESUBMITTAL / CONSTRUCTION SET	11 16 07
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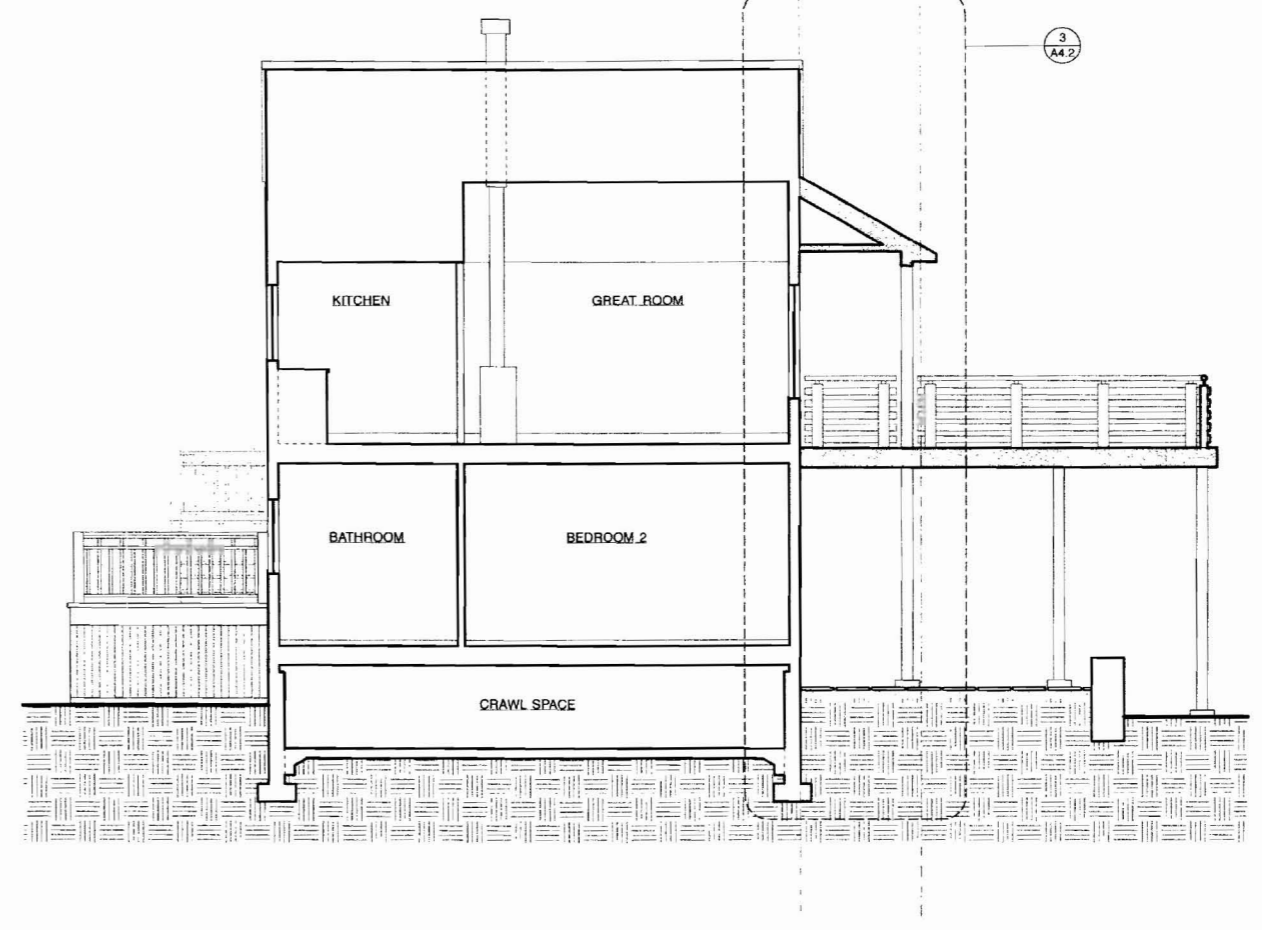
**ELEVATIONS:  
NORTH & EAST**



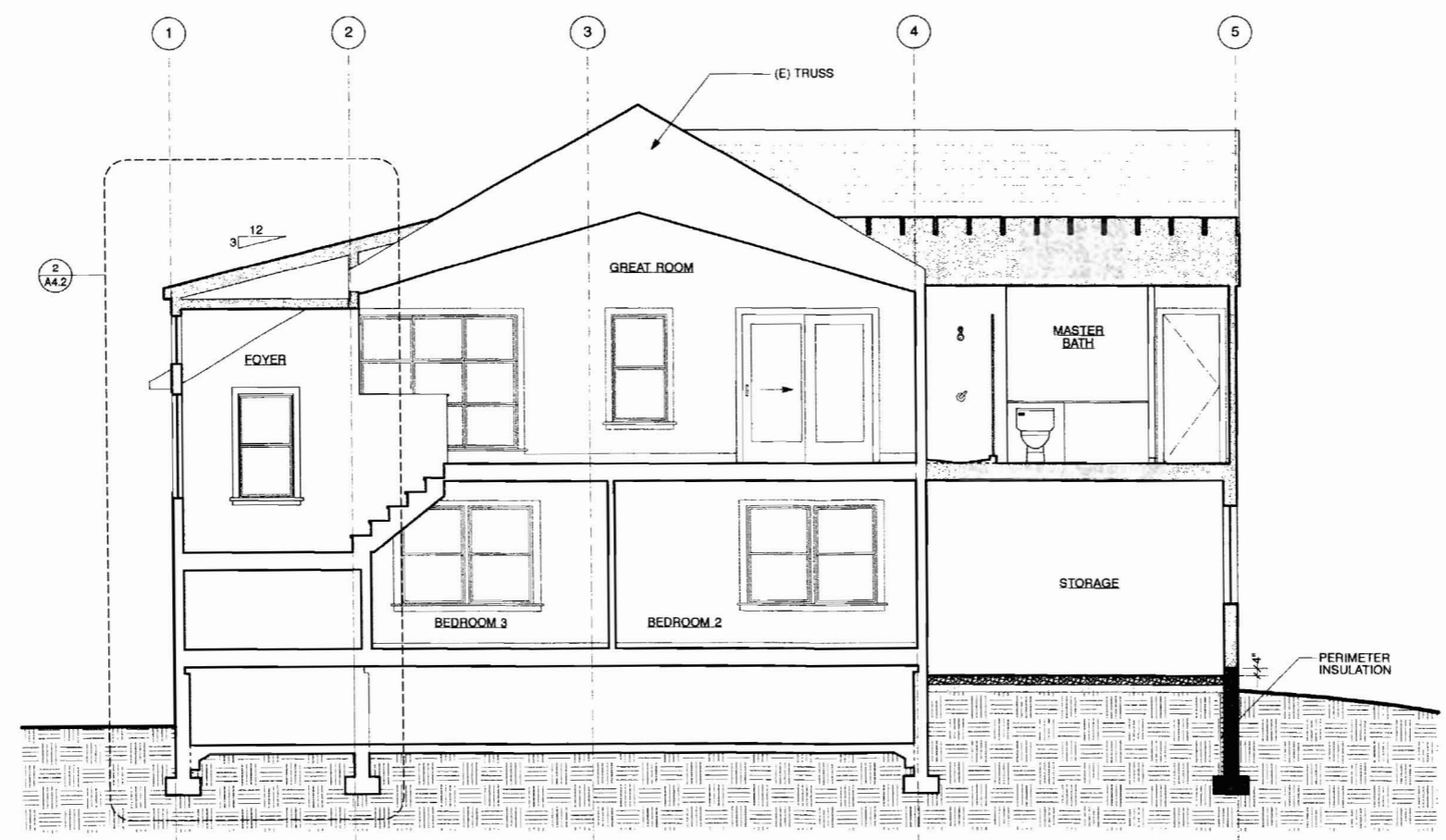
**JILL'S CLAMSHACK**  
12 ONWAY AVENUE  
PEAKS ISLAND  
PORTLAND, MAINE



**BUILDING SECTION 3** 3  
1/4" = 1'-0"



**BUILDING SECTION 2** 2  
1/4" = 1'-0"



**LEGEND**  
[Symbol] NEW (N) CONSTRUCTION

Issue	Date
OWNER/CONTRACTOR INITIAL REVIEW	07.15.07
PRE-PERMIT SET	08.21.07
PERMIT / ESTIMATE SUBMITTAL	09.31.07
RESUBMITTAL/ CONSTRUCTION SET	11.16.07
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**BUILDING SECTIONS**

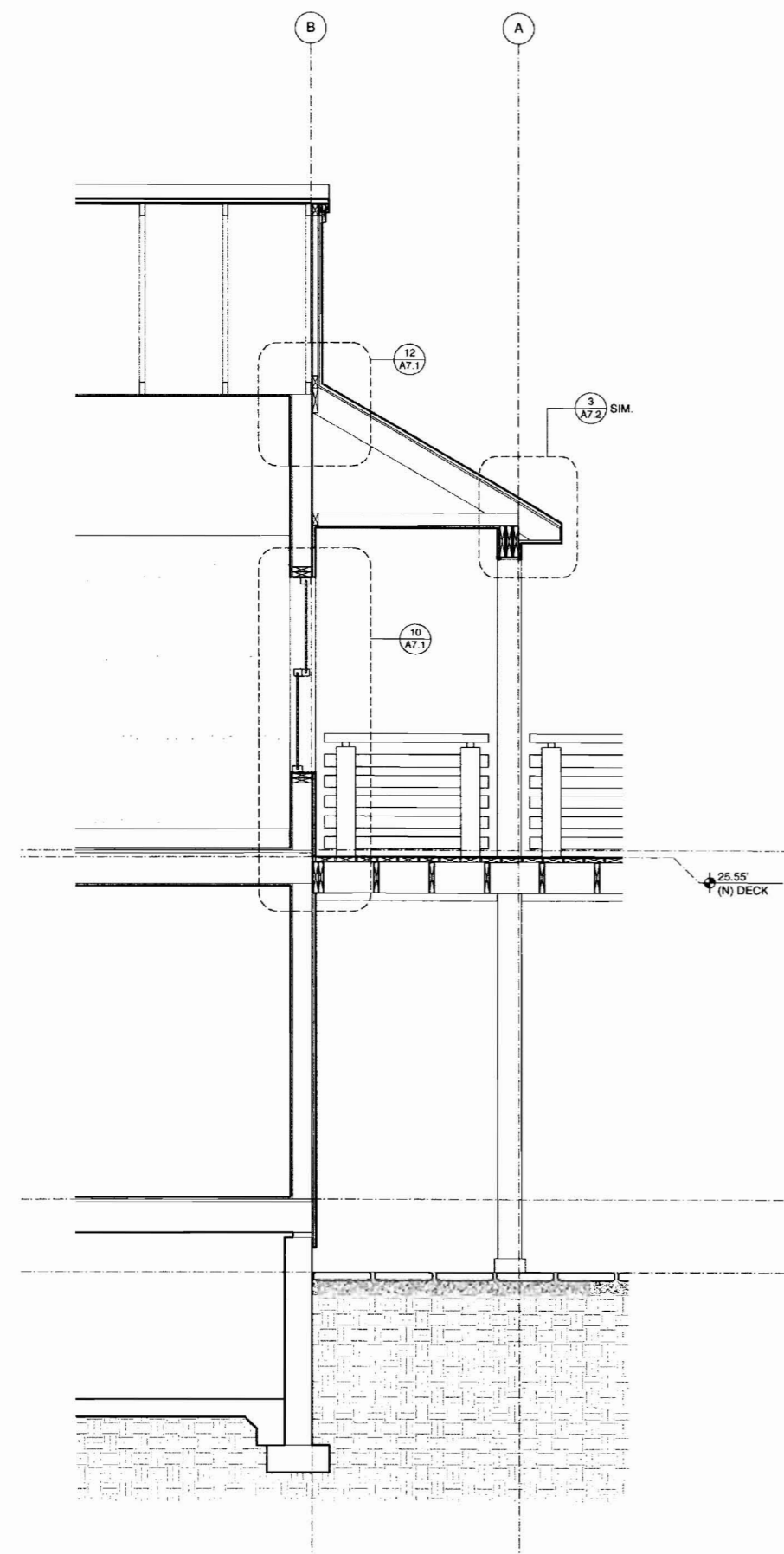


**JILL'S CLAMSHACK**  
12 ONWAY AVENUE  
PEAKS ISLAND  
PORTLAND, MAINE

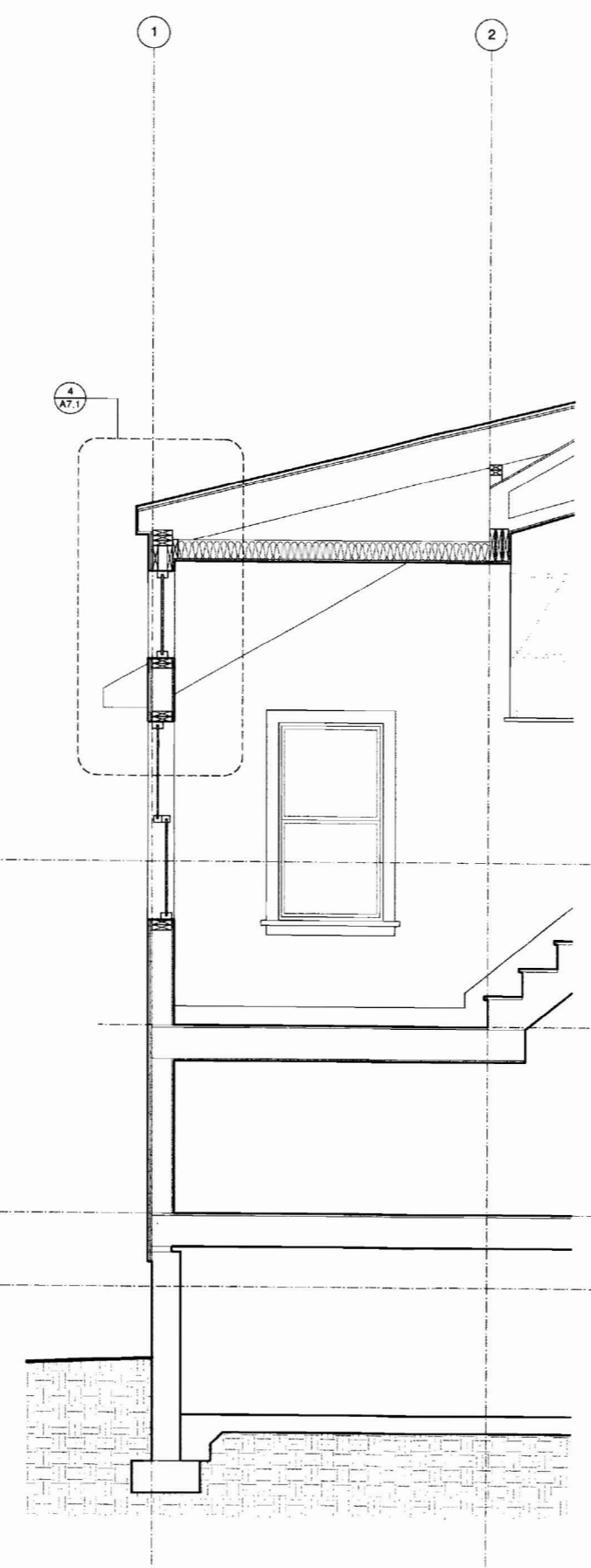
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RESUBMITTAL / CONSTRUCTION SET	11.16.07
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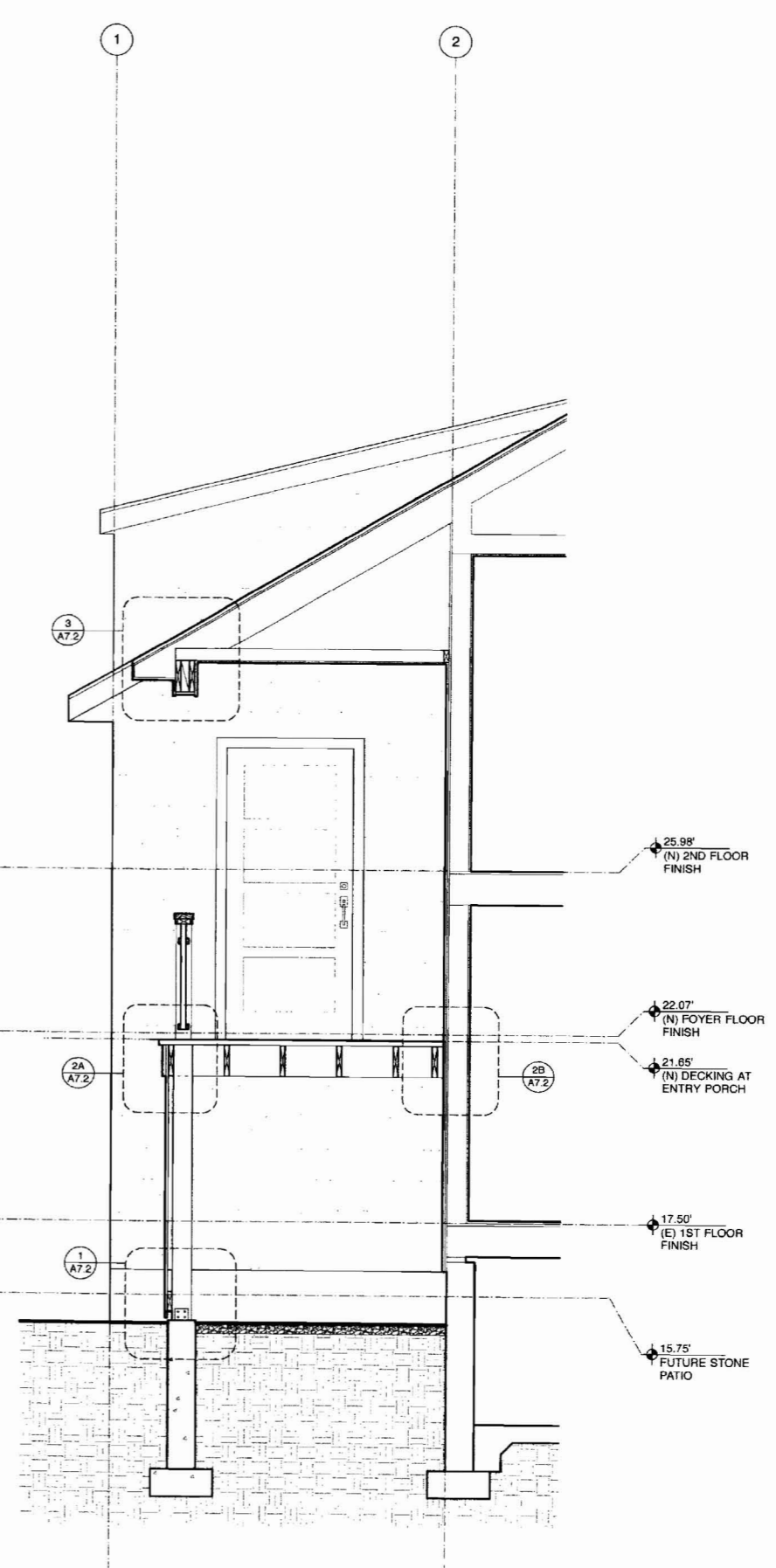
**WALL SECTIONS**



**WALL SECTION 3** 3  
1/2" = 1'-0"



**WALL SECTION 2** 2  
1/2" = 1'-0"

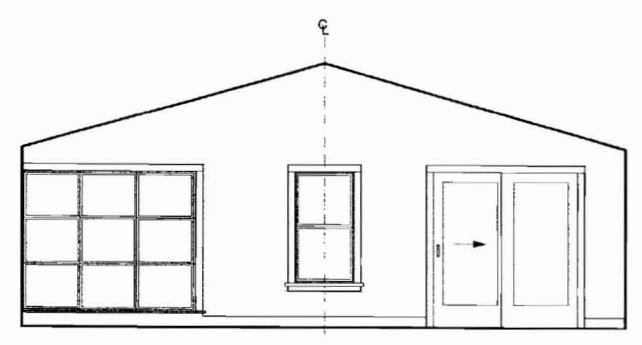


**WALL SECTION 1** 1  
1/2" = 1'-0"

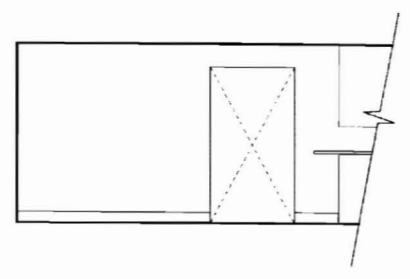
Issue	Date
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RESUBMITTAL / CONSTRUCTION SET	11.16.07
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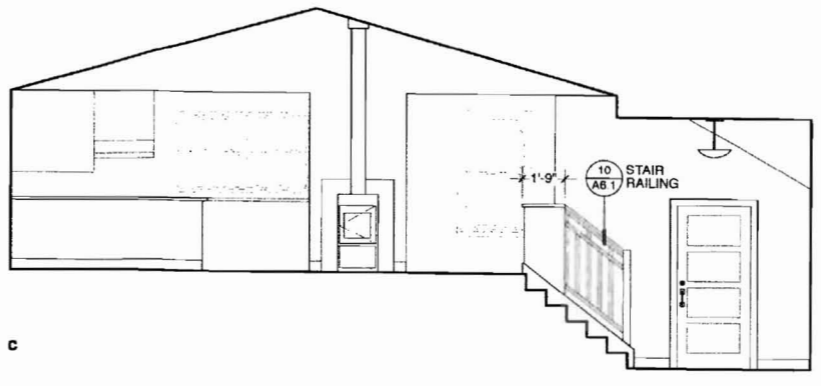
**INTERIOR ELEVATIONS**



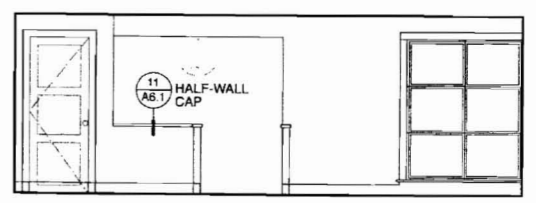
A



B

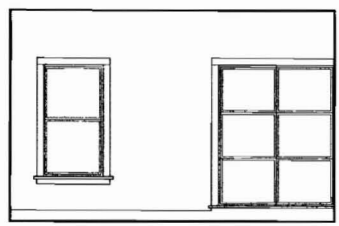


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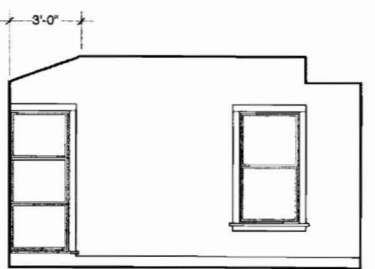


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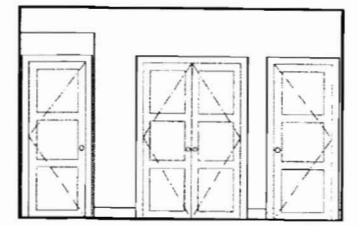
**GREAT ROOM 4**  
1/4" = 1'-0"



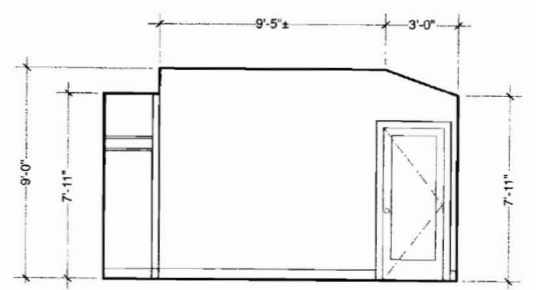
A



B

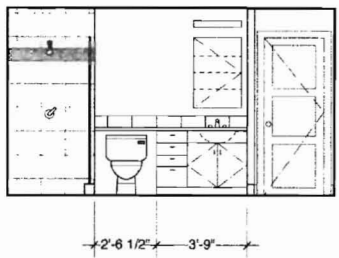


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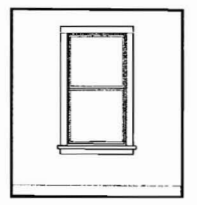


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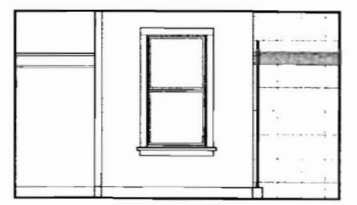
**MASTER BEDROOM 3**  
1/4" = 1'-0"



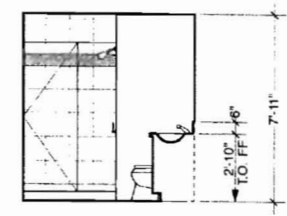
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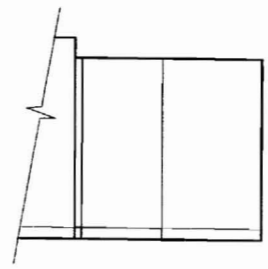


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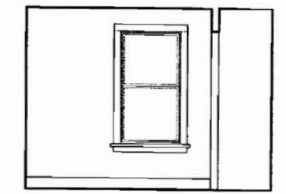


D

**MASTER BATHROOM 6**  
1/4" = 1'-0"

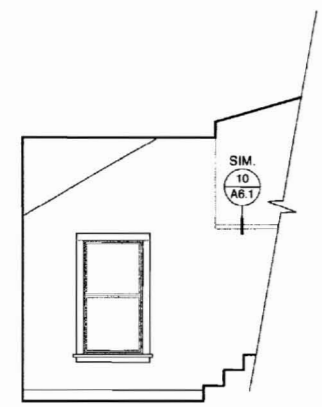


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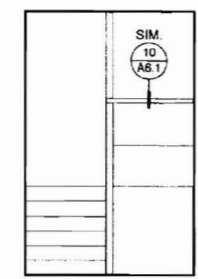


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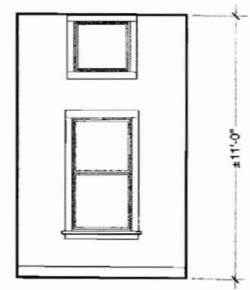
**STUDY AREA 2**  
1/4" = 1'-0"



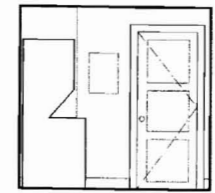
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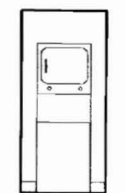
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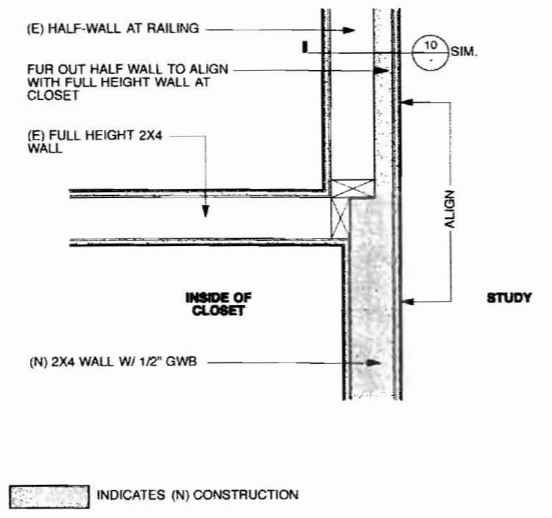


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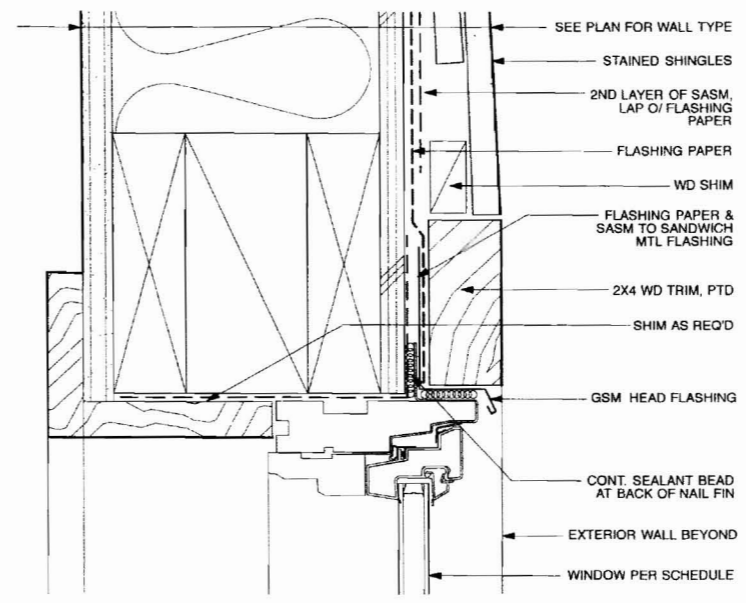
Issue	Date
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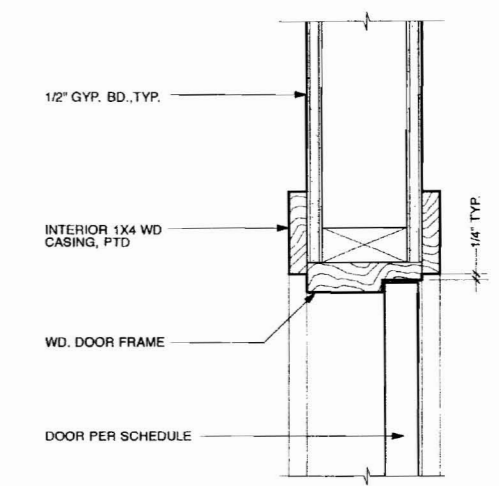
**INTERIOR AND MISC. DETAILS**



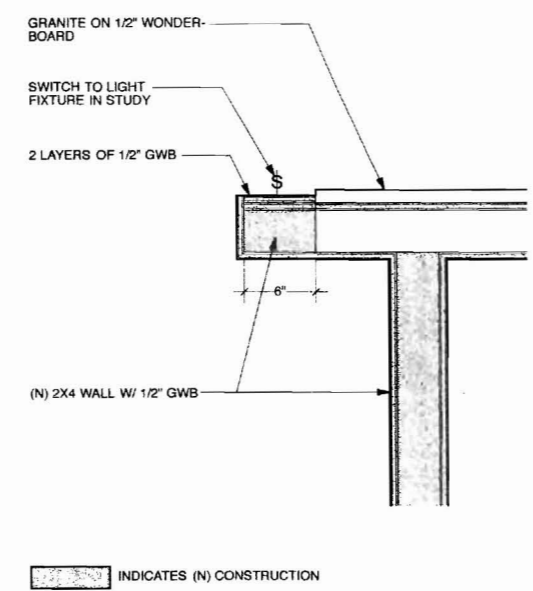
**ENLARGED PLAN AT STUDY RAILING 9**  
1-1/2" = 1'-0"



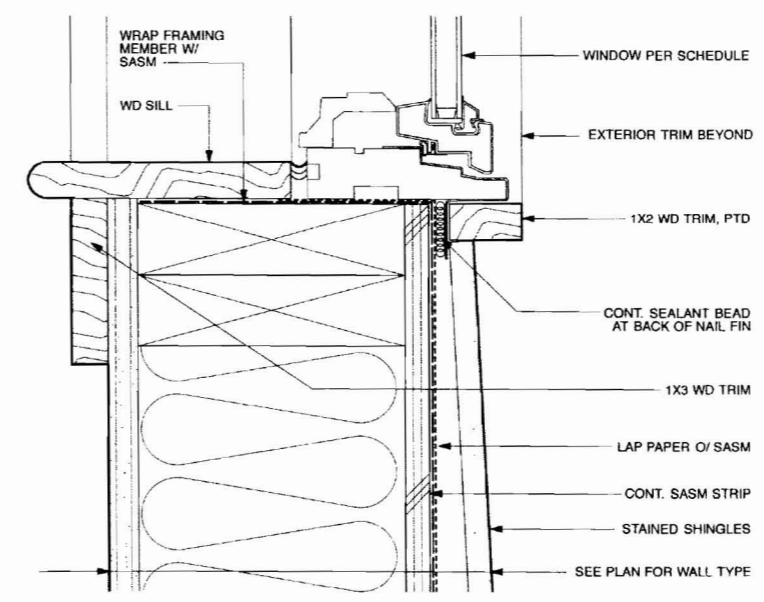
**WINDOW HEAD DETAIL (JAMB SIM.) 6**  
6" = 1'-0"



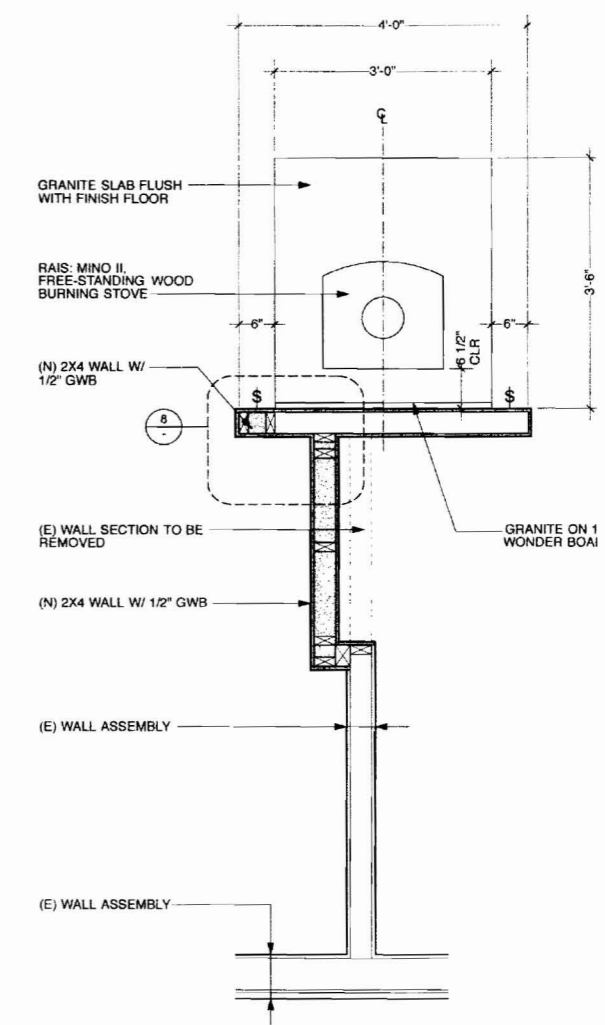
**TYPICAL INTERIOR DOOR HEAD (JAMB SIM.) 3**  
3" = 1'-0"



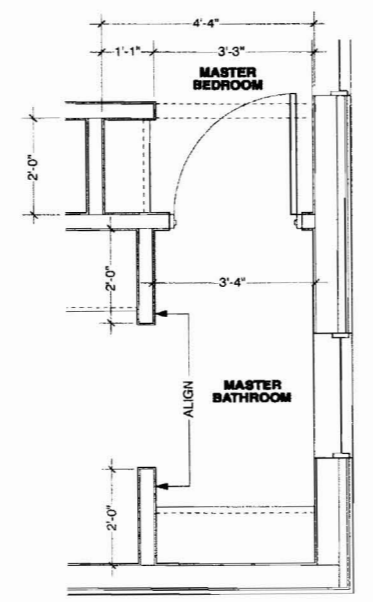
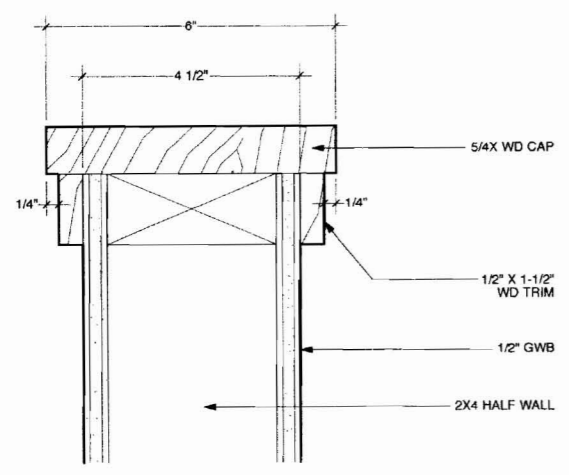
**ENLARGED PLAN AT FIREPLACE WALL 8**  
1-1/2" = 1'-0"



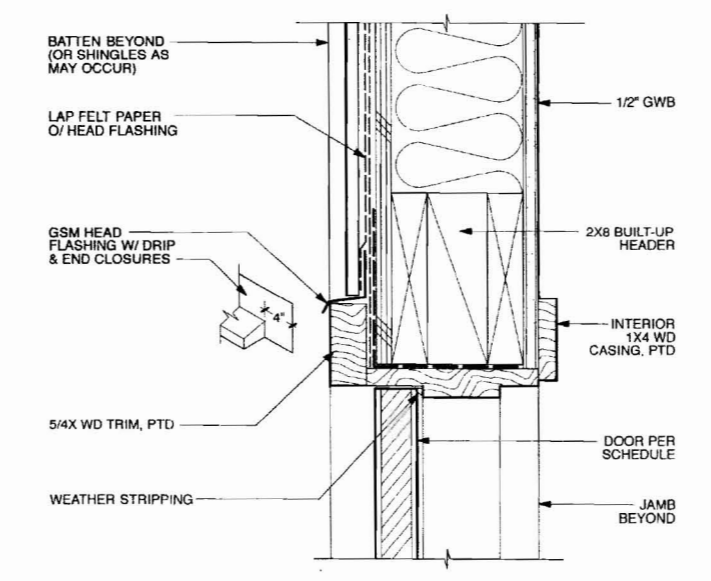
**WINDOW SILL DETAIL 5**  
6" = 1'-0"



**INTERIOR RAILING DETAIL 11**



**ENLARGED BATHROOM ENTRY PLAN 7**



**EXTERIOR DOOR HEAD DETAIL 4**

Consultant

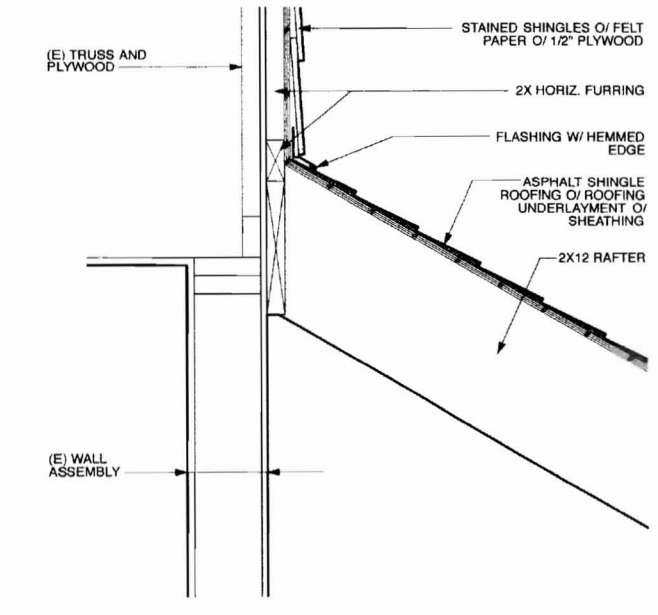
**JILL'S CLAMSHACK**  
12 ONWAY AVENUE  
PEAKS ISLAND  
PORTLAND, MAINE

Issue	Date
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RESUBMITTAL	CONSTRUCTION SET

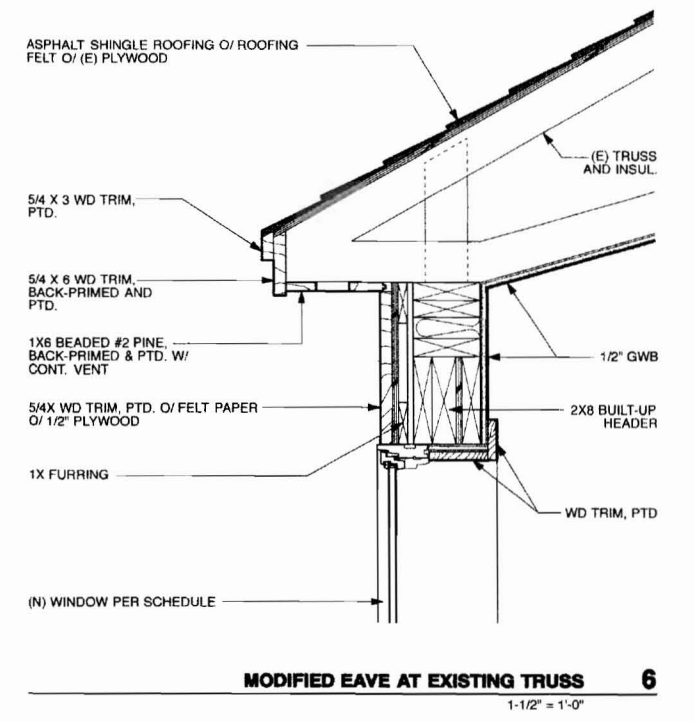
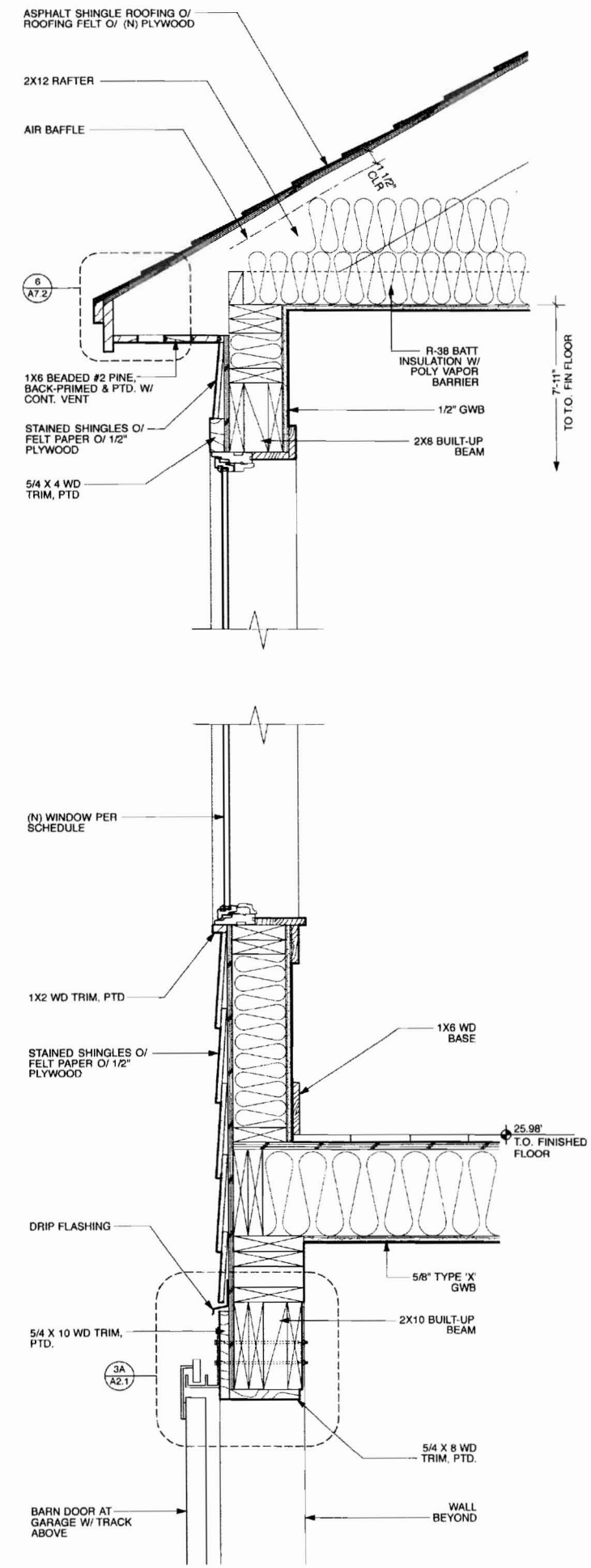
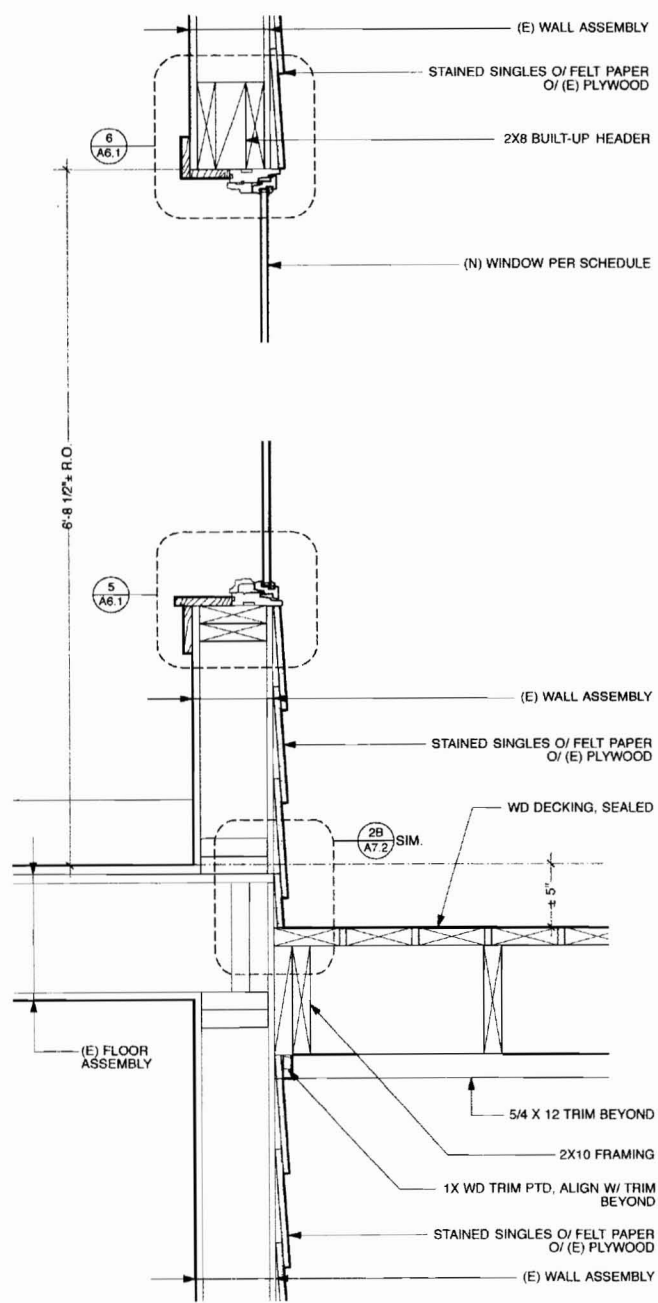
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**EXTERIOR DETAILS**

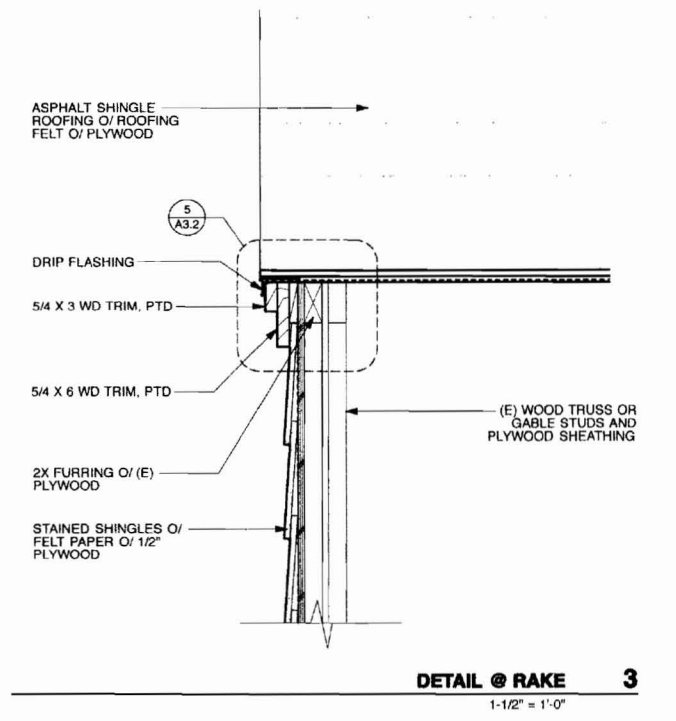
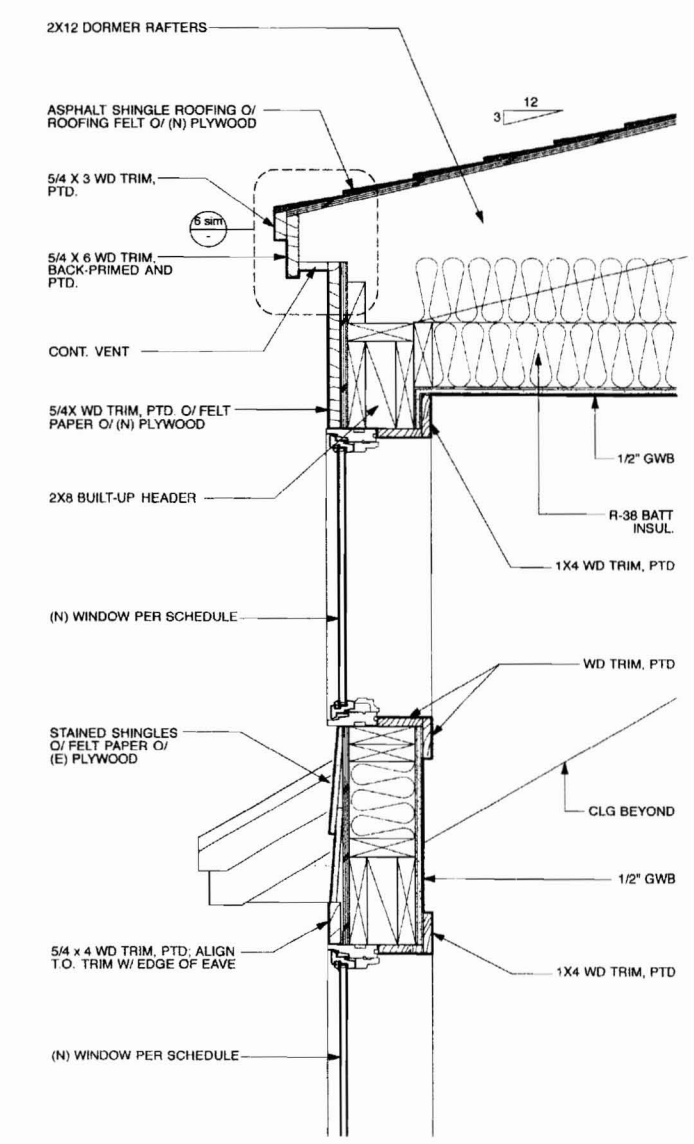
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Sheet Size: 24 x 36



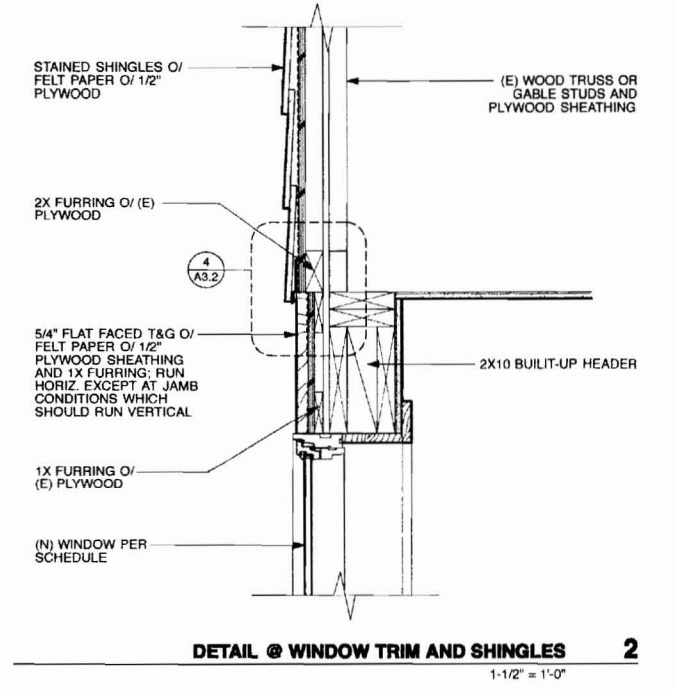
**HEADWALL, TYP. 12**  
1-1/2" = 1'-0"



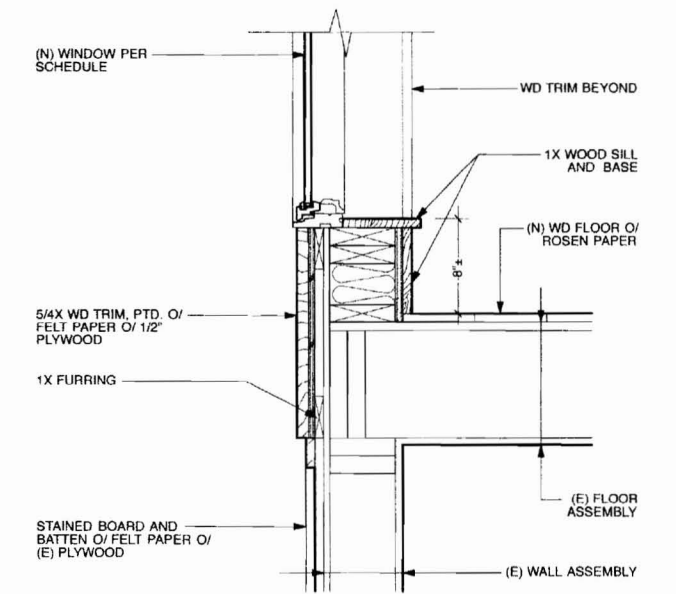
**MODIFIED EAVE AT EXISTING TRUSS 6**  
1-1/2" = 1'-0"



**DETAIL @ RAKE 3**  
1-1/2" = 1'-0"



**DETAIL @ WINDOW TRIM AND SHINGLES 2**  
1-1/2" = 1'-0"



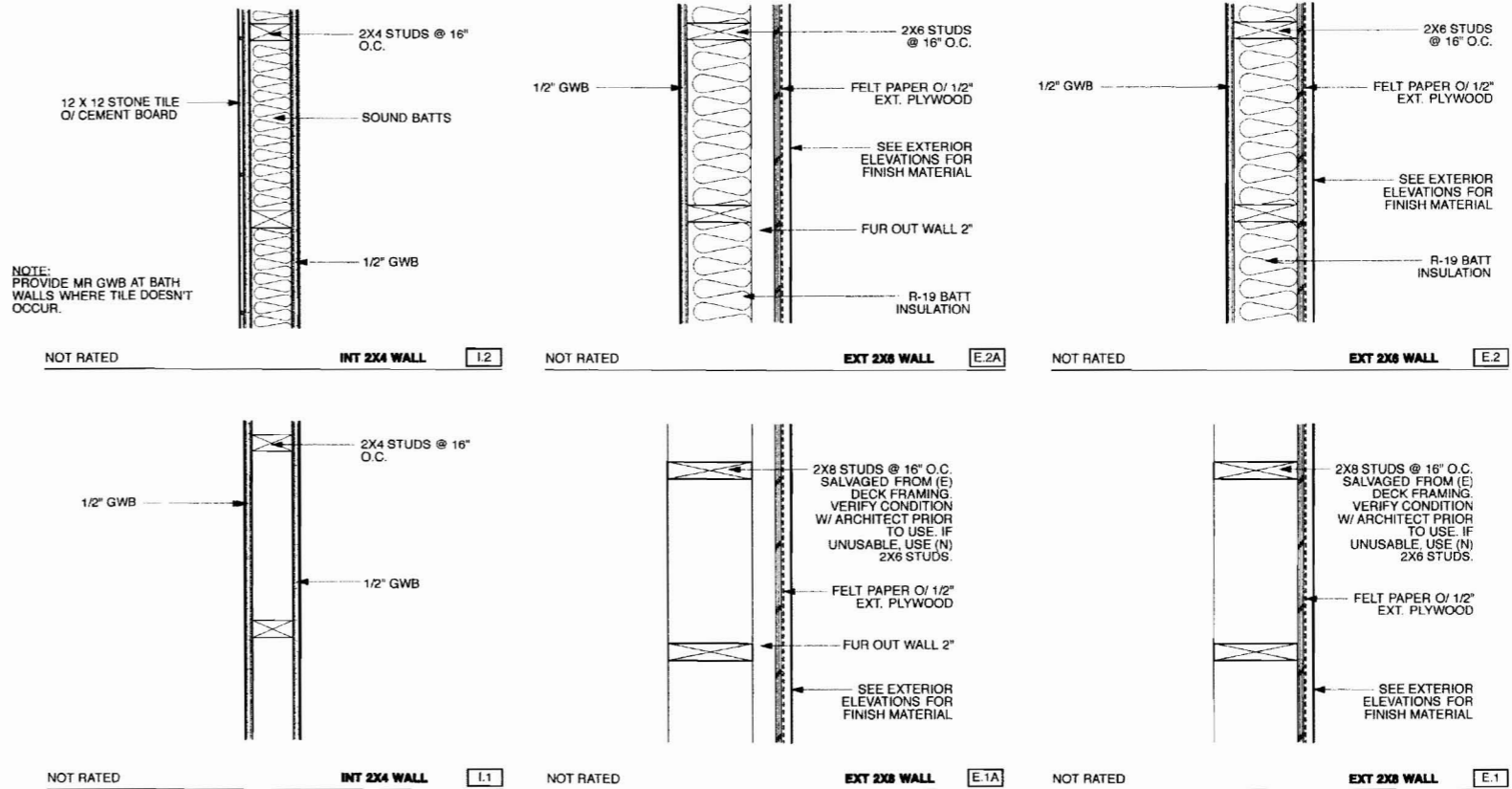


**INTERIOR MATERIAL SPECIFICATIONS**

WOOD FLOORING #1:	RED PINE OR SPRUCE: 3/4" PLANK FLOORING.
WOOD FLOORING #2:	BAMBOO FLOORING: NATURAL CORK / HORIZONTAL NATURAL; LONG BOARD #604 HN (75 1/2 X 3 3/4 X 5/8"), AVAILABLE THROUGH ATLANTIC HARDWOOD. CHECK WITH OWNER. SOME MATERIAL MAY BE ON SITE.
WOOD BASE:	1X4 #2 PINE, PTD. - LOWER LEVEL 1X6 #2 PINE, PTD. - UPPER LEVEL
WALLS:	1/2" GYPSUM WALL BOARD, USE MOISTURE RESISTANT AT BATHROOM WALLS. AT COMMON WALL & CEILING IN STORAGE, USE 5/8" TYPE 'X' GWB TAPED, MUD & SAND.
STONE HEARTH:	TBD
WALL TILE:	TBD
ACCENT TILE:	TBD
INTERIOR PAINT:	KELLY-MOORE OR APPROVED EQUAL. EGGSHELL ON ALL WALL GWB AND FLAT ON CEILING GWB AND SEMI-GLOSS ON WOOD TRIM CALLED OUT TO BE PAINTED.
INTERIOR STAIN:	
WOOD BURNING STOVE:	RAIS: MINO II

**INTERIOR MATERIAL SPECIFICATIONS (CONTINUED)**

CLOSET SHELVES/POLES:	PINE SHELVES W/ HARDWOOD RODS TO RECEIVE CLEAR STAIN
PUMBING:	FIXTURES (TBD)
SHOWER FITTINGS:	
LAVATORY FITTINGS:	
TOILET:	
LAVATORY:	



**FINISH SCHEDULE**

ROOM #	TYP. ROOM NAME	FLOOR	WALLS		BASE		CEILING		SHEET NOTES
			MATL	FINISH	MATL	FINISH	MATL	FINISH	
101	UTILITY	WD-2	GWB/P	PTD	WD	PTD	GWB/P	PTD	2
104	STORAGE	CR	ES	N/A	N/A	N/A	GWB	N/A	1
201	FOYER/STAIRWAY	WD-1	GWB/P	PTD	WD	PTD	GWB/P	M&T	2
202	STUDY	WD-1	GWB/P	PTD	WD	PTD	GWB/P	PTD	2
205	MASTER BATHROOM	WD-1	ST/GWB	SS/PTD	WD	PTD	GWB	PTD	
206	MASTER BEDROOM	WD-1	GWB	PTD	WD	PTD	GWB	PTD	
207	GREAT ROOM	WD-1	GWB/P	PTD	WD	PTD	GWB/P	PTD	2

**ABBREVIATIONS**

CR	CRUSHED ROCK
CONC.	CONCRETE, SEALED
E	EXISTING
ES	EXPOSED STRUCTURE
GWB	GYPSUM WALL BOARD
GWB/P	PATCH (E) GYPSUM BOARD
M&T	MUD AND TAPE
N/A	NONE OR NOT APPLICABLE
PTD	PAINT
SG WD	STAINED GRADE WOOD
SS	STONE SEALER
ST	STONE TILE
STN	STAINED
TL	TILE
WD	WOOD

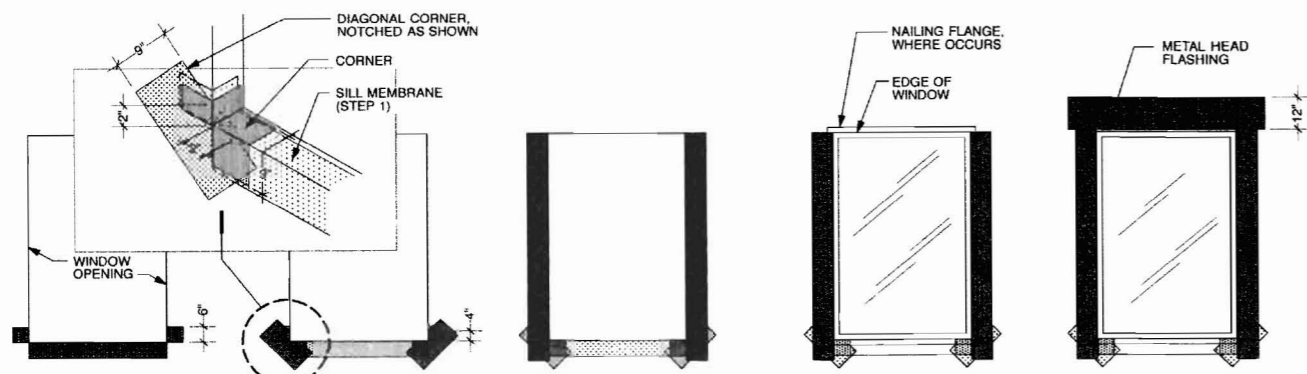
**SHEET NOTES**

- EXISTING WALL SHALL RECEIVE 5/8" TYPE 'X' GWB O/ PLYWOOD O/ MUD AND TAPE.
- PATCH GWB TO MATCH EXISTING THICKNESS AND FEATHER OUT WITH EXISTING FOR SMOOTH FLUSH.

**GENERAL NOTES:**

- USE MR GWB IN MASTER BATH AND OTHER WET AREAS.
- USE CEMENT BACKER BOARD AT ALL WALL TILE CONDITIONS.

**FINISH SCHEDULE AND SPECIFICATIONS 8**



**STEP 1: MEMBRANE AT SILL**  
INSTALL MEMBRANE AT SILL FLASHING, TURNED UP AT JAMBS AS SHOWN. NOTE THAT HOUSEWRAP IS TO BE INSTALLED UNDER SILL MEMBRANE.

**STEP 2: CORNER REINFORCEMENT**  
INSTALL DIAGONAL CORNER MEMBRANE FLASHING; REINFORCE WITH CORNER PIECES AS SHOWN

**STEP 3: JAMB FLASHING**  
INSTALL FLASHING AT JAMBS, TURNING INTO OPENING. LAP MEMBRANE OVER SILL PIECES.

**STEP 4: INSTALL WINDOW**  
NAIL FIN WINDOWS ARE TO BE SET IN A CONTINUOUS BEAD OF SEALANT AT THE JAMBS AND HEAD

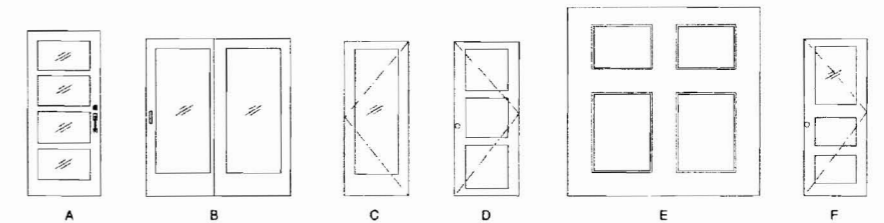
**STEP 5: JAMB & HEAD FLASHING**  
INSTALL MEMBRANE FLASHING STRIPS AT JAMB (LAP OVER FLANGE AT NAIL FIN WINDOWS); INSTALL METAL HEAD FLASHING; THEN LAP 1/2" MEMBRANE FLASHING OVER METAL PIECE AT HEAD. HOUSEWRAP TO BE

**GENERAL NOTES - WINDOWS**

- DIMENSIONS NOTED ARE FRAME SIZES. CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS.
- ALL WINDOWS ARE EXTERIOR CLAD, NATURAL WOOD INTERIOR ANDERSON UNITS AS FOLLOWS:

- A - 400 SERIES; A251
- A1 - 400 SERIES; (1) AXW281-12
- A2 - 400 SERIES; (2) AXW281-12
- A3 - 400 SERIES; (3) AXW281-12
- B1 - 200 SERIES; 2446

\* INDICATES THAT SAFETY GLAZING IS REQUIRED FOR THESE PANELS.



**DOOR SCHEDULE**

MARK	TYPE	WIDTH	HGT	THICK	CONST	FIN.	FRAME		DETAILS			HWDR	NOTES	
							CONST	FIN.	JAMB	HEAD	THRSHLD			
<b>FIRST FLOOR</b>														
1.01	E	8'0"	8'0"	1 3/4"	WD	PTD	WD	PTD	2A/A2.1	3A/A2.1	--	1	1	
1.02	←						(E)					1	3	
1.03	←						(E)					1	3	
1.04	←						(E)					2	3	
1.05	←						(E)					1	3	
1.06	D	2'6"	6'8"	1 3/8"	WD	ST	WD	PTD	3/A6.1	SIM	--	1	4, 6	
1.07	F	2'8"	6'8"	1 3/4"	WD/GL	PTD	WD	PTD	4/A6.1	SIM	--	3		
<b>SECOND FLOOR</b>														
2.01	A	3'0"	7'0"	1 3/4"	WD/GL	ST	WD	PTD	--	--	--	1	5	
2.02	D	2'6"	6'8"	1 3/8"	WD	ST	WD	PTD	3/A6.1	SIM	--	1	4	
2.03	C	2'9"	6'8"	1 3/4"	WD/GL	CL/ST	WD	PTD	4/A6.1	SIM	--	1	7, 9	
2.04	D	2'8"	6'8"	1 3/8"	WD	ST	WD	PTD	3/A6.1	SIM	--	1	4	
2.05	DD	4'0"	6'8"	1 3/8"	WD	ST	WD	PTD	3/A6.1	SIM	--	5	4	
2.06	D	2'6"	6'8"	1 3/8"	WD	ST	WD	PTD	3/A6.1	SIM	--	2	4	
2.07	B	6'0"	6'8"	1 3/4"	WD/GL	CL/ST	WD/GL	PTD	--	--	--	4	8, 9	

**GENERAL NOTES**

- DOOR TO BE STAIN ON ALL SIX SIDES, U.O.N.
- ALL DOOR GLAZING TO BE TEMPERED SAFETY GLAZING
- ALL DOORS ARE SIMPSON VERTICAL GRAIN FIR, TO RECEIVE CLEAR FINISH, U.O.N.
- HARDWARE SHALL BE AS FOLLOWS:  
GROUP 1  
GROUP 2  
GROUP 3  
GROUP 4  
GROUP 5

**SHEET NOTES:**

- CUSTOM CONSTRUCTED SLIDING DOOR W/ BARN DOOR HARDWARE
- CONFIRM WIDTH, THICKNESS AND HEIGHT WITH (E) CONDITIONS PRIOR TO ORDERING AND ADJUST SIZING AS NECESSARY
- EXISTING DOOR, N.I.C.
- SIMPSON #730, SHAKER STYLE DOOR
- JELD-WEN 1505AP 4-LITE FRENCH DOOR W/ SIDE LITE; HARDWARE COMES WITH DOOR; SHALL BE FINISH
- CONFIRM WIDTH OF W/D UNIT AND CLEARANCE W/ 2'-6" WIDE DOOR
- ANDERSON: HINGED PATIO DOORS INSWING: ISPD2968AR; EXTERIOR COLOR: WHITE; INTERIOR: PINE
- ANDERSON: NARROLINE GLIDING PATIO DOOR: NLGD6068L W/ AUXILIARY FOOT LOCK; EXTERIOR COLOR: WHITE; INTERIOR: PINE

ISSUE	Date
OWNER/CONTRACTOR INITIAL REVIEW	07.15.07
PRE-PERMIT SET	08.21.07
PERMIT / ESTIMATE SUBMITTAL	09.31.07
RESUBMITTAL / CONSTRUCTION SET	11.16.07
...	...
...	...
...	...
...	...
...	...

**SCHEDULES & WALL TYPES**

