

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0687 AUG - 6 2002	Issue Date:	CBL: 084 Z019001
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Location of Construction: 41 Adams St	Owner Name: Orme M C	Owner Address: Po Box 100 <b>CITY OF PORTLAND</b>	Phone: 207-766-2380
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	Zone: IR-2

Past Use: Single Family	Proposed Use: Single Family with renovated first fl. Relocation of kitchen and new deck.	Permit Fee: \$233.00	Cost of Work: \$30,000.00	CEO District: 3
Proposed Project Description: Construct a new deck/renovation of first fl., relocate kitchen.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>RS</i> Type: <i>SB</i> <i>8/5/02</i>	

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: jmy	Date Applied For: 06/20/2002	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

11-22-05 TUES

Checked Jet-backs and sound  
tubes OK exceeds minimum

setbacks 26+ on Rear

35+ on front

SONA TUBE  
Depths all  
OK

25+ on side

1/15/08 Close-in Insp. - (Needs re-insp.  
can Ins. + Sheetrock  
certain areas per  
agreement w/ C.H.)

1. Add bolts to collar ties

2. Post order Caroy beam in Bedroom (closet area)

3. Insp. all new plumbing (not in)

4. Add Gusssets to roof framing in  
Mudroom.

5. windows at Apex (not in)

Q A

# PLUMBING APPLICATION

Department of Health and Human Services  
Division of Environmental Health

## PROPERTY ADDRESS

Town or Plantation: 4 ADAM ST  
Street: PEAKS ISLAND  
Subdivision Lot #

## PROPERTY OWNERS NAME

Last: ORME First: MARY

Applicant Name: PAUL ER

Mailing Address of Owner/Applicant (If Different): 58 ELIZABETH ST PEAKS ISLAND

084 2019 001

PORTLAND PERMIT # 10494 TOWN COPY

Date Permit Issued: 12 | 31 | 07 \$ 16400  If Double Fee Charged

Suzanne Hunt L.P.I. # 1,0,6,7  
Local Plumbing Inspector Signature

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Paul Orme 12/31/07  
Signature of Owner/Applicant Date

Local Plumbing Inspector Signature Date Approved

## PERMIT INFORMATION

<p><b>This Application is for</b></p> <p>1. <input checked="" type="checkbox"/> NEW PLUMBING</p> <p>2. <input type="checkbox"/> RELOCATED PLUMBING</p>	<p><b>Type of Structure To Be Served:</b></p> <p>1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER - SPECIFY _____</p>	<p><b>Plumbing To Be Installed By:</b></p> <p>1. <input checked="" type="checkbox"/> MASTER PLUMBER</p> <p>2. <input type="checkbox"/> OIL BURNERMAN</p> <p>3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC</p> <p>4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE</p> <p>5. <input type="checkbox"/> PROPERTY OWNER</p> <p>LICENSE # <u>2,0,5,9,1</u></p>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
<input type="checkbox"/> <b>HOOK-UP:</b> to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b> <input type="checkbox"/> <b>HOOK-UP:</b> to an existing subsurface wastewater disposal system.		Hosebib / Sillcock	1	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
<input type="checkbox"/> <b>PIPING RELOCATION:</b> of sanitary lines, drains, and piping without new fixtures.		Urinal	1	Sink
		Drinking Fountain	1	Wash Basin
<input type="checkbox"/> <b>TRANSFER FEE</b> [\$.00]		Indirect Waste	1	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator		Dish Washer
		Roof Drain		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____	1	Water Heater
		Fixtures (Subtotal) Column 2	0 17	Fixtures (Subtotal) Column 1
			0 1	Fixtures (Subtotal) Column 2
			0 8	<b>Total Fixtures</b>
			54	Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
			64	<b>Permit Fee (Total)</b>

**SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE**

TOWN COPY



# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications: PEAKS IS.

Date 12-31-07  
 Permit # 2007-4940  
 CBL# 084 201 9001

LOCATION: 41 ADAM ST. METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Macy OR ME  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

							TOTAL EACH FEE	
OUTLETS	<u>12</u>	Receptacles	<u>8</u>	Switches	<u>2</u>	Smoke Detector		.20
FIXTURES		Incandescent	<u>4</u>	Fluorescent		Strips		.20
SERVICES		Overhead		Underground		TTL AMPS <800		15.00
		Overhead		Underground		>800		25.00
Temporary Service		Overhead		Underground		TTL AMPS		25.00
								25.00
METERS		(number of)						1.00
MOTORS		(number of)						2.00
RESID/COM		Electric units						1.00
HEATING		oil/gas units		Interior		Exterior		5.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens		2.00
		Insta-Hot	<u>1</u>	Water heaters		Fans		2.00
	<u>1</u>	Dryers		Disposals		Dishwasher		2.00
		Compactors		Spa	<u>1</u>	Washing Machine		2.00
		Others (denote)						2.00
MISC. (number of)		Air Cond/win						3.00
		Air Cond/cent				Pools		10.00
		HVAC		EMS		Thermostat		5.00
		Signs						10.00
		Alarms/res						5.00
		Alarms/com						15.00
		Heavy Duty(CRKT)						2.00
		Circus/Carnv						25.00
		Alterations						5.00
		Fire Repairs						15.00
		E Lights						1.00
		E Generators						20.00
PANELS		Service		Remote		Main		4.00
TRANSFORMER		0-25 Kva						5.00
		25-200 Kva						8.00
		Over 200 Kva						10.00
TOTAL AMOUNT DUE								<u>45.00</u>
MINIMUM FEE/COMMERCIAL 55.00							MINIMUM FEE	<u>45.00</u>

CONTRACTORS NAME PAUL ERIC MASTER LIC. # 7448  
 ADDRESS 58 ELIZABETH ST LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 6535396-766-2482

SIGNATURE OF CONTRACTOR Paul Eric







**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

June 21 2008

Received from M C [unclear]

Location of Work 41 Colman St.

Cost of Construction \$ 30,000.00

Permit Fee \$ 233.00 # owe 29.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 084 2 019

Check #: 2290 Total Collected \$ 204.00

**THIS IS NOT A PERMIT**

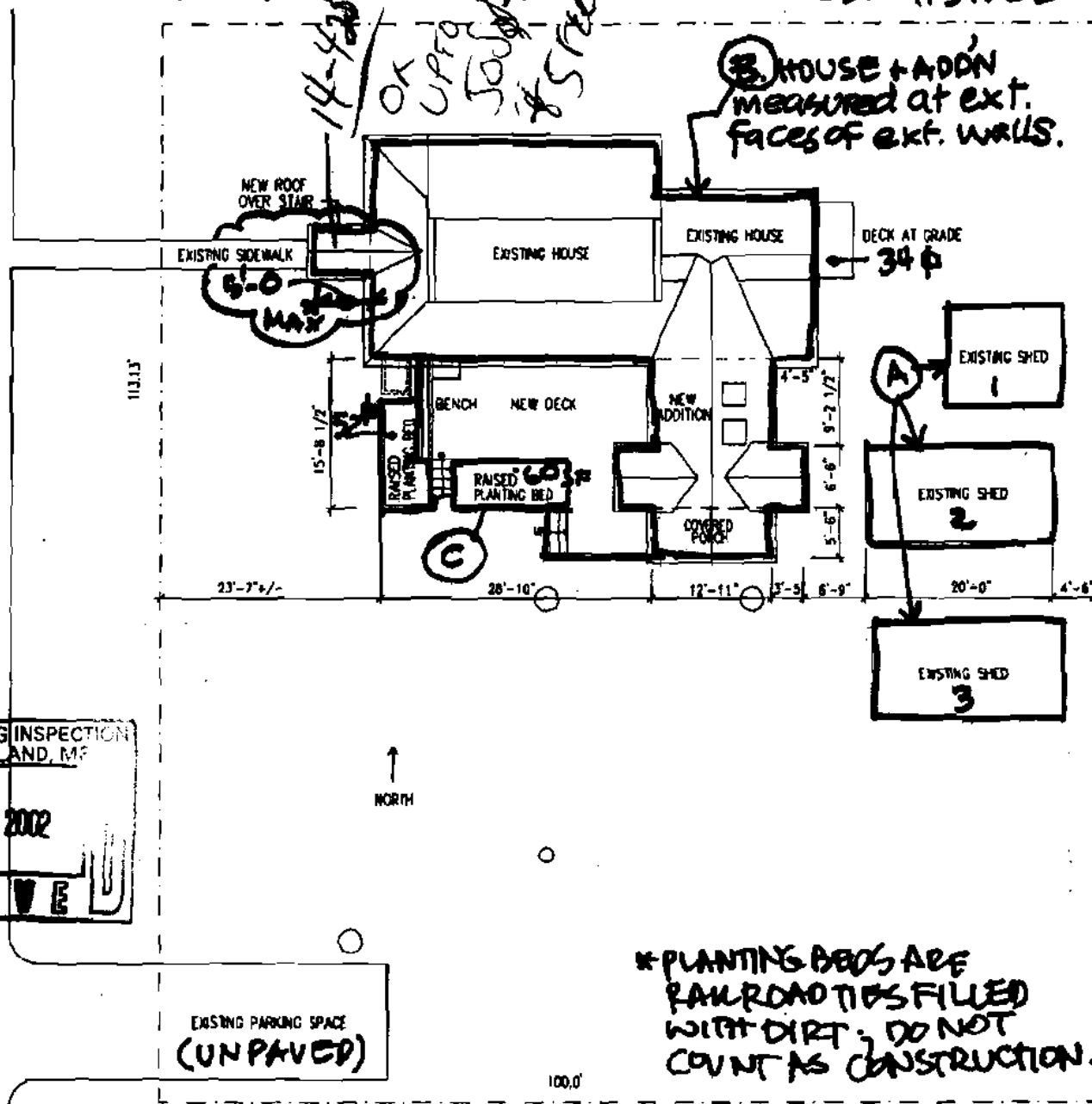
No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*[Handwritten signature]*

① LOT COVERAGE CALCULATIONS (DONE USING AUTOCAD AREA COMMAND + OUTLINES). 7.31.02

LOT: 11,313 SF  
20% OF  $\sigma = 2262'$



- A. 3 SHEDS 538  $\square$
- B HOUSE WITH PORCH + ADDITION 1326  $\square$
- C. DECK + STAIRS + PLANTERS 467  $\square$

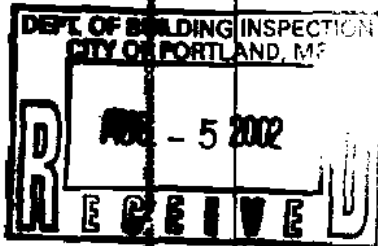
TOTAL PROPOSED COVERAGE 2331  $\square$

2331 PROPOSED  
- 2262 ALLOWED  
69  $\square$  OVER

ADD DECK + GRADE + 34  $\square$   
SUBTRACT PLANTING BEDS\* - 112  
→ TOTAL PROPOSED COVERAGE:  
2253  $\square$  < 2263  $\square$ !

\* PLANTING BEDS ARE RAILROAD TIES FILLED WITH DIRT; DO NOT COUNT AS CONSTRUCTION.

SITE PLAN	
ORME HOUSE 41 ADAMS STREET PEAKS ISLAND, MAINE	
SCALE: 1/4" = 1'-0"	DATE: 7/22/02
ELIZABETH NEWMAN, ARCHITECT 890 WEST END AVE., 7TH NEW YORK, NY 10008	A-1



\*  
↑  
FAXED A,  
SECOND TIME. 8.2.02  
AS PER CONVERSATION WITH J.A.,  
ROOF OVER EX'G FRONT STAIR  
PROJECTS 5'-0" MAX, COVERS < 50  
SF.  
THANKS!

Elizabeth Newman, Architect  
925 West End Avenue  
New York, NY 10025  
Tel/Fax 212.698.0538  
liznewman@attglobal.net

FAX

To: MIKE NUGENT/JODINE ADAMS

Date 8.2.02 Fax no. 207.874.8716 Total # of pp. 2

Project 41 Adams/Peaks Re: lot coverage

Note: In response to your call,  
I am faxing the revised lot  
coverage calculations.

You will see that the coverage  
is slightly under the  
allowed 20%.

Please confirm with Mike at  
home (as he requested) and let  
me know today if OK, as I  
will be away next week.

No change to design; just  
omitting planters  
from coverage  
Thanks! EN

Alternate fax number: 720.293.0153



Pmtf

12890

New

02-0687

41

Adams St

Hold

Additions - Dwellings

084 Z019001

3

\$30,000.00

06/28/2002

needs: Guard Details, Greater depth for footings. . Multiple 2"x 6" glrdrs have excessive spans  
actual lot dimensions, plot plan and assessor's records don't agree. Septic location?  
Left Message for owner, this date MJN New plans Building wise are OK MJN

mjn

07/22/2002

Need scale of drawings to determine setback conformity

mjn

07/31/2002

Low coverage appears to be excessive

mjn

my

06/24/2002

mjn

06/28

02-0687

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review for New Detached Single Family Dwelling, Additions/Alterations/Accessory Structures, Multi-Family, Commercial Interior Rehab (other than additions), Change of Use**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 41 Adams Street, Peaks Island

Total Square Footage of Proposed Structure \_\_\_\_\_ Square Footage of Lot 11,313

Tax Assessor's Chart, Block & Lot Number 084 2 819 Owner: Macey C. Orme Telephone#: 207. 766.2380  
Chart# \_\_\_\_\_ Block# 2 Lot# 2D

Lessee/Buyer's Name (If Applicable) N/A Owner's/Purchaser/Lessee Address: 41 Adams Peaks Island Cost Of Work: \$29000 Fee: \$204

Current use: House (single fam.) Proposed use: house (single fam)

Project description: Partial renovation of first floor; relocation of kitchen to new addition; new deck.

Contractor's Name, Address & Telephone PO BOX 143 207.766.2380 Macey C. Orme Peaks Island ME 04108 Rec'd By: \_\_\_\_\_

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

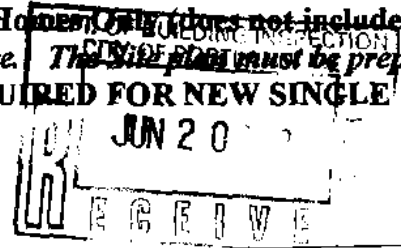
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

**YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:**

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached)

*By Mail*

A "minor/minor" site plan review is required for New Single Family Homes Only (does not include additions, alterations or accessory structures) prior to permit issuance. The site plan must be prepared and sealed by a registered land surveyor. **FOUR COPIES ARE REQUIRED FOR NEW SINGLE FAMILY HOMES**



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED**

**A complete plot plan (Site Plan) includes:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**Building Plans are required for all construction, including interior rehab (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

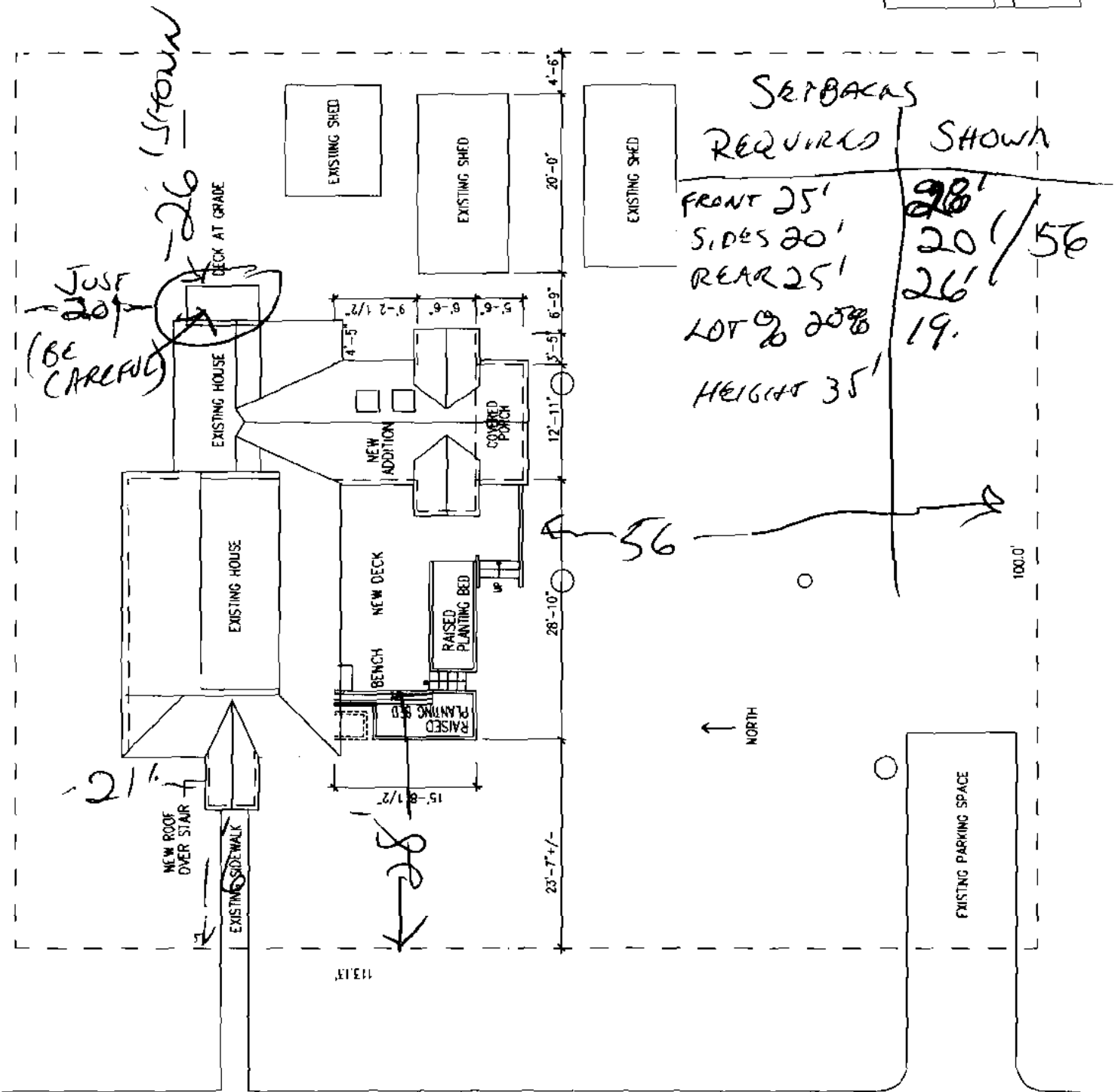
Signature of applicant: <b>MENewman</b>	Date: <b>5.13.02</b>
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**AUTOCAD OR ADOBE FORMAT REQUIRED FOR ALL COMMERCIAL PROJECTS**

**766-2380**

SITE PLAN	
ORME HOUSE	
41 ADAMS STREET	
PEAKS ISLAND, MAINE	
SCALE: 1/8"=1'-0"	DATE: 7/25/2008
ELIZABETH NORMAN, ARCHITECT	
225 WEST END AVE, #70	
NEW YORK, NY 10026	
A-1	





**Elizabeth Newman, Architect**

825 West End Avenue  
New York, NY 10025  
Tel/fax 212.868.0536  
liznewman@attglobal.net

FAX

To: Mike Nugent

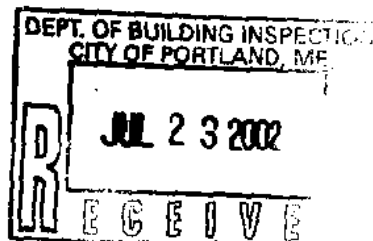
Date 7.22.02 Fax no. 207-874-8716 Total # of pp. 2

Project Orme home Re: Site plan scale  
41 Adams - Peaks

Note:

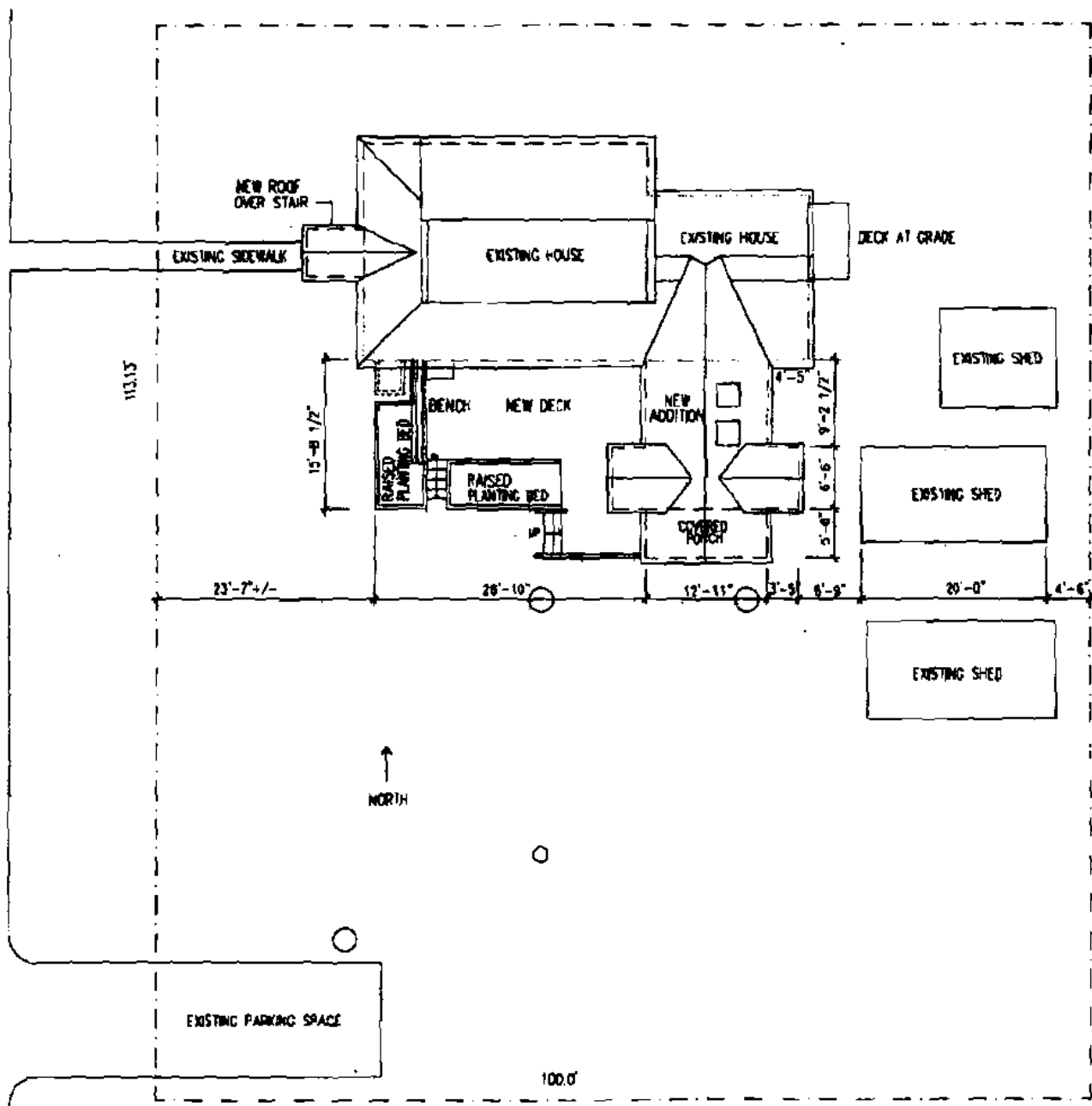
Mike, per my phone message,  
this is the site plan  
replotted at 1/8" scale.  
Thankst. liz

Alternate fax number: 720.293.0153



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ADAMS STREET (GRAVEL AREA)



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

**JUL 23 2002**

RECEIVED

**SITE PLAN**  
ORME HOUSE  
41 ADAMS STREET  
PEAKS ISLAND, MAINE

Scale: 1/8"=1'-0" Date: 7/22/02

ELIZABETH NEWMAN, ARCHITECT  
225 WEST END AVE., 7TH  
NEW YORK, NY 10001

**A-1**

Pmt

12890

New

02-0687

41

Adams St

Hold

Additons - Dwellings

084 Z019001

3

\$30,000.00

06/28/2002

needs: Guard Details, Greater depth for footings, . Multiple 2"x 6" girders have excessive spans actual lot dlmsions. plot plan and assessor's records don't agree, Septic location? Left Message for owner, this date MJN New plans Building wise are OK MJN

mjn

07/22/2002

Need scale of drawings to determine setback conformity

mjn

imy

06/24/2002

mjn

06/25

Elizabeth Newman  
925 West End Avenue #7D  
New York, NY 10025

Mr. Michael Nugent  
Portland City Hall  
38~~9~~ Congress Street  
Portland, ME 04101

July 13, 2002

Re: Orme house addition application—revised  
41 Adams Street, Peaks Island  
Block Z, Lots 19-~~20~~

Dear Mr. Nugent:

Attached please find the drawings for the Orme house addition, revised per your comments by phone to Macey Orme and myself after our first filing on June 17.

1. Drawing A-1: Site plan has been revised to show north-south property line length as 113.13, as on the deed.
2. Drawing A-2: Structural members have been revised. Deck girders are triple 2x12's. Girders under 1-story portion are triple 2x8's. Joists under this area are also 2x8's. Concrete footings are 48" deep.
3. Drawing A-3: As shown, the deck is surrounded by raised planting beds 15" below deck level and 4' wide. The height from the planting beds to grade is 15" maximum.
4. Fee: A check for \$29.00 is attached to cover the increase in filing fees. This is in addition to the check for \$204 submitted in June.
5. Ms. Orme verified that the house is on the sewer system. No septic tank.

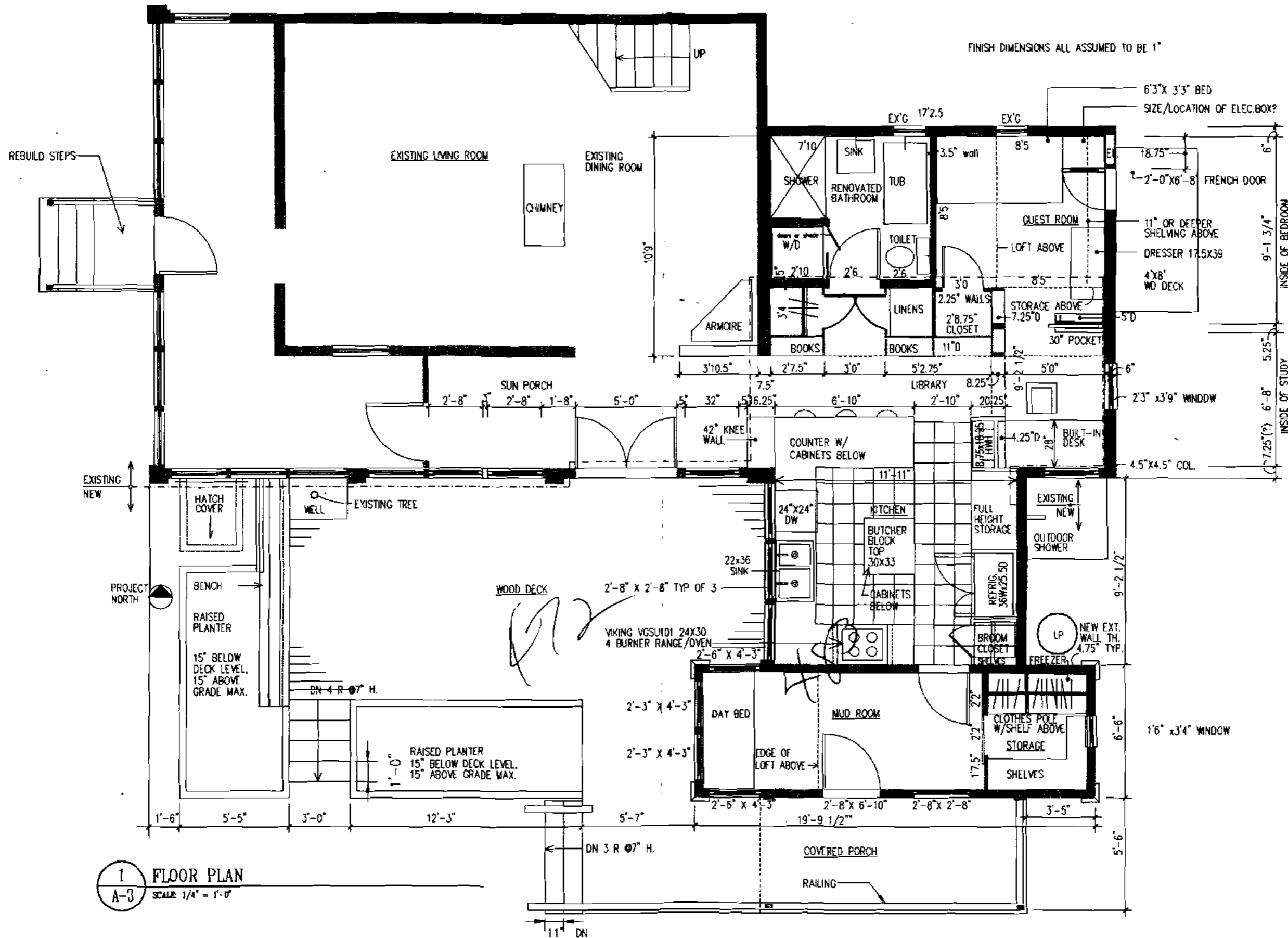
To my knowledge, the application should now be complete and acceptable to you. Please do not hesitate to call me if you have any questions or comments. 212.866.0536.

Sincerely yours,



Elizabeth Newman



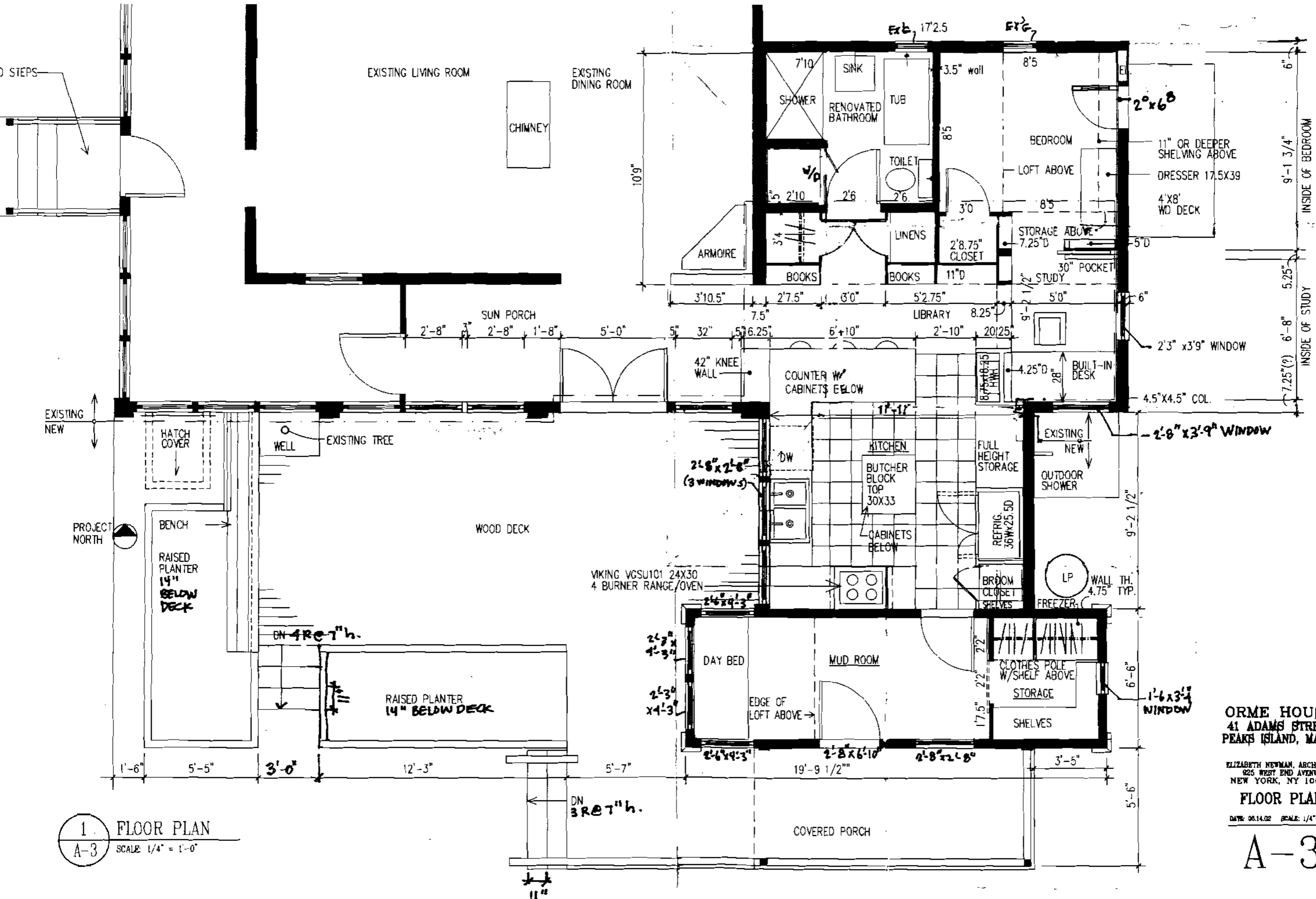


1 FLOOR PLAN  
A-3 SCALE 1/4" = 1'-0"

ORME HOUSE  
41 ADAMS STREET  
PEARS ISLAND, MAINE

ELIZABETH NEWMAN, ARCHITECT  
925 WEST END AVENUE  
NEW YORK, NY 10026

FLOOR PLAN  
DATE 08-14-02 SCALE 1/4" = 1'-0"



1 FLOOR PLAN  
A-3 SCALE: 1/4" = 1'-0"

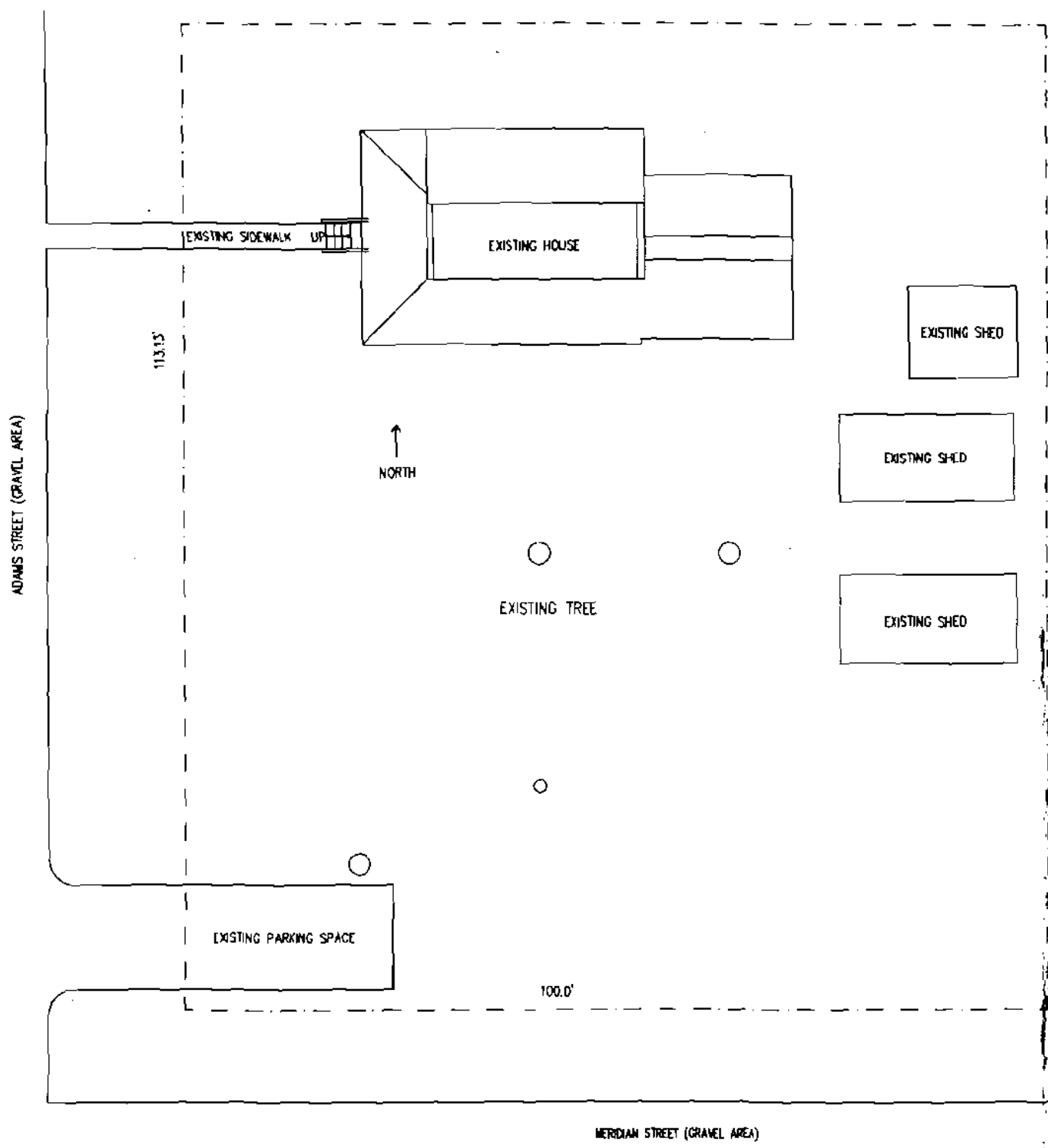
ORME HOUSE  
41 ADAMS STREET  
PEAKS ISLAND, MAINE

ELIZABETH NEWMAN, ARCHITECT  
925 WEST END AVENUE  
NEW YORK, NY 10025

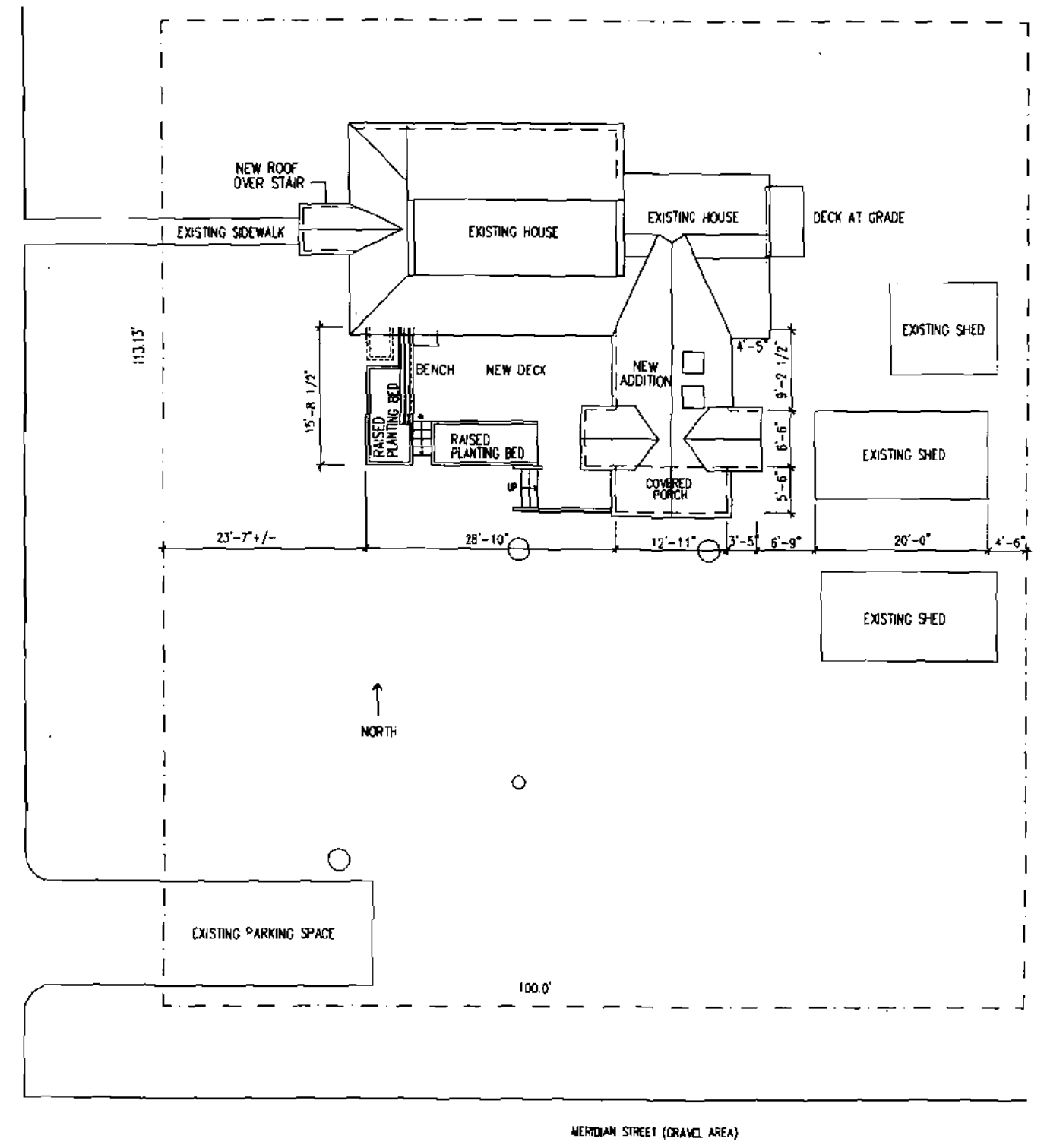
FLOOR PLAN

DATE: 06.14.02 SCALE: 1/4" = 1'-0"

A-3



EXISTING SITE PLAN



PROPOSED SITE PLAN

*IR2 ZONE REQUIRED*  
 FRONT ~~25'~~  
 SIDES 20'  
 REAR 25'  
 3/0 cot 2020

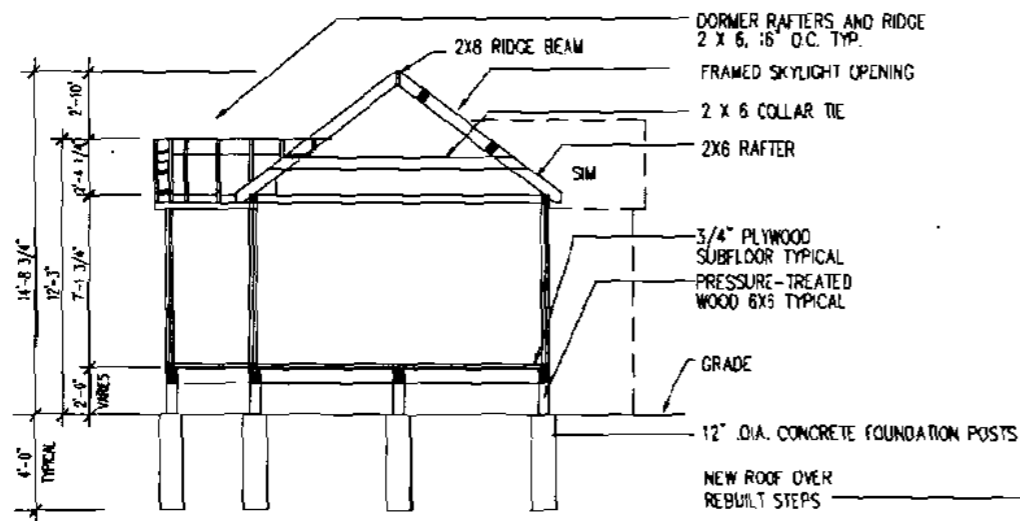
41 ADAMS STREET  
PEAKS ISLAND, MAINE

SITE PLAN  
ORME HOUSE

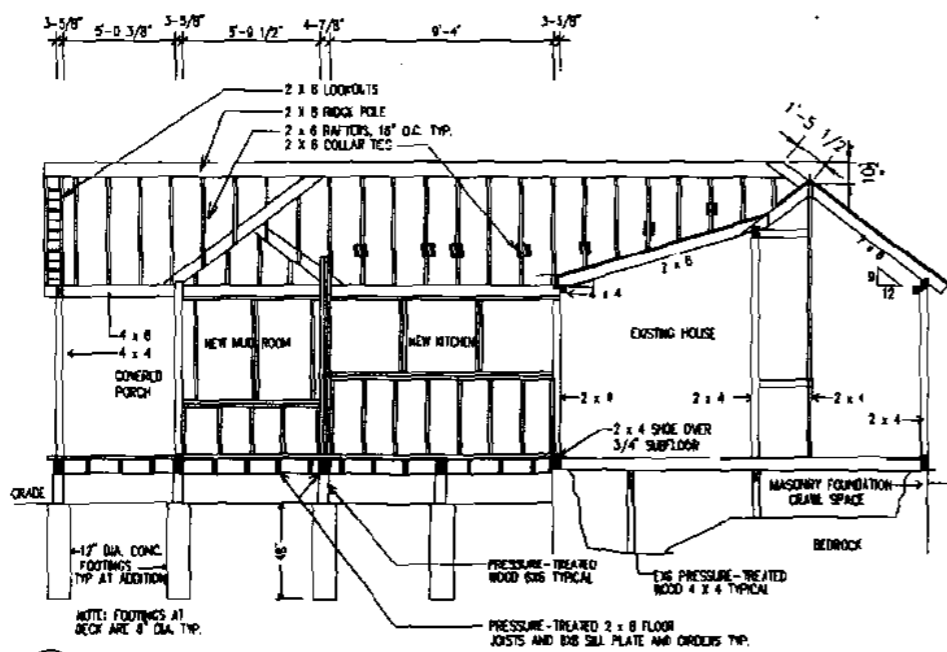
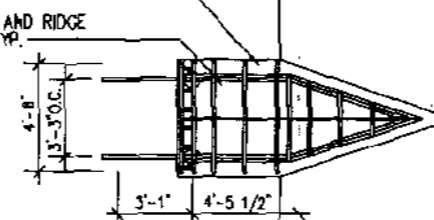
ELIZABETH NEWMAN, ARCHITECT  
625 WEST END AVENUE  
NEW YORK, NY 10025

A-1

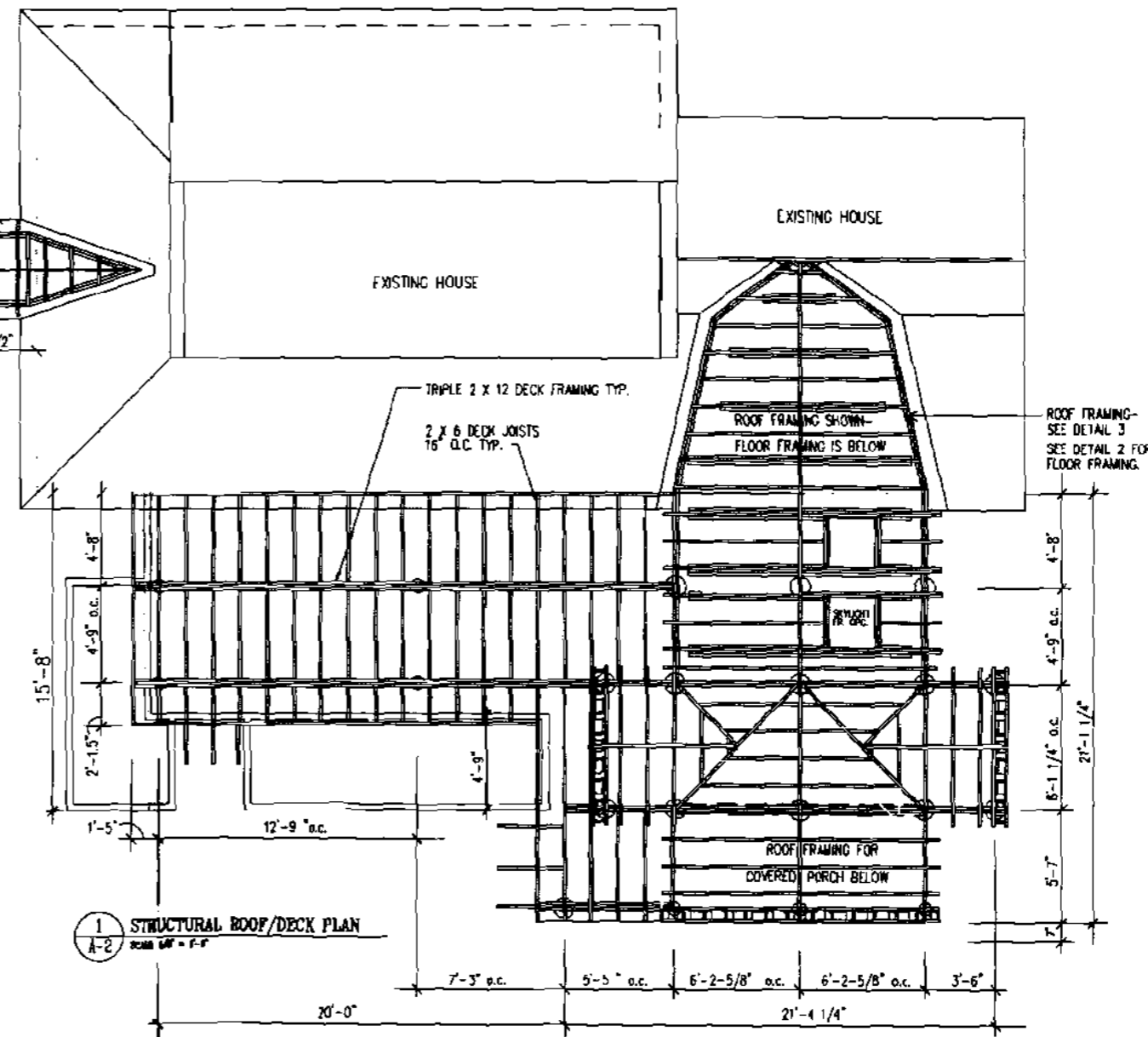
DATE 07.16.02 SCALE 3/32" = 1'-0"



3 STRUCTURAL SECTION--LOOKING NORTH  
SCALE 1/8" = 1'-0"



2 STRUCTURAL SECTION--LOOKING WEST  
SCALE 1/8" = 1'-0"



1 STRUCTURAL ROOF/DECK PLAN  
SCALE 3/8" = 1'-0"

NOTE: FLOOR AND DECK JOISTS SHALL BE JOINED WITH METAL HANGERS

ORME HOUSE  
41 ADAMS STREET  
PEAKS ISLAND, MAINE

ELIZABETH NEWMAN, ARCHITECT  
925 WEST END AVENUE  
NEW YORK, NY 10025

STRUCTURAL PLAN  
AND SECTION

A-2

DATE 07.12.2008 SCALE 1/8" = 1'-0"