

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>	
Permit No: 02-0687 <i>AUG - 6 2002</i>	Issue Date: - 6 2002
CBL: 084 Z019001	

Location of Construction: 41 Adams St	Owner Name: Orme M C	Owner Address: Po Box 445 <b>CITY OF PORTLAND</b>	Phone: 207-766-2380
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <i>IR-2</i>

Past Use: Single Family	Proposed Use: Single Family with renovated first fl. Relocation of kitchen and new deck.	Permit Fee: \$233.00	Cost of Work: \$30,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i>	

Proposed Project Description:  
Construct a new deck/renovation of first fl., relocate kitchen.

Signature: \_\_\_\_\_ Signature: *[Signature]* *8/5/02*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: jmy	Date Applied For: 06/20/2002	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland  <input type="checkbox"/> Wetland  <input type="checkbox"/> Flood Zone  <input type="checkbox"/> Subdivision  <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>  Date: _____	Zoning Appeal <input type="checkbox"/> Variance  <input type="checkbox"/> Miscellaneous  <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Interpretation  <input type="checkbox"/> Approved  <input type="checkbox"/> Denied  Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark  <input type="checkbox"/> Does Not Require Review  <input type="checkbox"/> Requires Review  <input type="checkbox"/> Approved  <input type="checkbox"/> Approved w/Conditions  <input type="checkbox"/> Denied  Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

LOT COVERAGE CALCULATIONS (DONE USING AUTOCAD AREA COMMAND + OUTLINES). 7.31.02

LOT: 11,313 SF  
20% OF  $\varnothing = 2262^+$

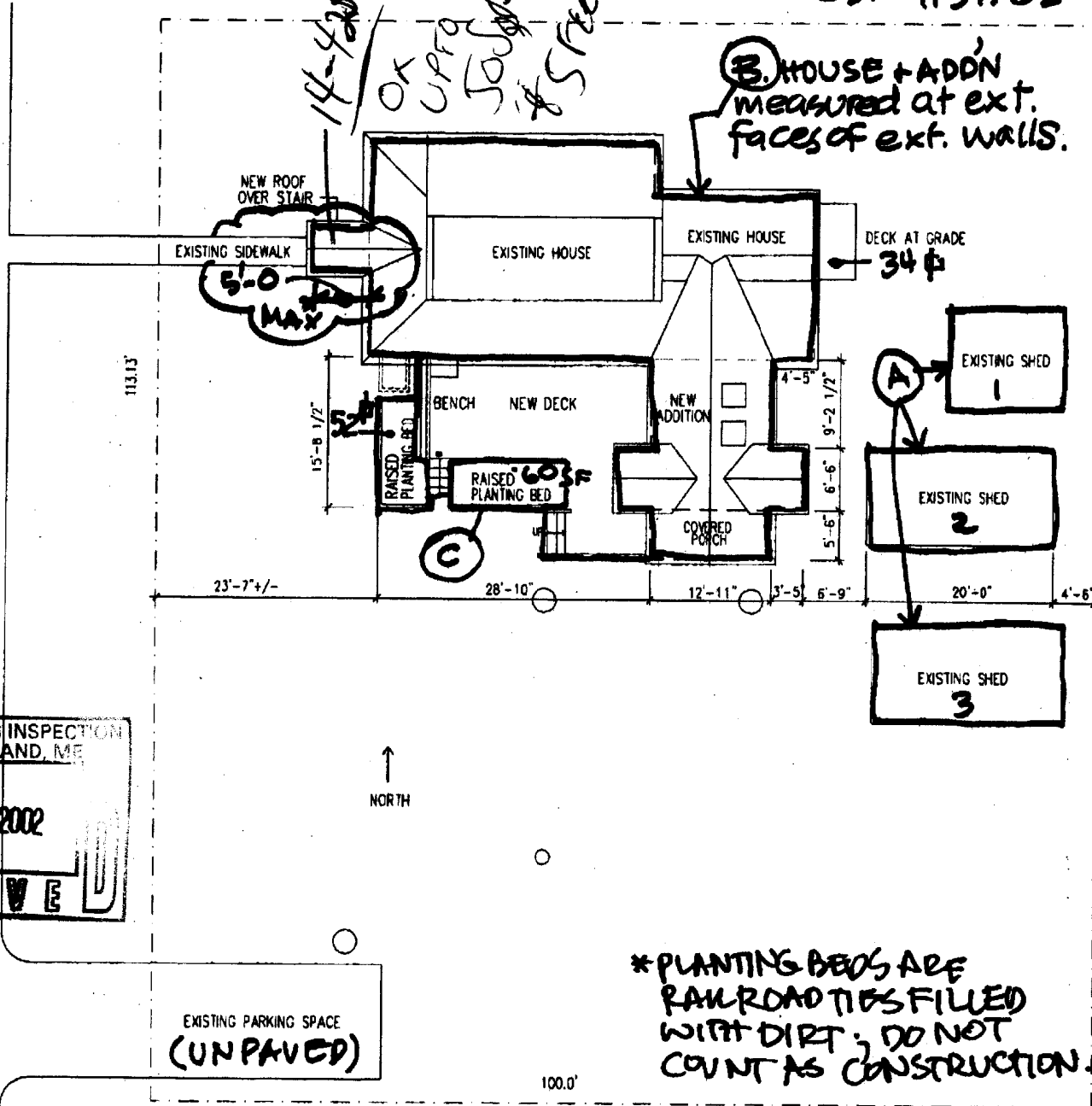
- A. 3 SHEDS 538  $\varnothing$
- B. HOUSE WITH PORCH + ADDITION 1326  $\varnothing$
- C. DECK + STAIRS + PLANTERS 467  $\varnothing$

TOTAL PROPOSED COVERAGE 2331  $\varnothing$

2331 PROPOSED  
- 2262 ALLOWED  
69  $\varnothing$  OVER

ADD DECK + GRADE +34 SF  
SUBTRACT PLANTING BEDS\* -112

→ TOTAL PROPOSED COVERAGE:  
2253  $\varnothing$  < 2263  $\varnothing$



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
AUG - 5 2002  
**RECEIVED**

SITE PLAN  
ORME HOUSE  
41 ADAMS STREET  
PEAKS ISLAND, MAINE  
SCALE: 1/16"=1'-0" DATE: 7/22/2002  
ELIZABETH NEWMAN, ARCHITECT  
925 WEST END AVE. #7D  
NEW YORK, NY 10020  
A-1



FAXED A,  
 SECOND TIME. 8.2.02  
 AS PER CONVERSATION WITH J.A.,  
 ROOF OVER EX'G FRONT STAIR  
 PROJECTS 5'-0" MAX, COVERS < 50  
 SF.

THANKS!

Elizabeth Newman, Architect  
 925 West End Avenue  
 New York, NY 10025  
 Tel/fax 212.866.0536  
 liznewman@attglobal.net

FAX

To: MIKE NUGENT/JODINE ADAMS

Date 8.2.02 Fax no. 207.874.8716 Total # of pp. 2

Project 41 Adams/peaks Re: lot coverage

Note: In response to your call,  
 I am faxing the revised lot  
 coverage calculations.

You will see that the coverage  
 is slightly under the  
 allowed 20%.

Please confirm with Mike at  
 home (as he requested) and let  
 me know today if OK, as I  
 will be away next week

No change to design; just  
 omitting planters  
 from coverage  
 Thanks! UN

Alternate fax number: 720.293.0153

Delete	Schedule	Add	End	Images	Print Permit	Print C of O	Print Insp
Prmt	Text93	12890		Constr Type	New	Num1	2

Permit Nbr	02-0687	Location of Construction	41	Adams St	Appl. Date
Status	Hold	Permit Type	Additions - Dwellings		Issue Date
CBL	084 Z019001	Territory Nbr	3	Estimated Cost	\$30,000.00
					Date Closed

Comment Date	Comment	Add	Delet	Save
06/28/2002	needs: Guard Details, Greater depth for footings, , Multiple 2"x 6" girders have excessive spans actual lot dimensions, plot plan and assessor's records don't agree, Septic location? Left Message for owner, this date MJN New plans Building wise are OK MJN			
	Name	mjn	Follow Up Date	
				Completed
07/22/2002	Need scale of drawings to determine setback conformity			
	Name	mjn	Follow Up Date	
				Completed
07/31/2002	Low coverage appears to be excessive			
	Name	mjn	Follow Up Date	
				Completed

CreatedBy	jmy	CreateDate	06/24/2002	ModBy	mjn	ModDate	06/28
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02-0687

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review for New Detached Single Family Dwelling, Additions/Alterations/Accessory Structures, Multi-Family, Commercial Interior Rehab (other than additions), Change of Use**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 41 Adams Street, Peaks Island

Total Square Footage of Proposed Structure \_\_\_\_\_ Square Footage of Lot 11,313

Tax Assessor's Chart, Block & Lot Number 084 2 019 Owner: Macey C. Orme Telephone# 207. 766.2380  
Chart# \_\_\_\_\_ Block# Z Lot# 20 *Pr. 019;*

Lessee/Buyer's Name (If Applicable) N/A Owner's/Purchaser/Lessee Address: 41 Adams Peaks Island Cost Of Work: \$39,000 Fee: \$204

Current use: House (single fam.) Proposed use: house (single fam.)

Project description: Partial renovation of first floor; relocation of kitchen to new addition; new deck.

Contractor's Name, Address & Telephone PO BOX 143 207.766.2380 Macey C. Orme Peaks Island ME 04108 Rec'd By: \_\_\_\_\_

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

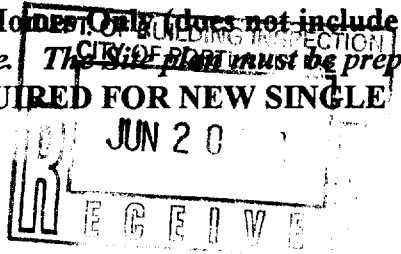
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

**YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:**

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached)

*By Mail*

A "minor/minor" site plan review is required for New Single Family Homes (does not include additions, alterations or accessory structures) prior to permit issuance. **FOUR COPIES ARE REQUIRED FOR NEW SINGLE FAMILY HOMES**



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**A complete plot plan (Site Plan) includes:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**Building Plans are required for all construction, including interior rehab (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

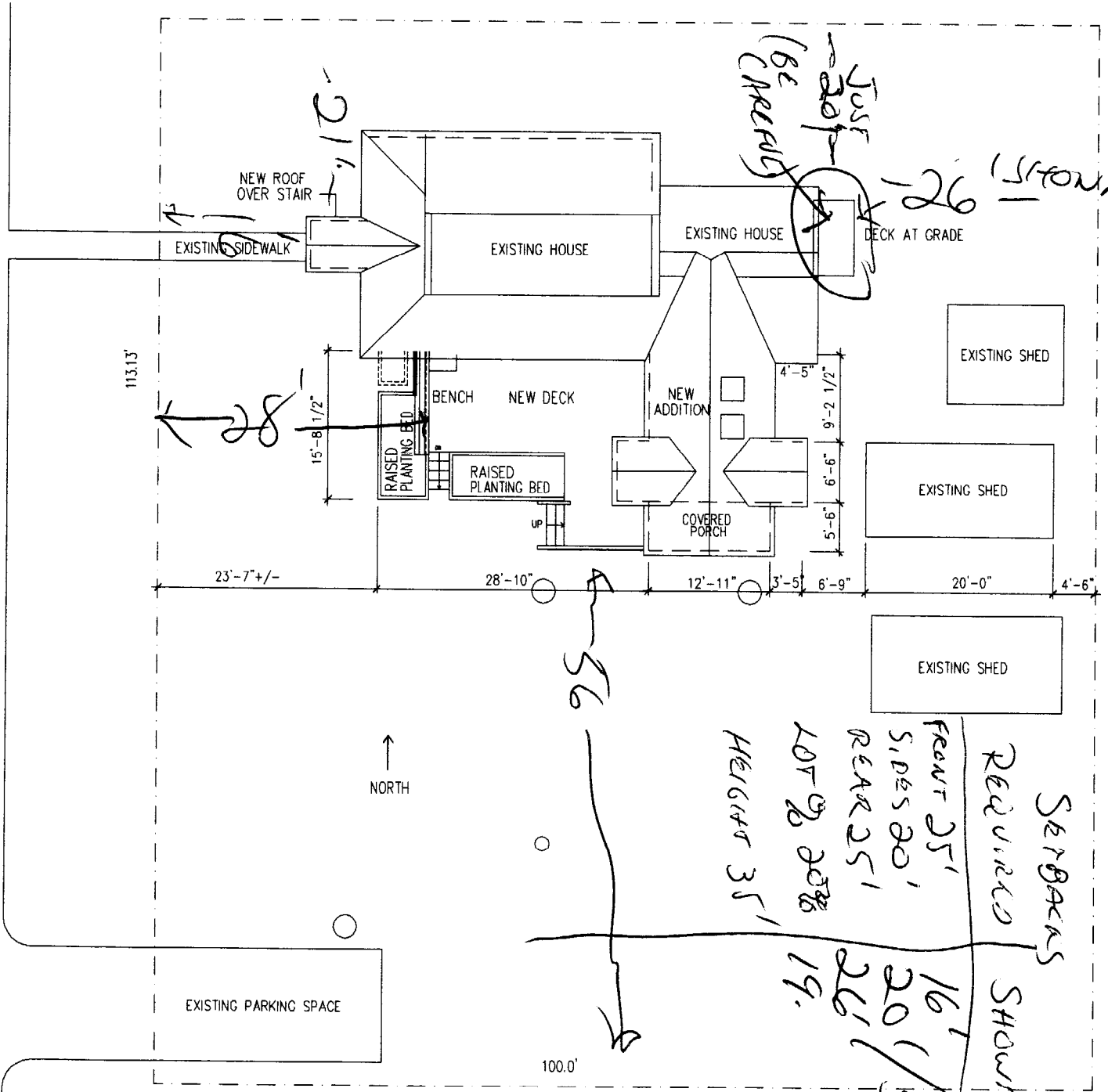
Signature of applicant: <b>MENewman</b>	Date: <b>5.13.02</b>
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**AUTOCAD OR ADOBE FORMAT REQUIRED FOR ALL COMMERICAL PROJECTS**

**766-2380**

ADAMS STREET (GRAVEL AREA)



<p><b>SITE PLAN</b>  <b>ORME HOUSE</b>          41 ADAMS STREET          PEAKS ISLAND, MAINE</p>	
<p>SCALE: 1/16"=1'-0"</p>	<p>DATE: 7/22/2002</p>
<p>ELIZABETH NEWMAN, ARCHITECT          925 WEST END AVE. #7D          NEW YORK, NY 10025</p>	<p>A-1</p>

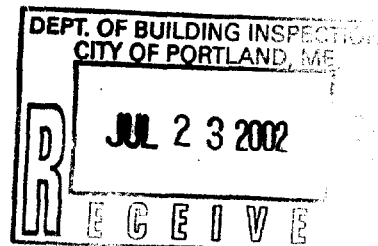
**Elizabeth Newman, Architect**  
925 West End Avenue  
New York, NY 10025  
Tel/fax 212.866.0536  
liznewman@attglobal.net

FAX

To: Mike Nugent  
Date 7.22.02 Fax no. 207-874-8716 Total # of pp. 2  
Project Orme home Re: Site plan scale  
41 Adams - Peaks  
Note: \_\_\_\_\_

Mike, per my phone message,  
this is the site plan  
replotted at 1/8" scale  
Thankst Liz

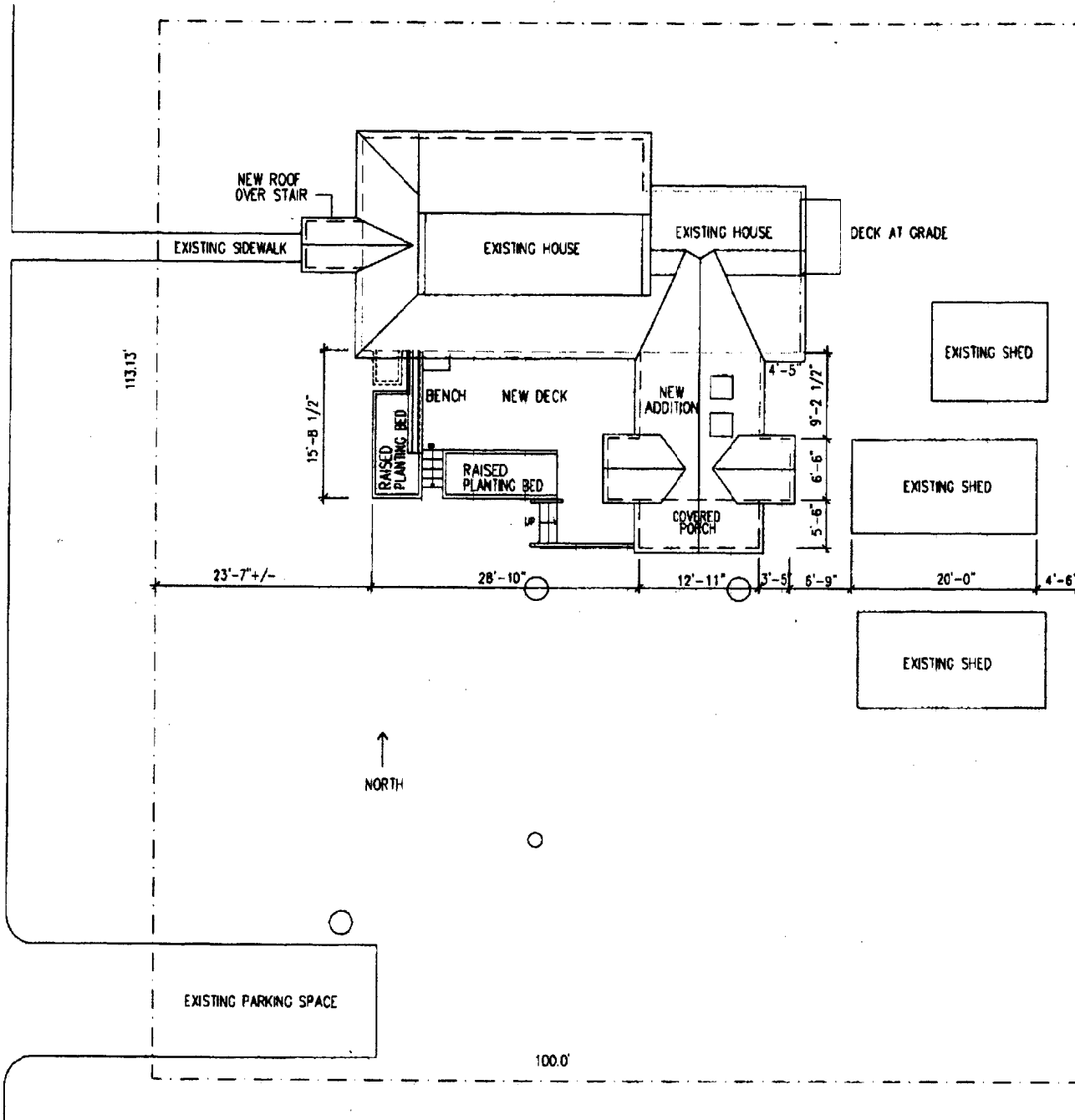
Alternate fax number: 720.293.0153





©2002 Orme and Sells/Cloutier Newman Architects. Project: 02-001. 41 Adams Street, Peaks Island, ME. 04066. 7/22/02. 4:57:22 PM. 149 Dashed 128C

ADAMS STREET (GRAVEL AREA)



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

**JUL 23 2002**

RECEIVED

**SITE PLAN**  
**ORME HOUSE**  
**41 ADAMS STREET**  
**PEAKS ISLAND, MAINE**

SCALE 1/8"=1'-0" DATE 7/22/2002

ELIZABETH NEWMAN, ARCHITECT  
 925 WEST END AVE, #7D  
 NEW YORK, NY 10026

A-1

Delete	Schedule	Add	End	Images	Print Permit	Print C of O	Print Insp
Prmt	Text93	12890	Constr Type	New	Num1	2	

Permit Nbr	02-0687	Location of Construction	41	Adams St	Appl. Date
Status	Hold	Permit Type	Additions - Dwellings		Issue Date
CBL	084 Z019001	Territory Nbr	3	Estimated Cost	\$30,000.00
				Date Closed	

Comment Date	Comment	Add	Delete	Save
06/28/2002	needs: Guard Details, Greater depth for footings, . Multiple 2"x 6" girders have excessive spans actual lot dimensions, plot plan and assessor's records don't agree, Septic location? Left Message for owner, this date MJN New plans Building wise are OK MJN			
	Name	mjn	Follow Up Date	
			Completed	
07/22/2002	Need scale of drawings to determine setback conformity			
	Name	mjn	Follow Up Date	
			Completed	

CreatedBy	Jmy	CreateDate	06/24/2002	ModBy	mjn	ModDate	06/28
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Elizabeth Newman  
925 West End Avenue #7D  
New York, NY 10025

Mr. Michael Nugent  
Portland City Hall  
385 Congress Street  
Portland, ME 04101

July 13, 2002

Re: Orme house addition application--revised  
41 Adams Street, Peaks Island  
Block Z, Lots 19-~~20~~

Dear Mr. Nugent:

Attached please find the drawings for the Orme house addition, revised per your comments by phone to Macey Orme and myself after our first filing on June 17.

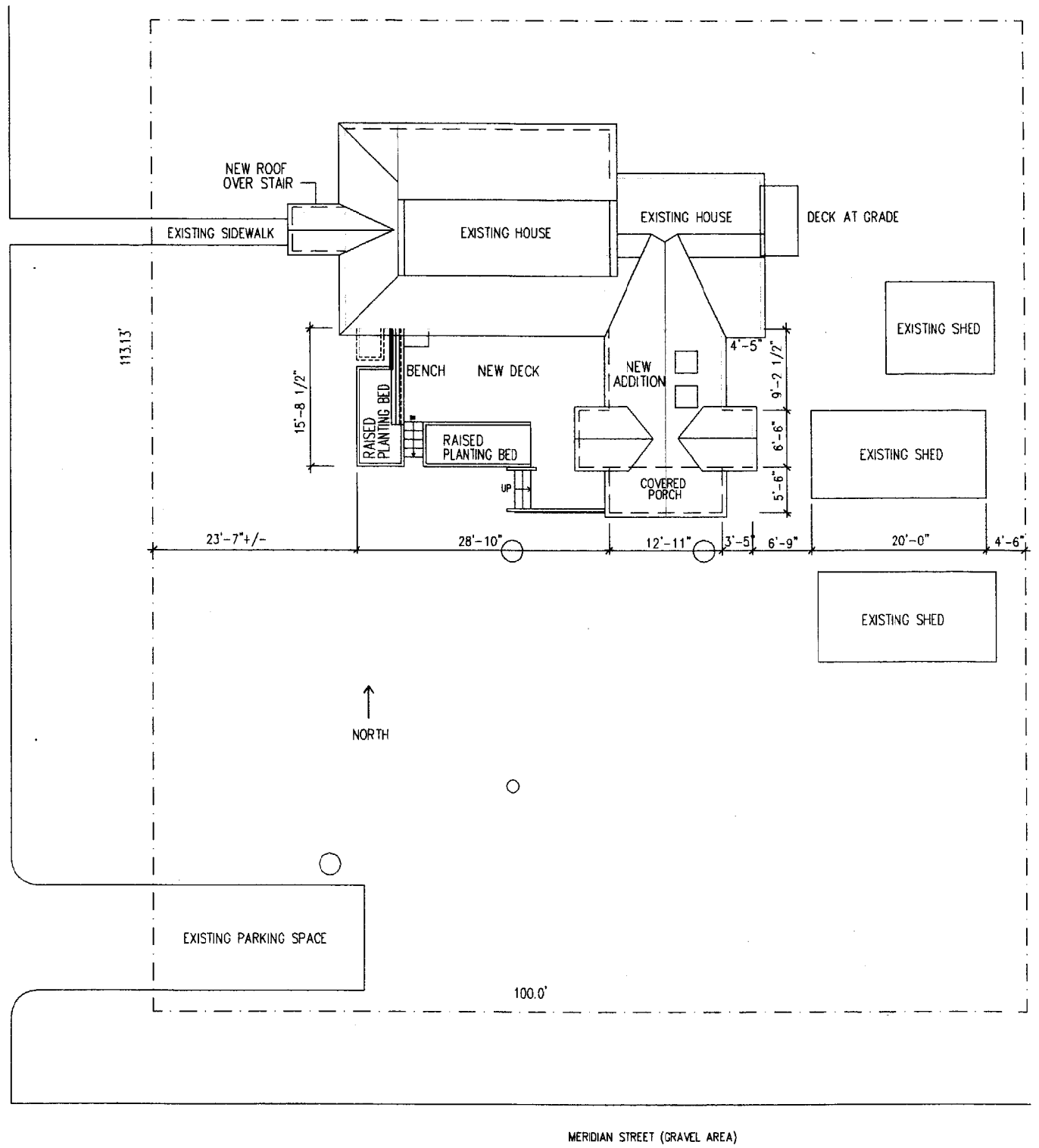
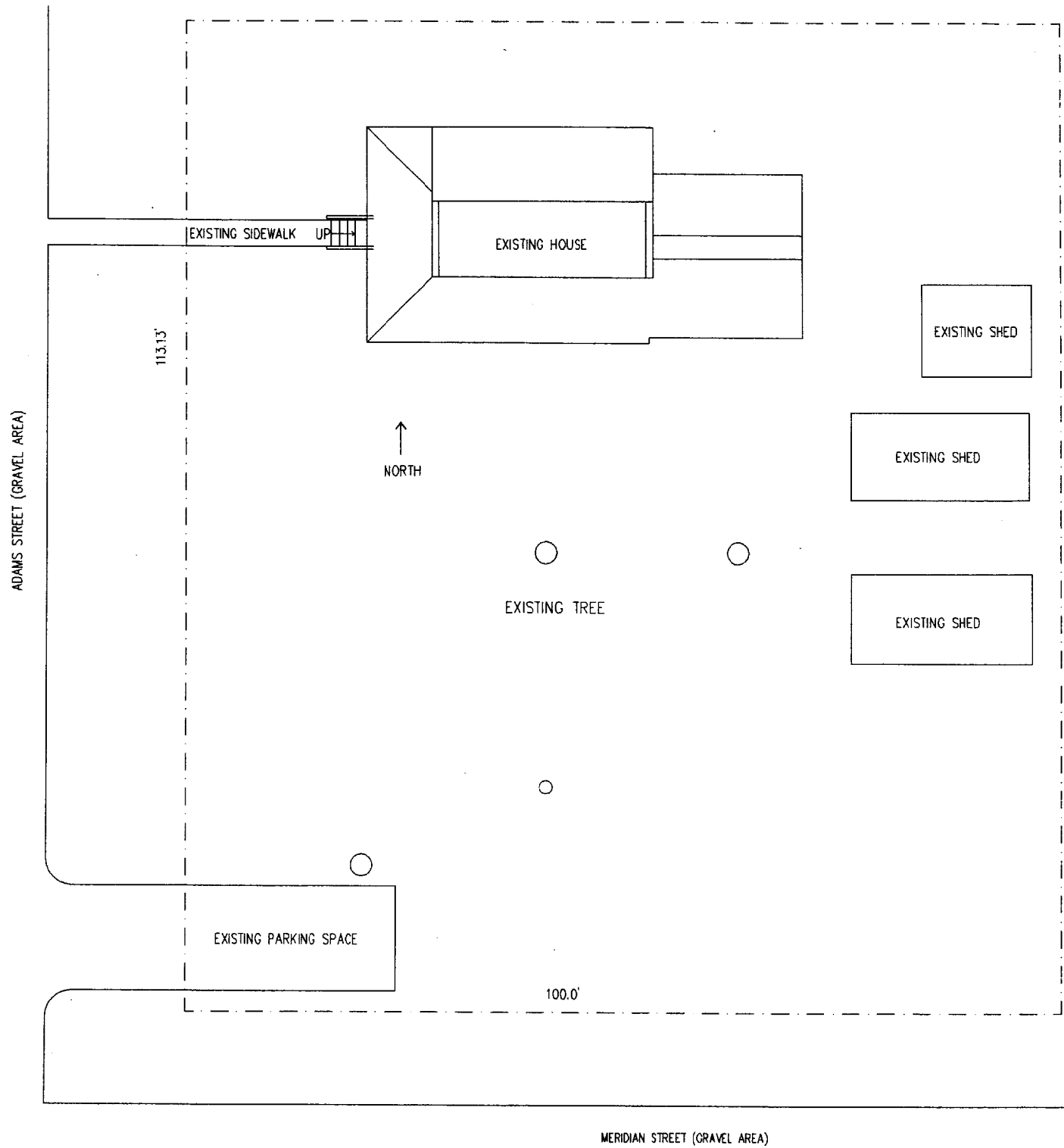
1. Drawing A-1: Site plan has been revised to show north-south property line length as 113.13, as on the deed.
2. Drawing A-2: Structural members have been revised. Deck girders are triple 2x12's. Girders under 1-story portion are triple 2x8's. Joists under this area are also 2x8's. Concrete footings are 48" deep.
3. Drawing A-3: As shown, the deck is surrounded by raised planting beds 15" below deck level and 4' wide. The height from the planting beds to grade is 15" maximum.
4. Fee: A check for \$29.00 is attached to cover the increase in filing fees. This is in addition to the check for \$204 submitted in June.
5. Ms. Orme verified that the house is on the sewer system. No septic tank.

To my knowledge, the application should now be complete and acceptable to you. Please do not hesitate to call me if you have any questions or comments. 212.866.0536.

Sincerely yours,



Elizabeth Newman



EXISTING SITE PLAN

*IR2 ZONE REQUIRED*

FRONT	25' <del>30'</del>
SIDES	20'
REAR	25'

PROPOSED SITE PLAN

41 ADAMS STREET  
PEAKS ISLAND, MAINE

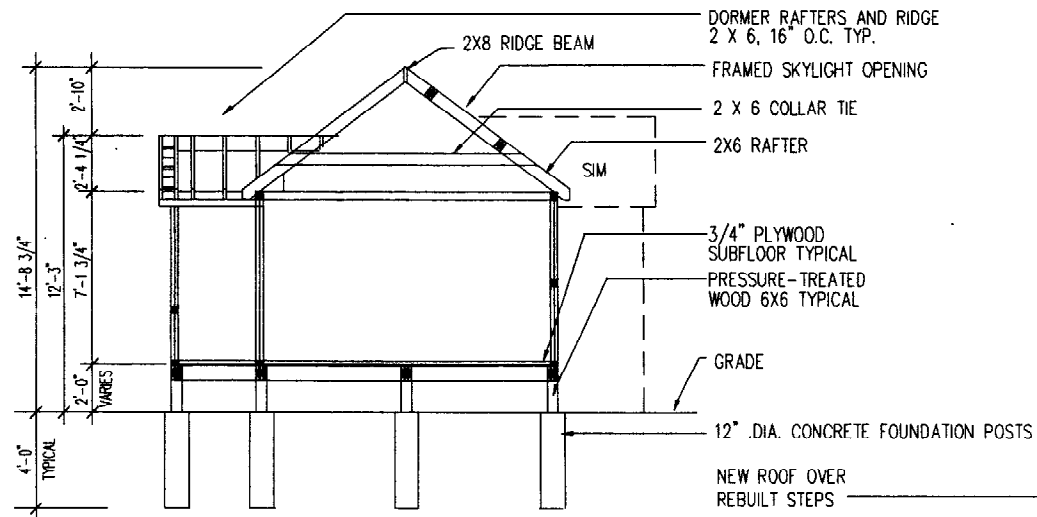
SITE PLAN  
ORME HOUSE

ELIZABETH NEWMAN, ARCHITECT  
925 WEST END AVENUE  
NEW YORK, NY 10025

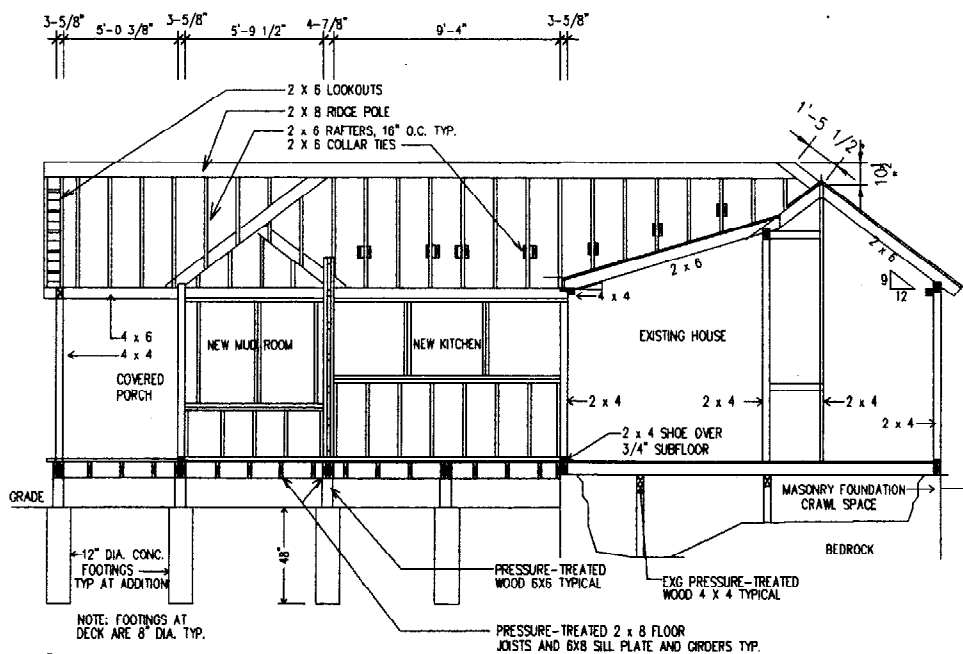
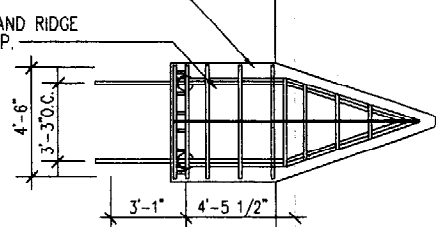
A-1

DATE: 07.12.02 SCALE: 3/32"=1'-0"

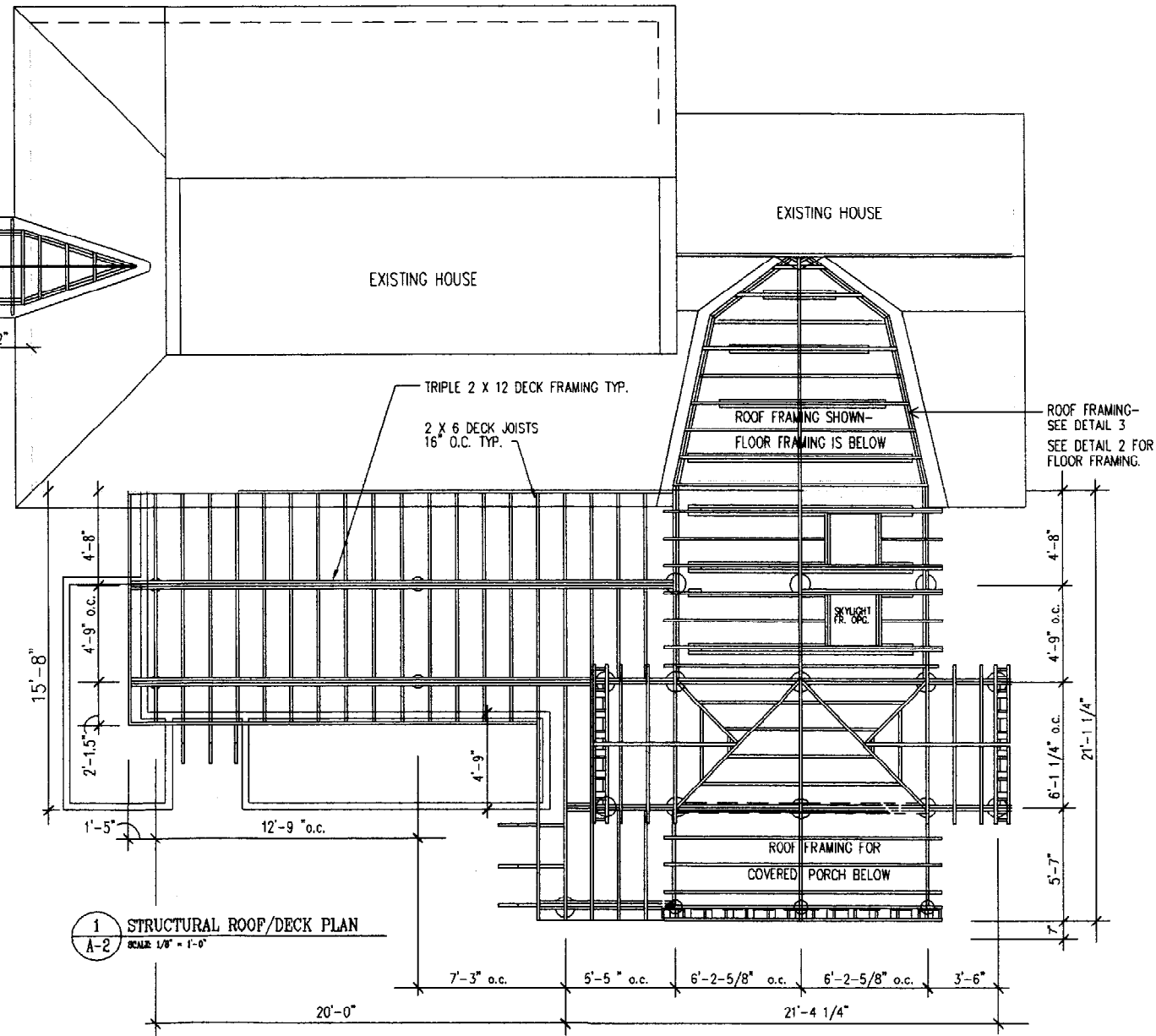
*J. COR 2020*



3 STRUCTURAL SECTION--LOOKING NORTH  
A-2 SCALE 1/8" = 1'-0"



2 STRUCTURAL SECTION--LOOKING WEST  
A-2 SCALE 1/8" = 1'-0"



1 STRUCTURAL ROOF/DECK PLAN  
A-2 SCALE 1/8" = 1'-0"

NOTE: FLOOR AND DECK JOISTS SHALL BE JOINED WITH METAL HANGERS

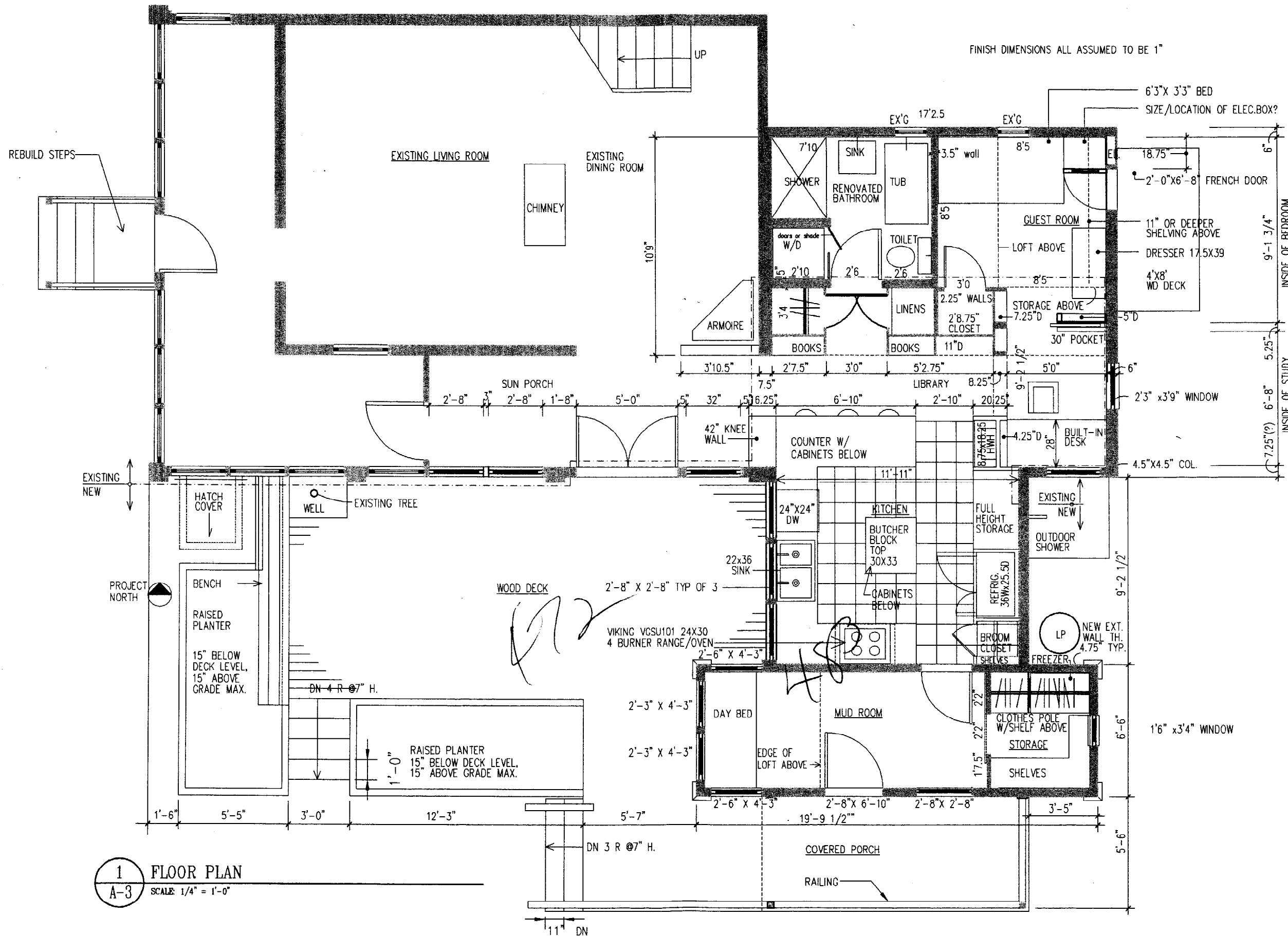
ORME HOUSE  
41 ADAMS STREET  
PEAKS ISLAND, MAINE

STRUCTURAL PLAN  
AND SECTION

ELIZABETH NEWMAN, ARCHITECT  
925 WEST END AVENUE  
NEW YORK, NY 10025

A-2

DATE: 07.12.2002 SCALE: 1/8"=1'-0"



FINISH DIMENSIONS ALL ASSUMED TO BE 1"

1 FLOOR PLAN  
A-3 SCALE: 1/4" = 1'-0"

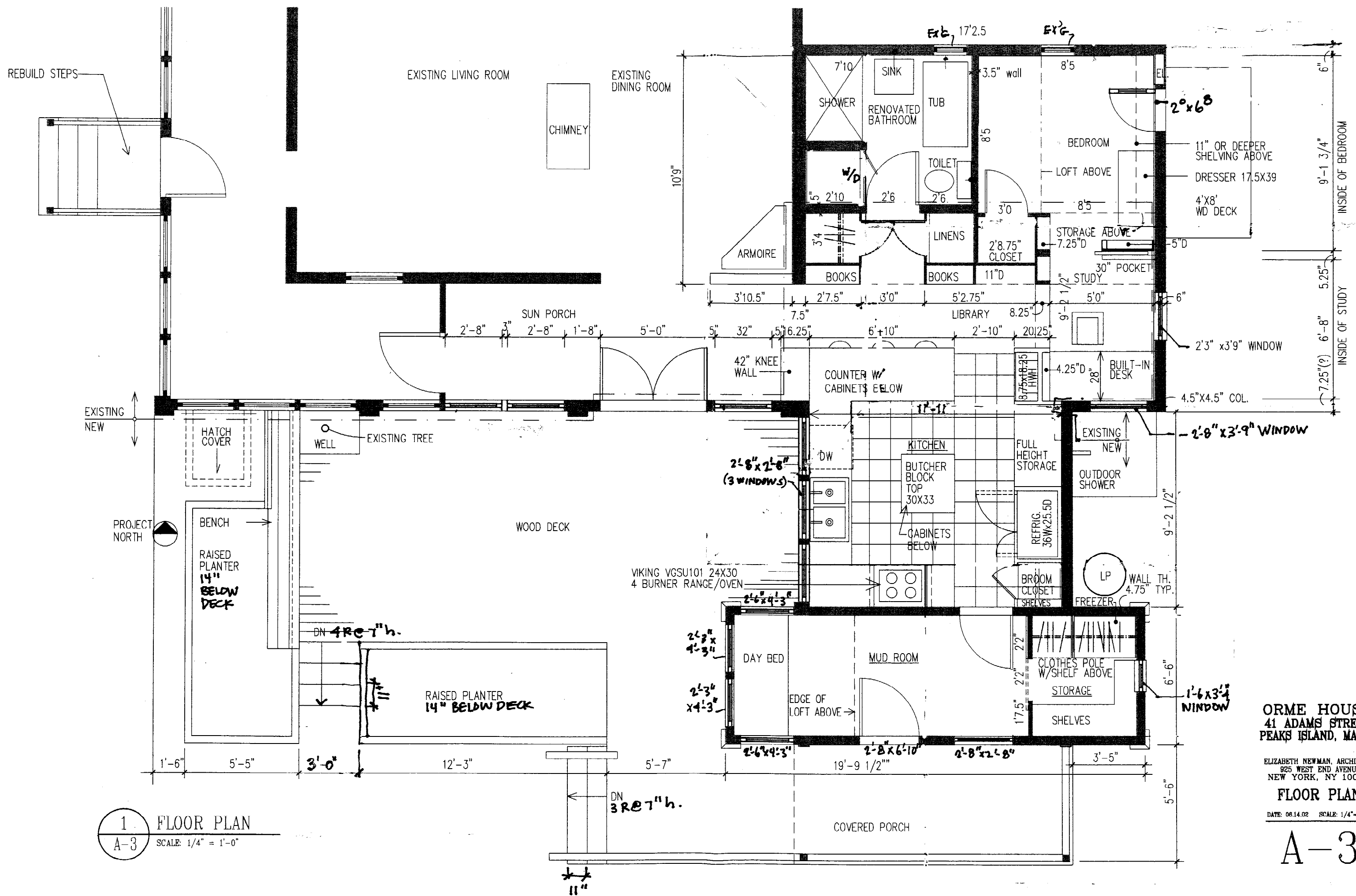
**ORME HOUSE**  
41 ADAMS STREET  
PEAKS ISLAND, MAINE

ELIZABETH NEWMAN, ARCHITECT  
826 WEST END AVENUE  
NEW YORK, NY 10025

**FLOOR PLAN**

DATE: 06.11.02 SCALE: 1/4" = 1'-0"

A-3



1 FLOOR PLAN  
A-3 SCALE: 1/4" = 1'-0"

ORME HOUSE  
41 ADAMS STREET  
PEAKS ISLAND, MAINE

ELIZABETH NEWMAN, ARCHITECT  
925 WEST END AVENUE  
NEW YORK, NY 10025

FLOOR PLAN

DATE: 06.14.02 SCALE: 1/4"=1'-0"

A-3