

Location of Construction: 20 Island Ave Peaks Island		Owner: W & W Inc. c/o Joseph D Wright	Phone: 766-4400 766-2773	Permit No:
Owner Address: 498 Island Ave, Peaks Island ME 04108	Lessee/Buyer's Name:	Phone:	Business Name: 766 5615	<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> OCT 16 1998 </div> CITY OF PORTLAND </div>
Contractor Name: SAA	Address:		Phone:	
Past Use: Restaurant	Proposed Use: Same	COST OF WORK: \$ 800.00	PERMIT FEE: \$ 25.00	
Proposed Project Description: Shed roof & wooden walls over existing fire exit from deck and stairs leading to motel rooms & basement		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group A-3 Type: 5B BOCA-46 Signature: <i>[Signature]</i>	
Permit Taken By: SP		Date Applied For: October 1, 1998		

Zone: **CBL**
84-R-32

Zoning Approval:

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

October 2, 1998

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT 2

COMMENTS ..

11-3-98 New Ramp 22' +/- 1 in 12 Pitch, city side walk is 1.5" in 12'
I have ASK Mr. Wright to obtain a Structural Engineer to
access the New construction that has been done and come up with
a new construction plan for what has been done (T.R.)

attachment to existing structure, Headers, Jack studs, Surmised columns in
concrete, They didn't call for verification on Footers and cement pours. (T.R.)

Stop work Notice sent 11-6-98 certified P 549 226 820 and Registered
US mail

4-14-99 (9:38A) met Joe Wright at 20 Island ave Told him to Replace
the stairs and have me inspect before they close in any Framing.

Ramp may be 36" wide But landing must be level. (T.R.)

3/30/00 ~~Work continues T.R.~~ Stair treads are wrong, Must be
7+11!

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

84-R-32

Location/Address of Construction (include Portion of Building): <i>Peaks Island House 20 Island Ave. Peaks Island, Me.</i>			
Total Square Footage of Proposed Structure <i>400 s.f.</i>		Square Footage of Lot <i>17,479 s.f.</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>84</i> Block# <i>R</i> Lot# <i>32</i>		Owner: <i>W+W Inc. c/o Joseph D. Wright</i>	Telephone#: <i>766-4400 or 766-2773</i>
Owner's Address: <i># 498 Island Ave Peaks Island, Me. 04108</i>		Lessee/Buyer's Name (If Applicable) <i>N/A</i>	Cost Of Work: <i>\$ 800.00</i> Fee <i>\$ 25</i>
Proposed Project Description: (Please be as specific as possible) <i>shed roof + wooden walls over existing fire exit ramp from deck and stairs leading to motel rooms and basement.</i>			
Contractor's Name, Address & Telephone <i>Self. as above.</i>			Rec'd By <i>[Signature]</i>
Current Use: <i>Restaurant</i>		Proposed Use: <i>Same</i>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

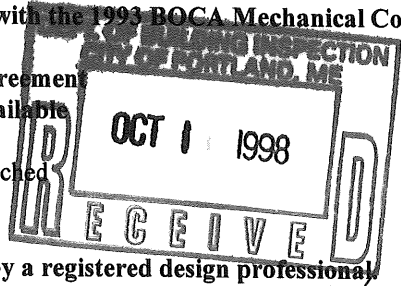
Unless exempted by State Law, construction documents must be designed by a registered design professional

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



*pd
10/1/98*

Signature of applicant: <i>Joseph D. Wright by Patricia Wright</i>	Date: <i>10-1-98</i>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum

c/o Joe Wright

BUILDING PERMIT REPORT

DATE: 7 OCT, 98 ADDRESS: 20 Island Ave. P.I. CBL Ø84-R-Ø32
REASON FOR PERMIT: Shed roof & wood wall over existing fire exit
BUILDING OWNER: W & W Inc, c/o Joseph D. Wright
CONTRACTOR: SAA
PERMIT APPLICANT: "
USE GROUP A-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1*8, *24*26.

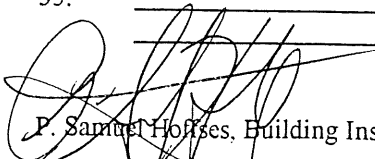
1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.(Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4

12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- *24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
- *26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
28. Please read and implement the attached Land Use-Zoning report requirements.
29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.
30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.

31. _____

32. _____

33. _____


 P. Samuel Hoffses, Building Inspector

cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

W + W Inc

Applicant

498 Island Ave, Peaks Island Me

Applicant's Mailing Address

Joseph Wright 766-4400

Consultant/Agent/Phone Number

10-1-98

Application Date

10'x40' roof over stairs + ramp

Project Name/Description

Peaks Island House

Address of Proposed Site

20 Island Ave., Peaks Island

Description of Proposed Development:

10'x40' shed roof over existing fire exit ramp
& stairs leading to rooms.

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4)

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/ Comply with ADA
- e) No Additional Parking / No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

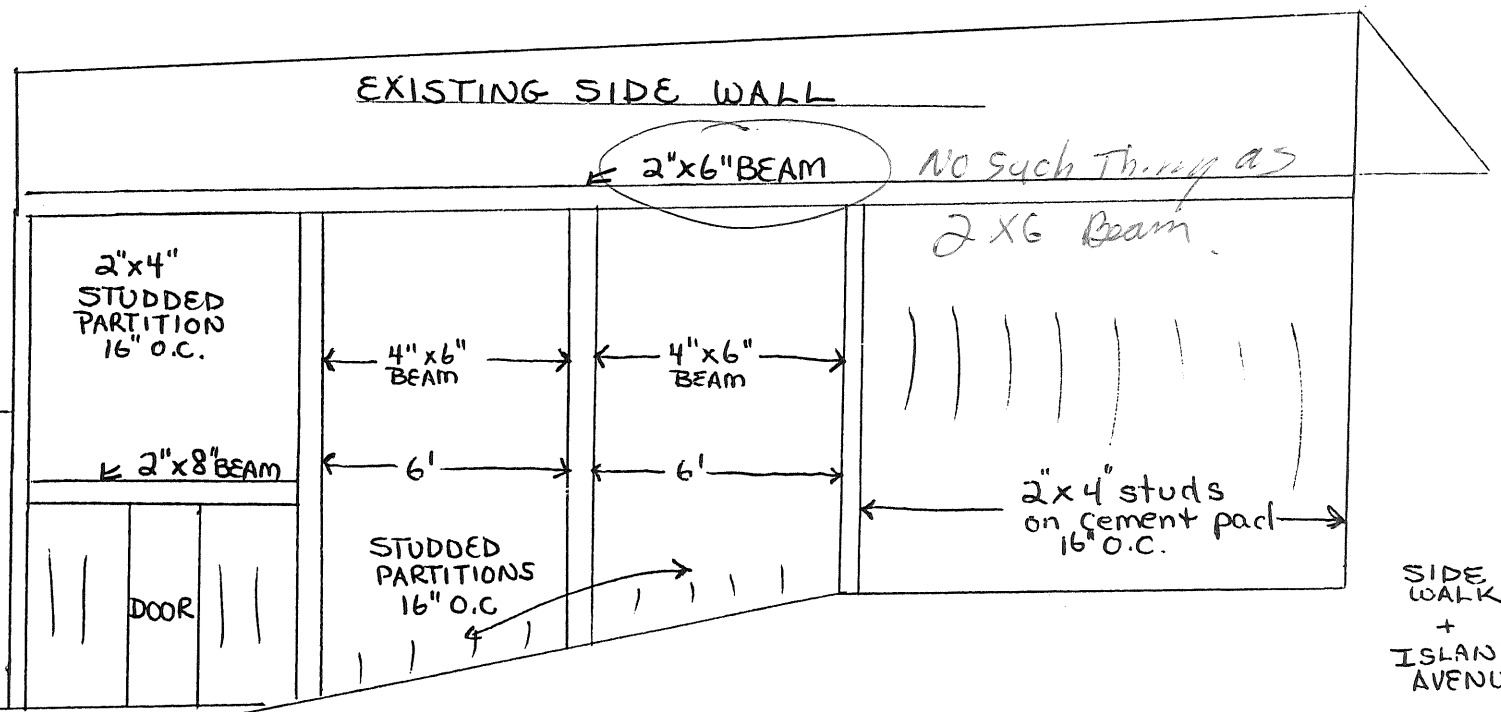
Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>No</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>No</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>

Planning Office Use Only:

Exemption Granted Partial Exemption _____ Exemption Denied _____

Planner's Signature Kandice Talbot

Date 10/6/98



EXISTING DECK

EXISTING BUILDING

EXISTING WOODEN DECK AROUND ROOMS

SIDE WALK + ISLAND AVENUE

siding will be $\frac{3}{8}$ " T1-11 ✓
 roof will be asphalt shingles
 over $\frac{1}{2}$ " plywood applied
 to rafters placed 16" o.c.

2x6"

Total Cost \$800.00

W+W Inc DBA The Peaks Island House
 20 Island Avenue
 Peaks Island, Maine 04108

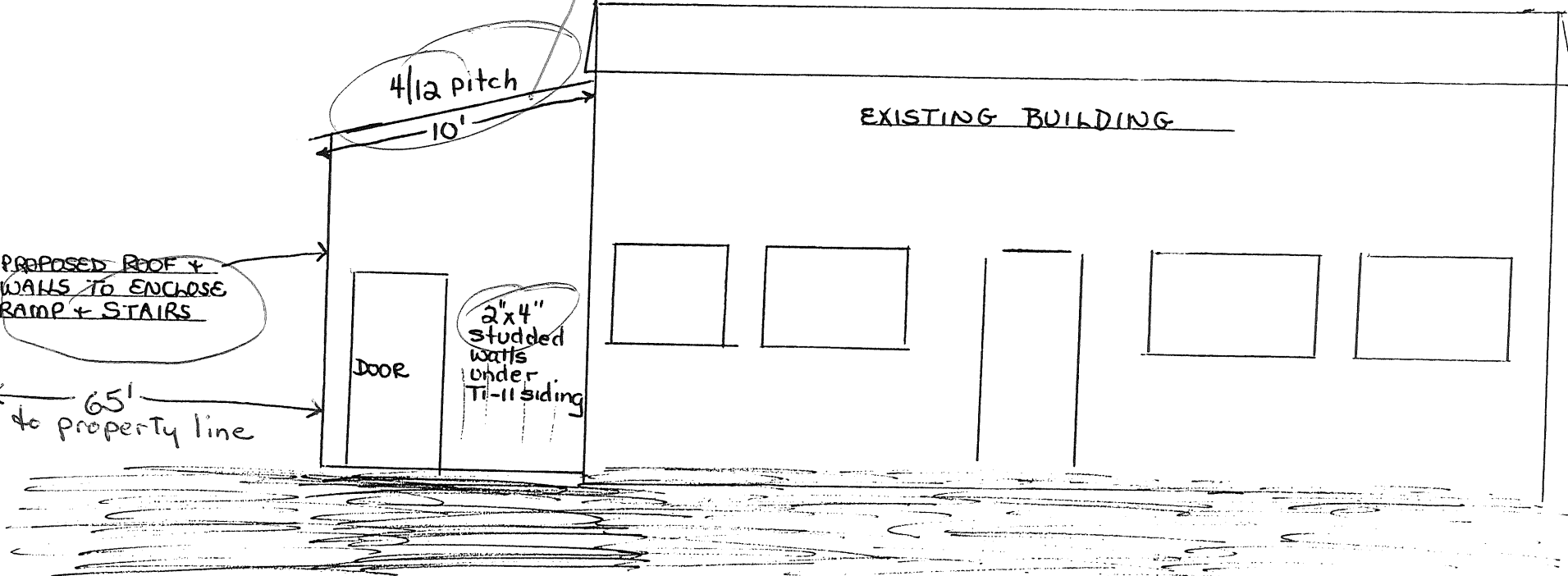
Left side view of proposed shed
 roof + wooden walls over existing
 fire exit ramp from deck and stairs
 leading to motel rooms.

"NOT TO SCALE"

W+W Inc DBA The Peaks Island House
20 Island Avenue
Peaks Island, Maine 04108



3" x 6" @ 16" o.c.
as per owner
7/OCT



existing ramp + stairs - averaging front setback
→ Along front of

10' req'd on side - 65' shown
10' req'd on rear - 100' shown

Front View of existing building and showing proposed shed roof and walls enclosing existing fire exit ramp and stairs leading to rooms on left side.

"NOT TO SCALE"



CITY OF PORTLAND

STOP WORK NOTICE

November 6, 1998

W & W, Inc.
c/o Joseph Wright
498 Island Ave
Peaks Island, ME 04108

Re: 20 Island Ave (084-R-032)

Certified Mail Receipt # P 549 226 820

Dear Mr. Wright,

84-R-32
On November 3, 1998, I stopped by 20 Island Ave to see how your project was proceeding. I am concerned with some of your construction practices and header locations and applications. Your father, Mr. Wright, and myself talked about your attachment. Practices, location of jacks studs and columns being spliced and twisted, walls setting on the sidewalk for a foundation and not being called for a pre-inspection of footers and foundation.

In light of what I observed on my 30 minute visit, I asked your mother and father to inform you that I want a design professional to review what you have done and submit a report to Sam Hoffses, Chief Building Inspector, 389 Congress Street, Room 315, Portland, ME 04101 for review. Before you proceed with any further construction, or allow any of your patrons to access any part of the new construction you need to address this matter.

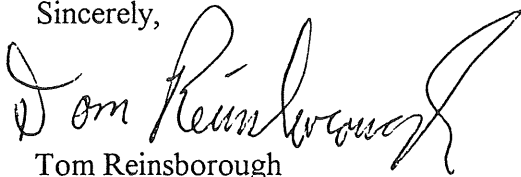
This is a **STOP WORK ORDER** pursuant to Section 117.1 of the Building Code (996 BOCA). All construction activity must Stop immediately.

Therefore, you are required to submit amended construction and site plans to this office for review and approval. You must also submit a list of all subcontractors on the job with their addresses and telephone numbers. When you have received approval of the amended plans and submitted the requested subcontractor information you may request removal of the "STOP WORK" order.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. ss 4452.

This constitutes an appealable decision pursuant to Section 121.5 of the Code. Please feel free to contact me at 874-8693, if you wish to discuss the matter or have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Tom Reinsborough". The signature is fluid and cursive, with a large, sweeping flourish at the end.

Tom Reinsborough
Code Enforcement Officer

cc: Central File
Joseph Gray

CRITERIUM[®] MOONEY ENGINEERS

650 BRIGHTON AVENUE
PORTLAND ME 04102
TEL 207 775-1969
TOLL FREE 1 800 922-1969
FAX 207 775-4405

December 1, 1998

miu

Ms. Nancy Wright
The Peaks Island House
20 Island Avenue
Peaks Island, ME 04108

*Please notify us ASAP
when we may resume work
as outlined in this letter
Thank you*

*Nancy Wright
466-5615*

**Re: Structural Inspection of Pedestrian Ramp - The Peaks Island House
CME Project No. 98-241**

Dear Nancy:

84-R-32

*Joe Wright
466-2773*

At your request, I performed a site visit to examine the addition at the above-referenced property on November 23, 1998. The purpose of the site visit was to examine the structural adequacy of the existing wood framing components. Other aspects, such as ADA requirements, were not reviewed. Also present at the time of the site visit was Joe Wright.

The recommendations within this letter are based on visible evidence observed at the time of the site visit since no disassembly of components or testing was performed. Please note that the scope of the site visit does not include a comprehensive evaluation for code compliance. It is our responsibility to evaluate conditions relevant to the purpose of the site visit. We are not, however, responsible for conditions that could not be seen or not within the scope of our services at the time the site visit was performed. This letter should not be considered a guarantee of conditions and no warranty is implied.

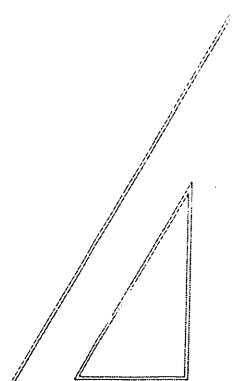
For purposes of this letter, all directions (left, right, rear, etc.) are taken from the viewpoint of an observer standing in front of the building and facing it.

The addition which I examined is located on the left side of the building and has approximate dimensions of 30 feet long by 8 feet wide. The addition has 2x6 rafters supporting a sloped shed roof, and the rafters are at 16 inches on center. The roof is bearing on a wood framed wall which in turn appears to be supported by a concrete foundation. Interior concrete piers have also been installed to support interior posts at various locations.

On the right side of the addition, there is an elevated sloping platform, or ramp, that is approximately 4 feet wide and 21 feet long. On the left side of the addition, there are a series of steps descending to the floor below.

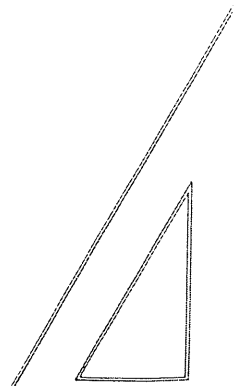
LICENSED
PROFESSIONAL
ENGINEERS

BUILDING DIAGNOSTICS
INSPECTIONS
ANALYSIS
MAINTENANCE PLANNING
DESIGN



There are several areas where the existing components should be modified to improve the structural adequacy of the frame:

1. The 2x6 rafters need to have better anchorage at the right side connection to the existing building (high end of rafter). Either a continuous 2x2 wood ledger should be placed underneath the rafters or the rafters should be secured using a joist hanger at each rafter location.
2. Additional horizontal 2x4 collar ties below the rafters should be added such that the spacing between the collar ties does not exceed 9 feet on center.
3. A 4x4 pressure treated post and concrete footing should be added at the back left corner to support the lintel which is located over the door opening at this area.
4. A double 2x8 beam should extend from the left back corner to the right back corner and be situated such that it is directly underneath the existing double 2x8s that support the elevated sloping platform. The new double 2x8 beam should extend over the top of the 6-foot lintel located at the back right corner and additional blocking should be installed between the new double 2x8 beam and the 6-foot lintel underneath such that direct support from the lintel is provided. Similarly, the new 2x8 beam should extend into the existing building on the back right corner and anchored securely with additional blocking underneath to ensure proper support. A check should be made of the lintel over the existing door at the back right corner to be sure it is capable of supporting the new double 2x8 beam. This check can be performed by an experienced carpenter.
5. The handrail system for the elevated platform should be modified such that a 2x4 framing system is installed between the existing 4x4 posts. The framing system should then be covered with 3/4-inch plywood to ensure that there are no openings large enough for a child to fall through (no openings through which a 4-inch diameter sphere can penetrate). The 2x4 framing system must be capable of resisting a 200-pound concentrated load located anywhere along the top rail or 50 pounds located on a 1 square foot area anywhere on the plywood.

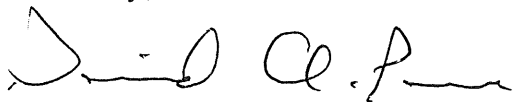


Ms. Nancy Wright
The Peaks Island House
December 1, 1998
Page 3

6. The grading located outside of the left exterior wall should be modified so that proper drainage is provided away from the structure and deterioration of wood components does not occur. As a minimum, the soil embankment against the left exterior wall should slope at 1/2-inch vertical for each 12 inches horizontal. This "1/2-inch per foot slope" should extend a minimum of 4 feet away from the left face of the exterior wall. The existing siding should be removed from the bottom portion of the wall to a point such that no non-pressure treated wood is within 8 inches of the final exterior grade. Pressure treated plywood should be installed in place of the existing siding at this location to ensure that deterioration of the siding components does not occur. A pressure treated trim board may be used at the interface between the existing siding and the new pressure treated plywood.
7. The existing 4x6 middle vertical post on the left exterior wall should have a 2x4 that is 6 feet long added on each side at the splice location (similar to the adjacent post) to ensure adequate bending capacity of the post at the splice location.
8. The double 2x8 continuous beams that support the elevated sloping platform are in turn supported by a pair of posts at approximately the third point location. One pair of posts currently has an X-brace connecting the two posts. The second pair of posts does not but should have an X-brace similar to the installation noted at the other posts.

These recommendations are based upon visual evidence available at the time of the site visit. If you have questions regarding this letter or if I can be of any further service in this matter, please do not hesitate to call me.

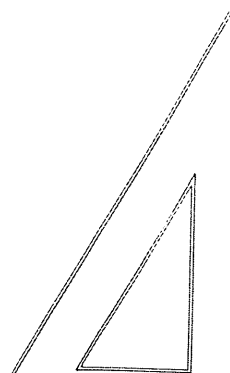
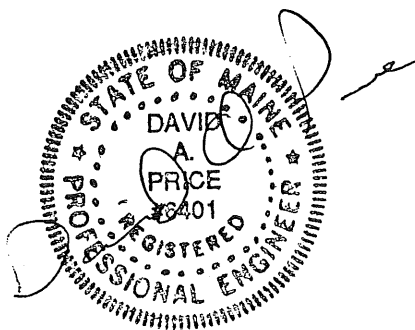
Sincerely,



David A. Price, P.E.
Director of Engineering

DAP/sh

j:\wpdocs\project\proj98\peaksisl.ltr



Donald W. Wright
R.R. 2 Box 296A Pond Road
Bridgton, Me., 04009-9515
Home Phone 207-647-8969

December 18, 1998

City of Portland
Planning & Urban Development Office
389 Congress Street
Portland, Maine 04101

ATTN: Tom Reinsborough

RE: BUILDING PERMIT #981190

Dear Mr. Reinsborough;

Enclosed you will find the drawings your office requested. This is for the shed roof addition for the Peaks Island House on Peaks Island.

Your office has already received a copy of the letter from Criterium Mooney Engineers. We hope this will allow us to complete the addition.

I would like to introduce myself in this letter. I am Joseph Wright's Father. I have been working with him on the shed roof at the restaurant. My work experience should help in his effort to work with you and your department.

After my high school graduation, I began work as a carpenter's assistant. I worked in this position for over two years. Upon my return from military service, I began an apprenticeship program with the Wood, Wire & Metal Lathers Union. This trade kept me very busy for the next twelve to fifteen years.

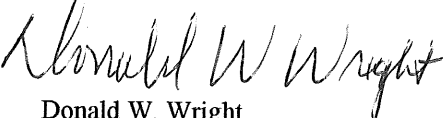
With the slowdown of the plastering industry, I was forced to work in other fields of construction. For more than one year I tied rods for the Ironworkers Union. I then began work as an electrical helper, earning my license in the electrical trade. For the next twenty-five or so years, my work was as an electrician in the I.B.E.W. Union earning my Journeyman and Master Licenses.

Also, since my high school graduation, along with my Father, I have built approximately thirty houses in the town of Easthampton, Massachusetts. Plus two cottages on Peaks Island.

Since my retirement, I have built two more homes. One in Easthampton Massachusetts and the second in Bridgton, Maine, where my wife and I currently reside.

If you wish to verify my credentials, contact me and I will provide you with names and addresses of Union officials, building inspectors, supervisors and co-workers.

Sincerely,



Donald W. Wright

dww/pag cc: Criterium Engineers



EXISTING DECK

2x4's to roof

2x8 BEAM

2x8 existing lintel

WOODEN WALL OVER FIRE EXIT RAMP + STAIRS TO ROOMS

EXISTING WALL OF MOTEL ROOMS

2x6

EXISTING 4"x6" POST

2x4's

4x4 PT POST

4x4 PT POST

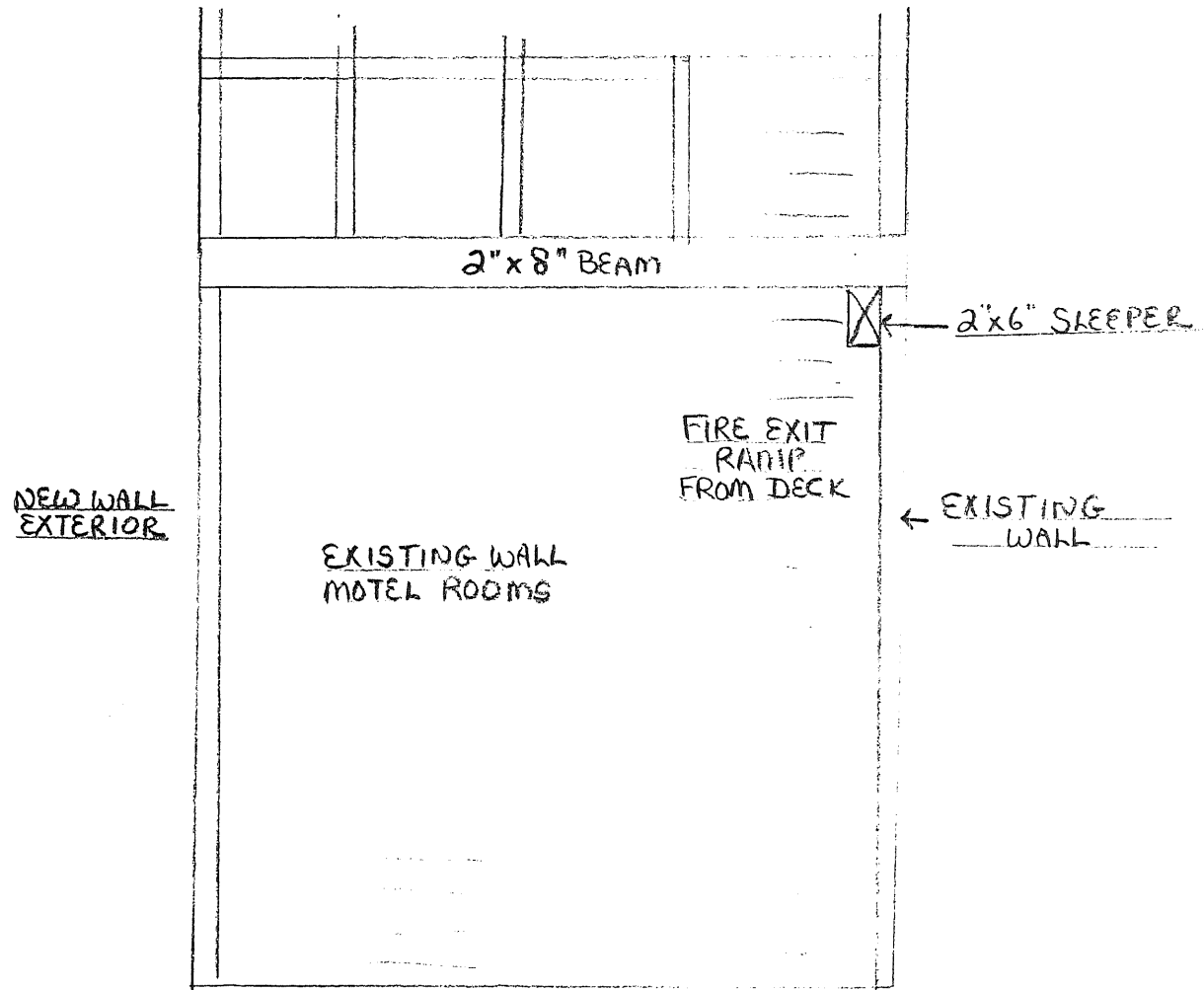
SIDE ENTRY DOOR

LAWN

ANCHOR BOLTS
CONCRETE FOOTING
5'6" l x 8" w
to below frost
line depth

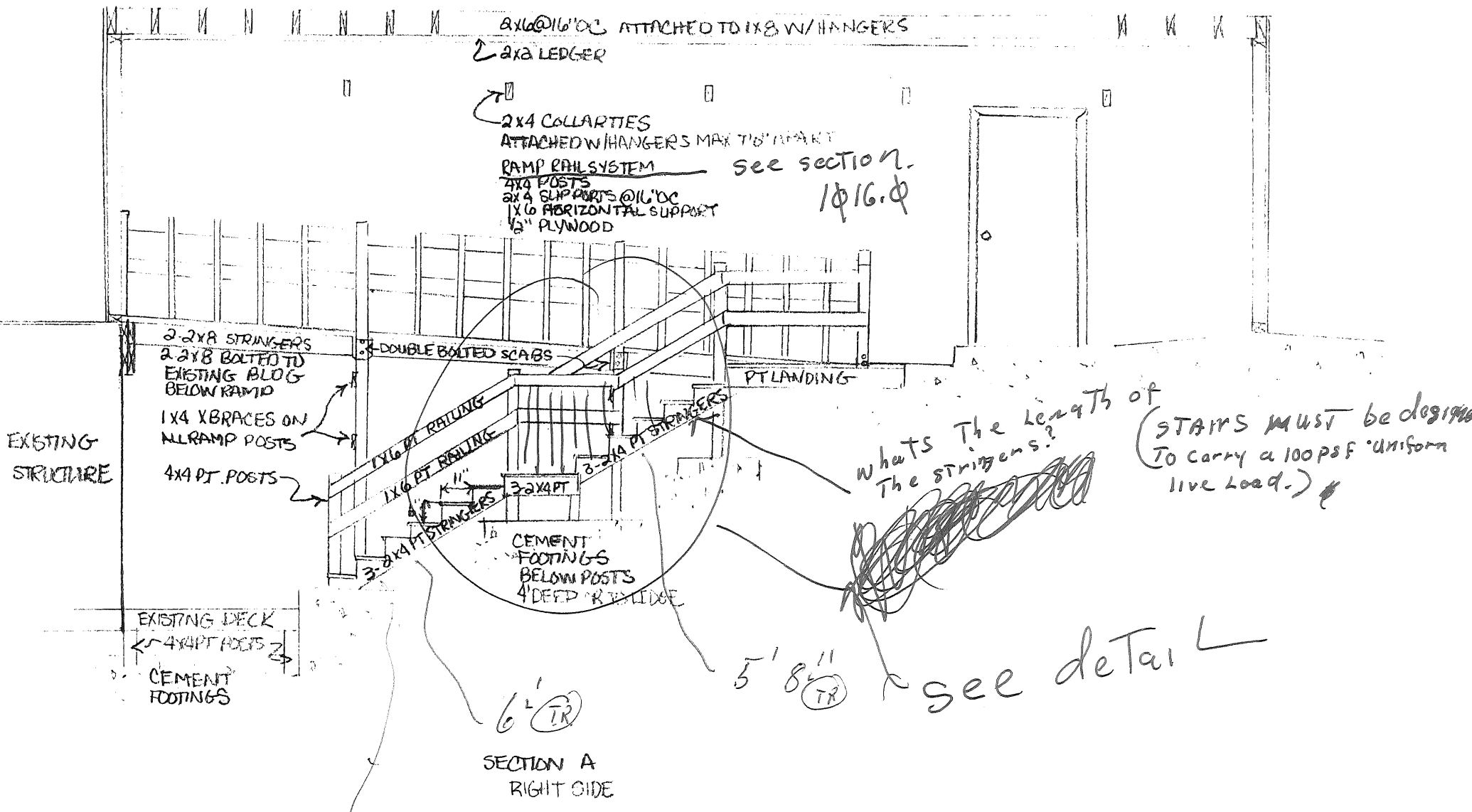
SIDE VIEW LOWER LEVEL

"NOT TO SCALE"



FRONT INSIDE VIEW
LOOKING AT RAMP
AND STAIRS

"NOT TO SCALE"

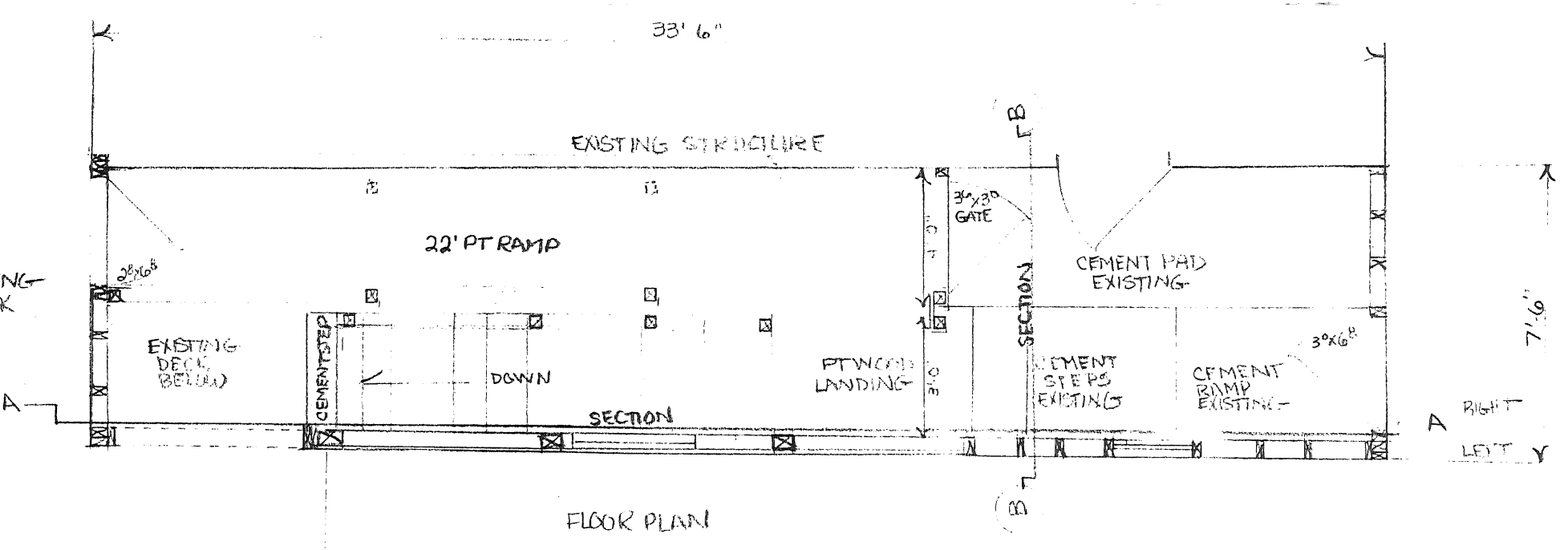


What's the length of the stringers?
 (STAIRS MUST be designed to carry a 100 PSF uniform live load.)

5' 8" TR see detail

only 2 carriages
 Treads 3 1/4" with 2x12 Treads

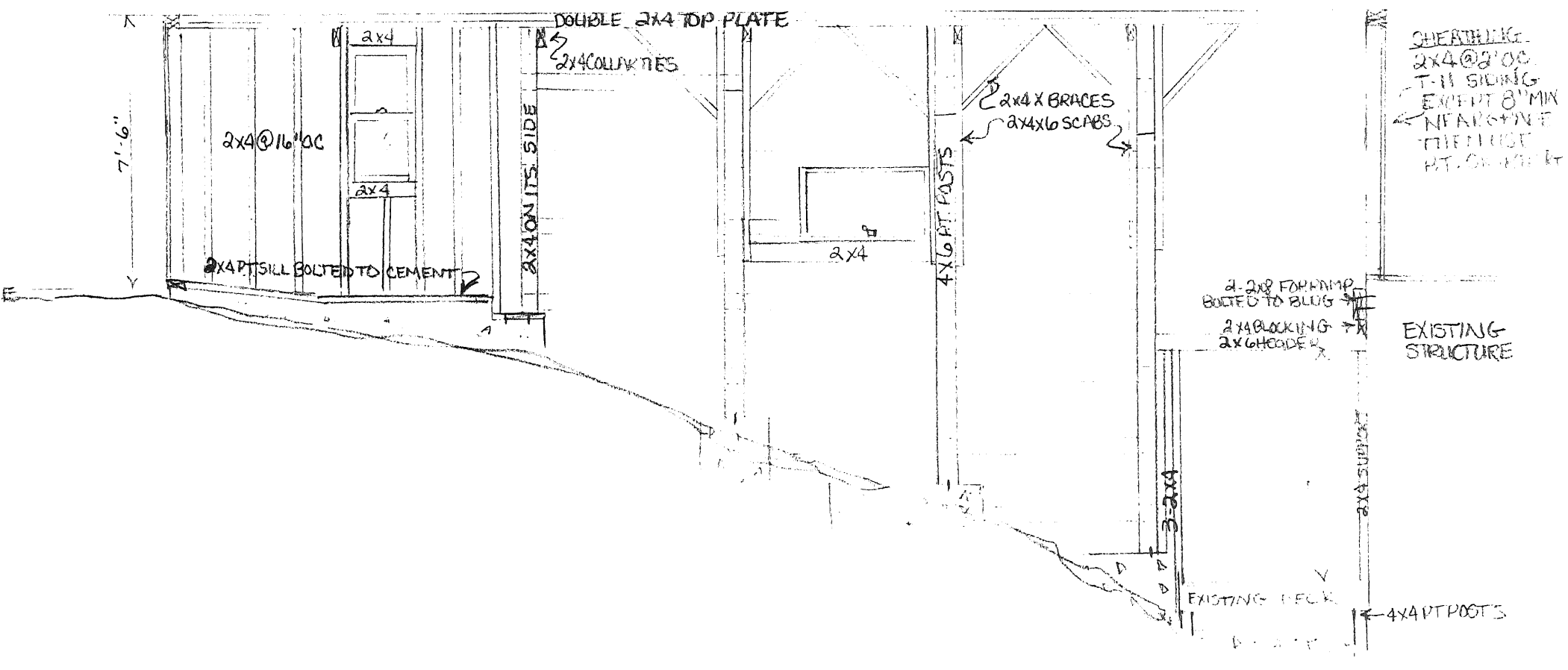
SECTION A
 RIGHT SIDE



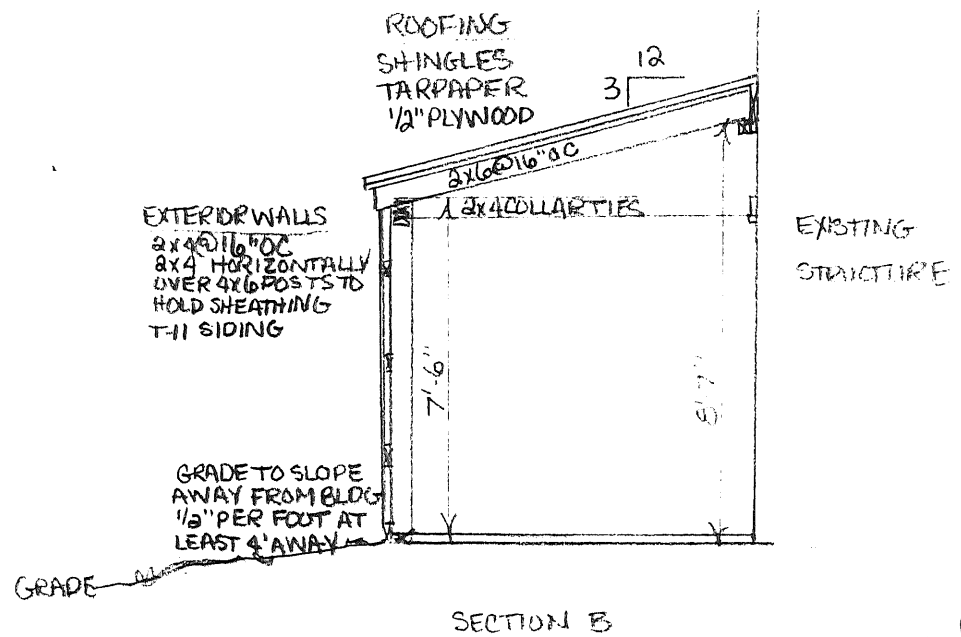
FLOOR PLAN

Peaks Island
 House
 20 Island Ave
 Peaks Island Me
 04108
 (207) 466-5615
 Nancy Wright
 C.B.L. 84-R-32

Scottsdale
 Construction
 Residential Construction
 10 Allen Avenue Ext.
 Falmouth, Maine 04105-1802
 Tel/Fax (207) 878-3696



SECTION A
LEFT SIDE



SECTION B

Scottsdale Construction
 Residential Construction
 10 Allen Avenue Ext.
 Falmouth, Maine 04105-1802
 Tel/Fax (207) 878-3696

20 Island Ave P.I.
 C.B.L. 84-R-32