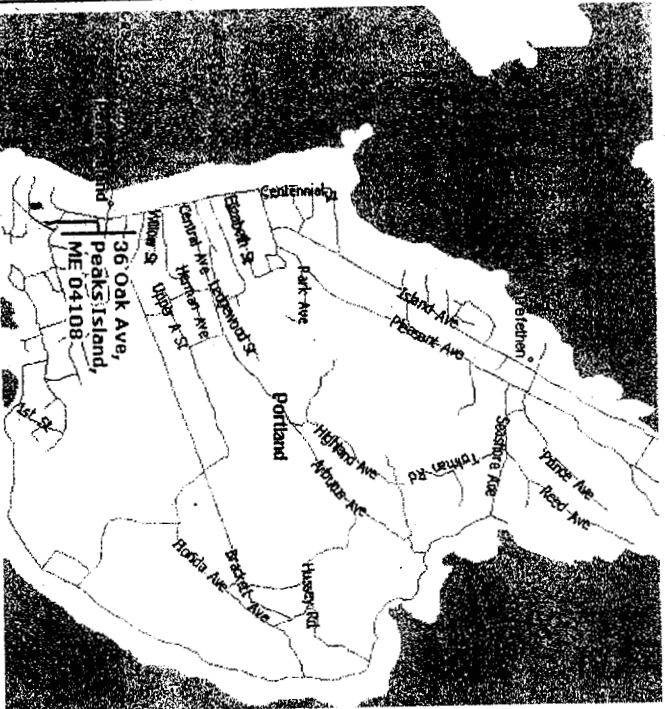


GENERAL NOTES:

1. RECORD OWNER OF PARCELS AS RECORDED IN THE CUR
2. BEARINGS ARE BASED ON UTILIZING THE FOLLOWING: LIETZ SOKKISHA SET 4 TR
3. AREA OF SUBJECT PARCELS
4. REFERENCE IS MADE TO: a.) CITY OF PORTLAND, MA b.) PLAN OF HENRY BRACK c.) PLAN OF GREENWOOD
5. BENCHMARK IS ASSUMED BASED UPON ASSUMED ELEVATION
6. ZONING: 1B - ISLAND BUILDINGS SETBACKS: FRONT - 15 FEET REAR - 20 FEET SIDE - 18.2 STORY: 11 FEET MINIMUM LOT SIZE: 20,000 SQ FT MINIMUM LOT WIDTH: 60 FEET MAXIMUM BUILDING HEIGHT: 18 FEET MAXIMUM LOT COVER: 30%
7. EASEMENTS AND RESTRICTIONS AS FOUND AND DESCRIBED ON THE PARCEL IS SHOWN HEREON
8. NO PHYSICAL EVIDENCE OF EASEMENTS
9. PROPOSED 1' X 13.7' SE EASEMENT
10. PROPOSED BAY WINDOW



DATE: 10/15/2024
 SURVEYORS S



Locus Map

Additions and Alterations Crow's Nest Aydelott-Giske Road

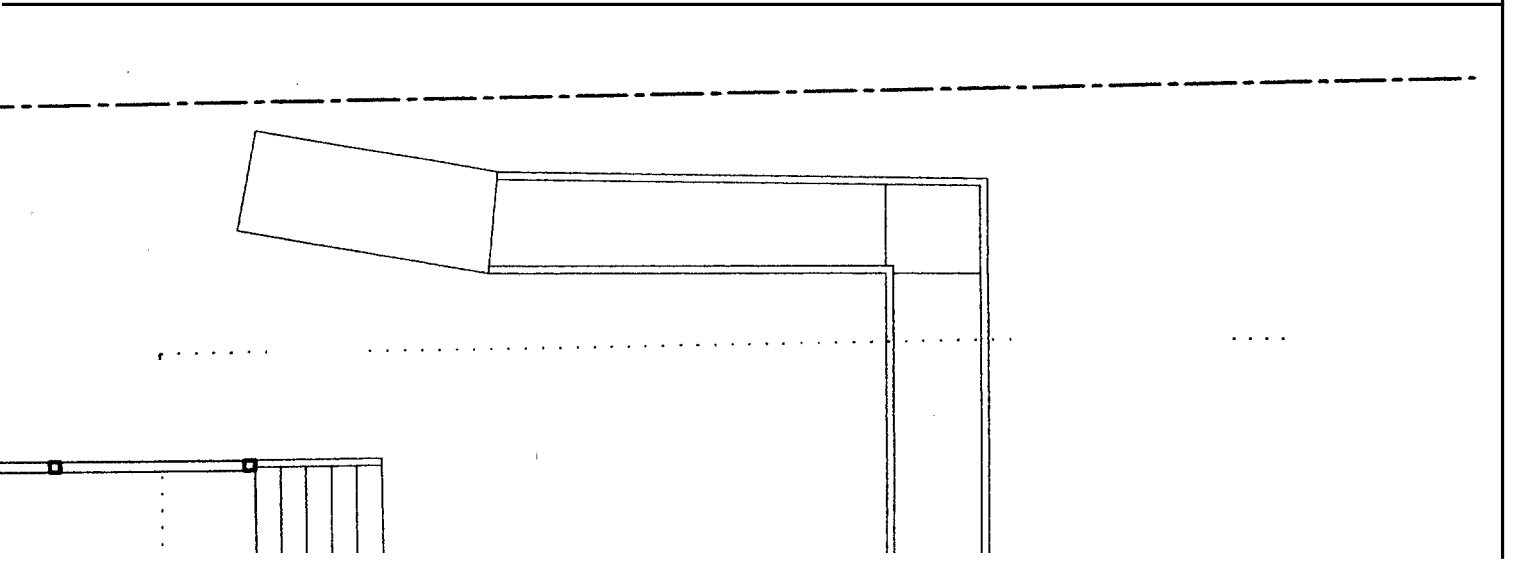
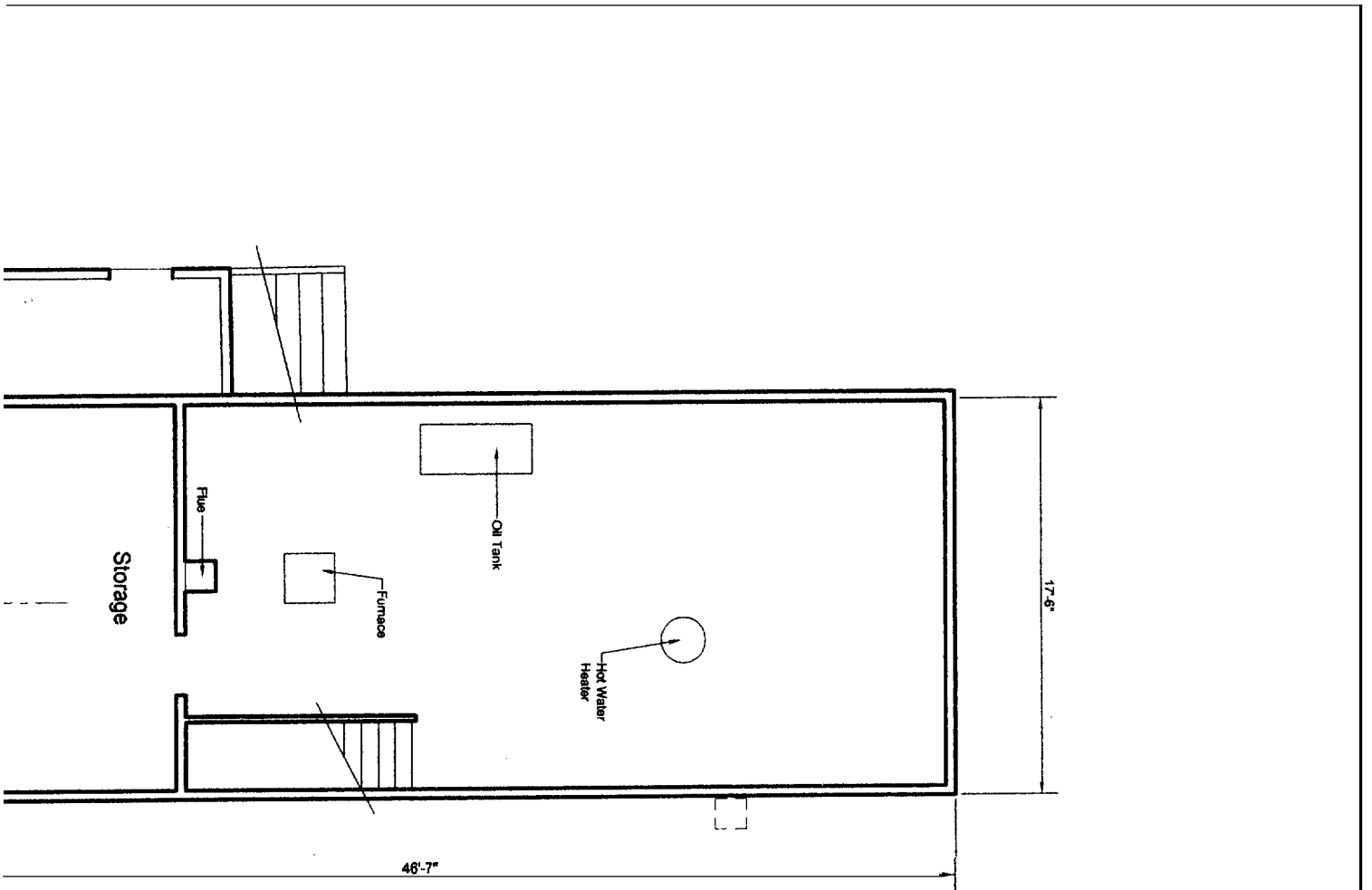
Permit Set

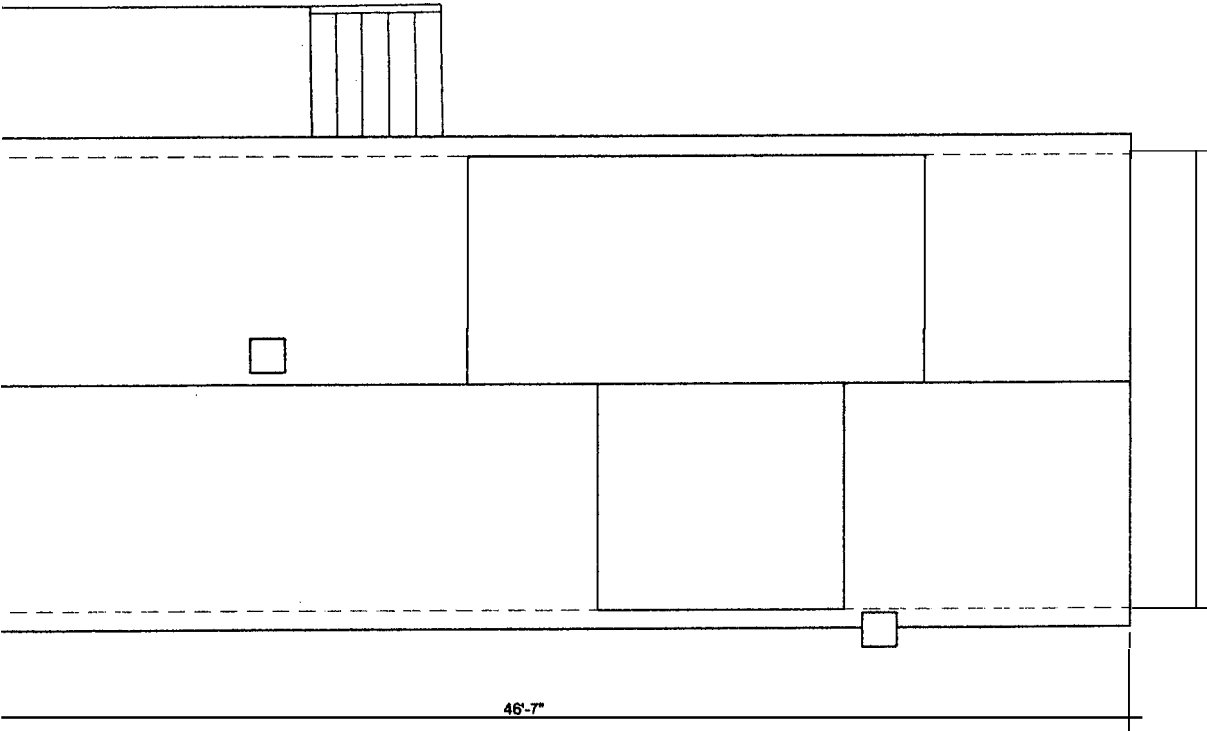
**36 Oak Avenue
 Peaks Island, ME**

**A.L. Aydelott & Associates
 Architects & Engineers
 3 Bridge Street
 Newton, Massachusetts**

Builder:

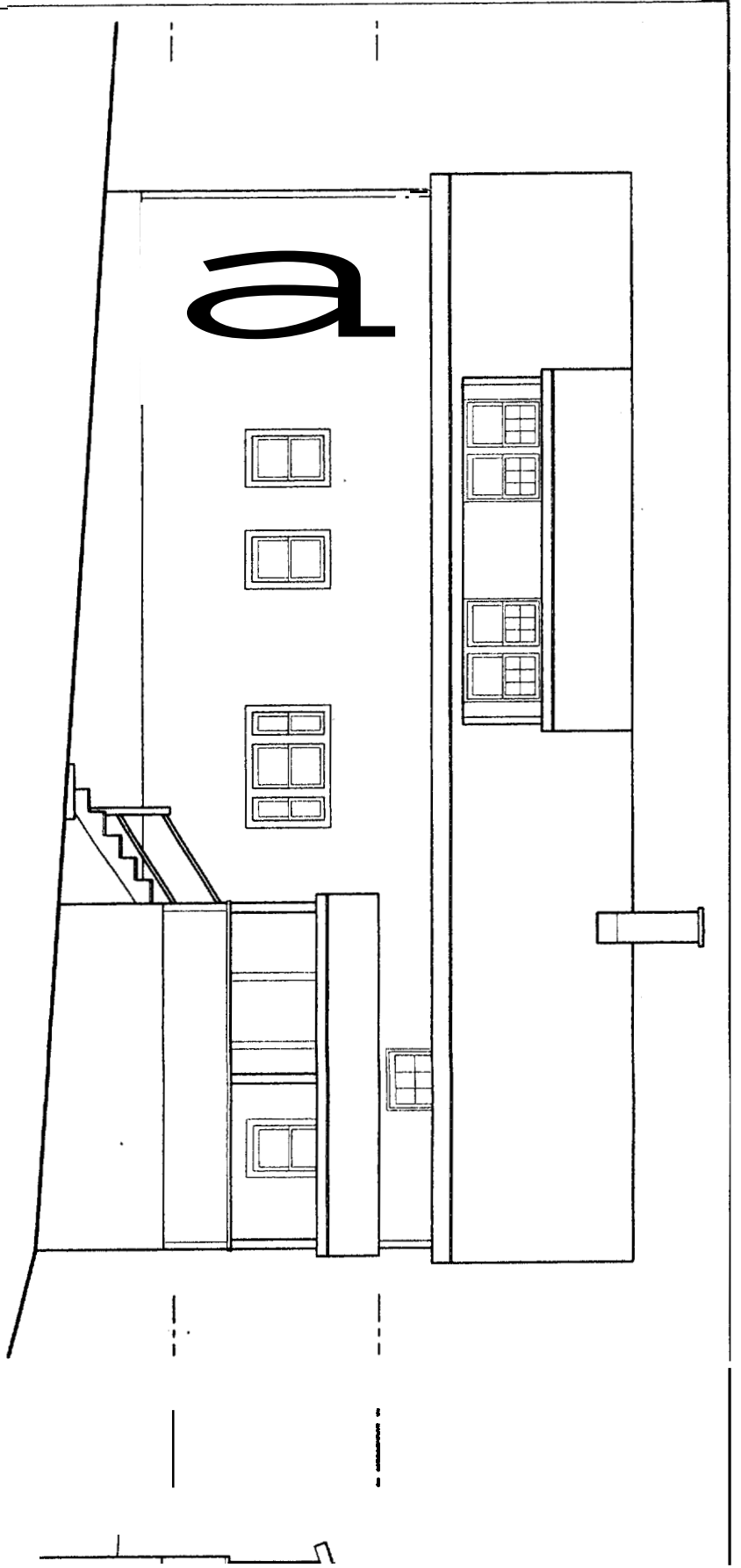
**Robert McTigue
 Dracutt Avenue**

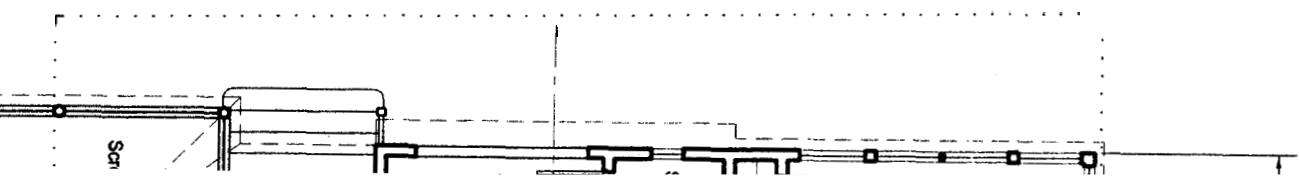
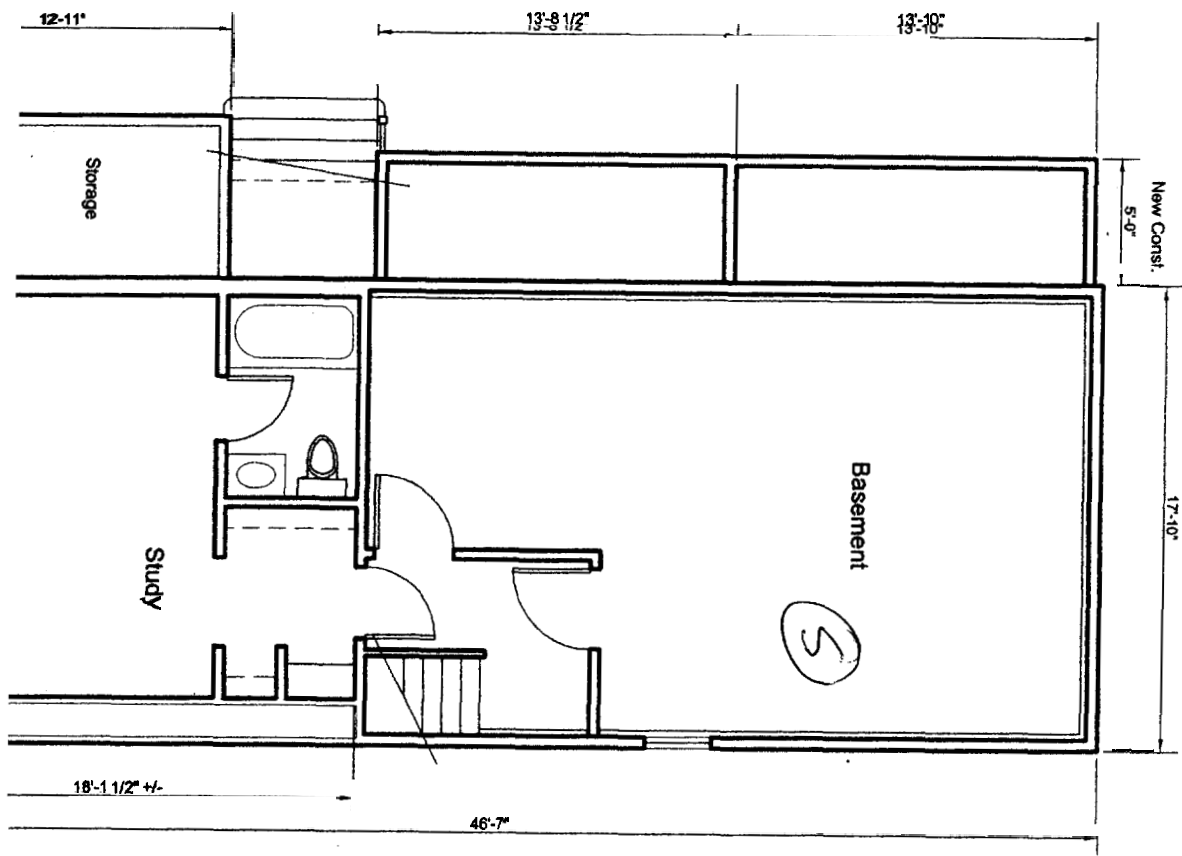


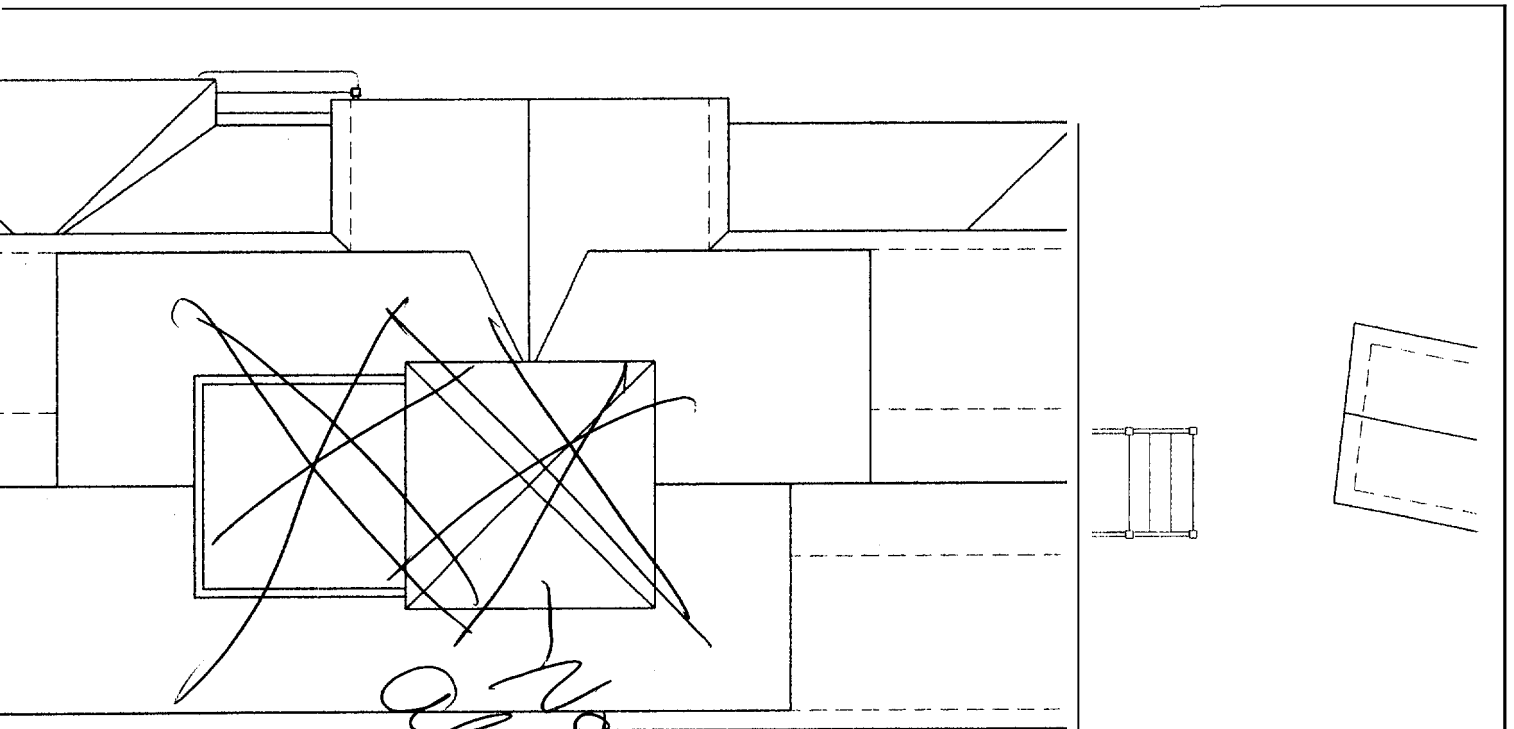


E

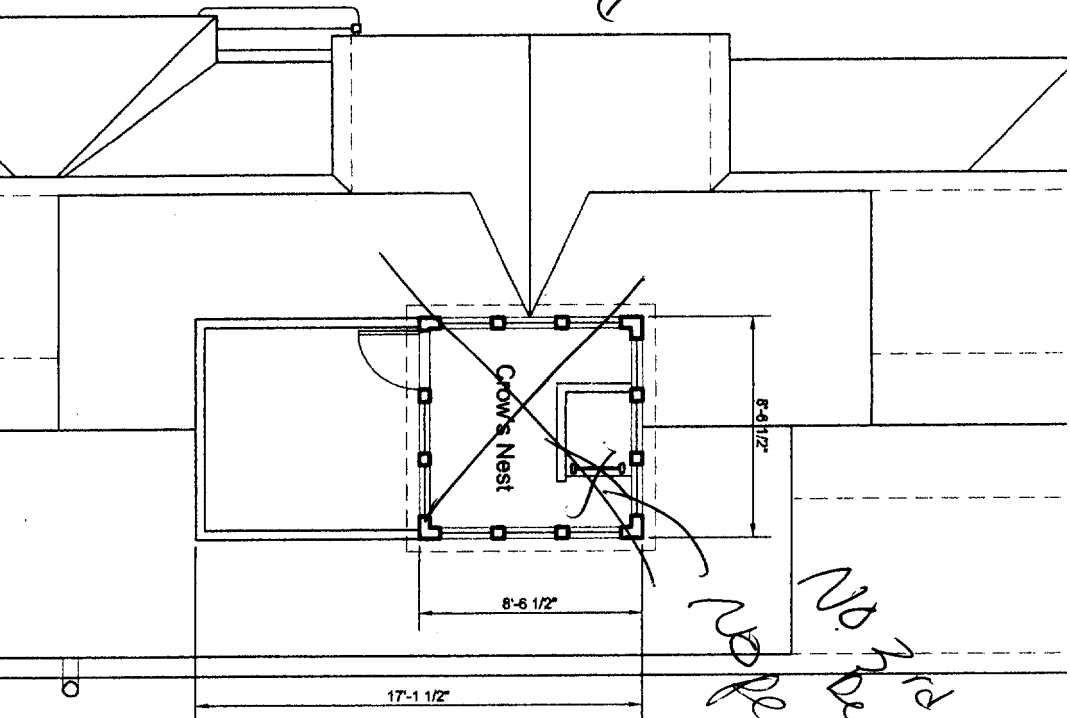
46"-7"







Not Allowed

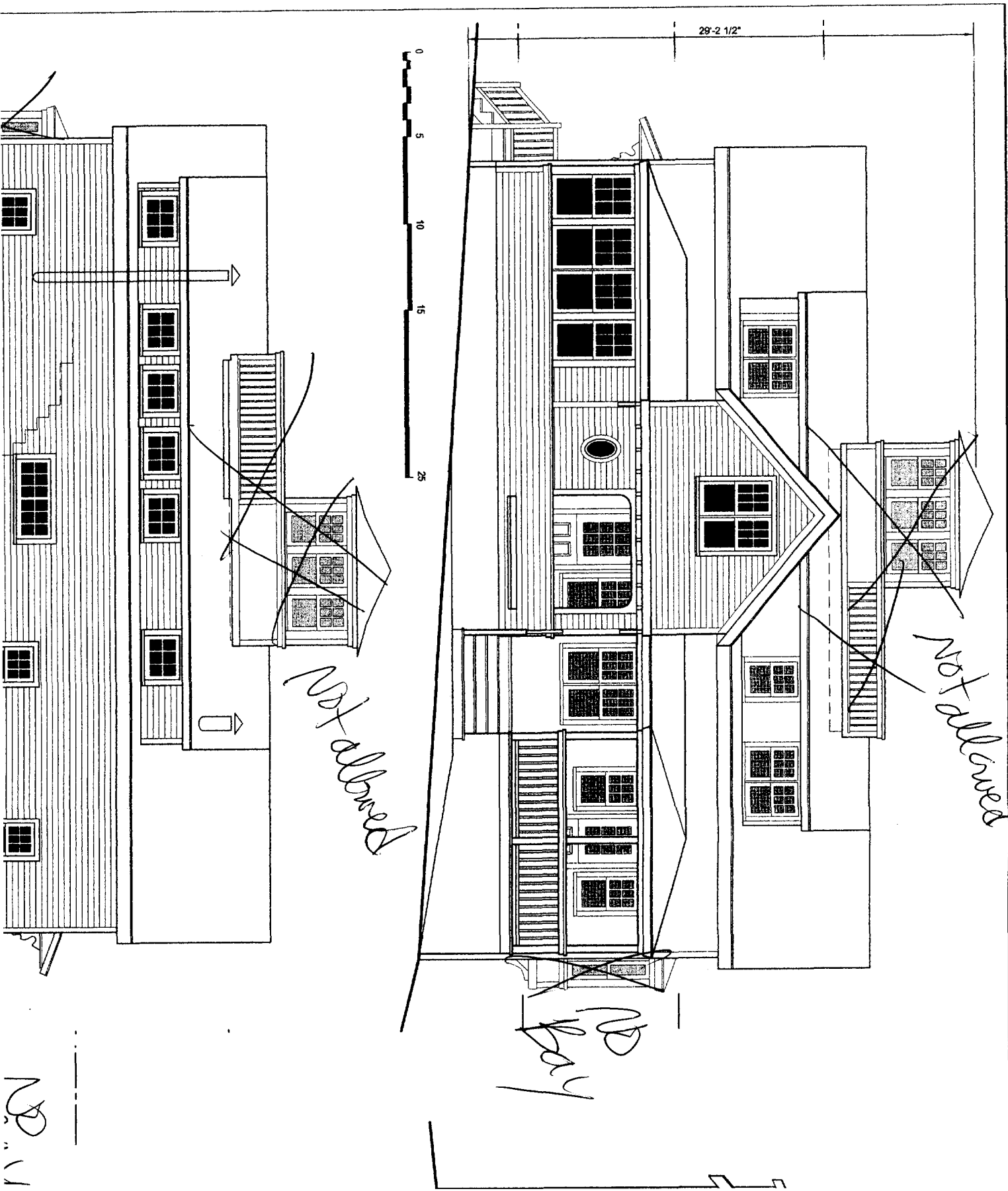


*Expansion
6' x 13' = 78 sq ft*

Egrets

*No permanent
ladder
allowed*

*No 3rd Floor
Deck allowed*

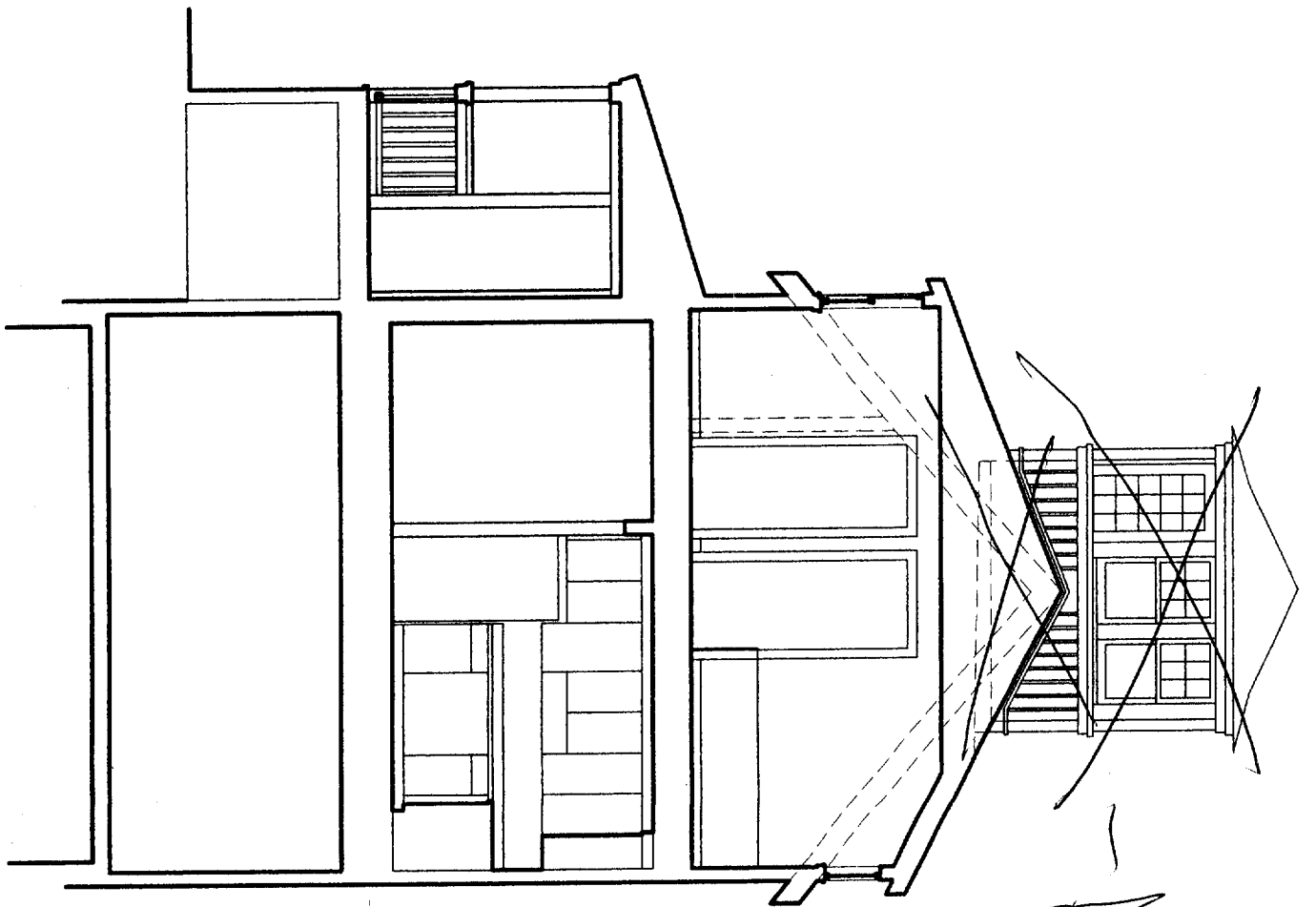


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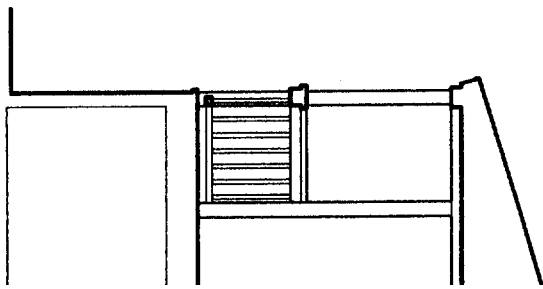
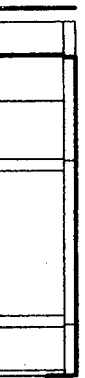
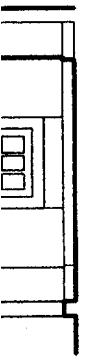
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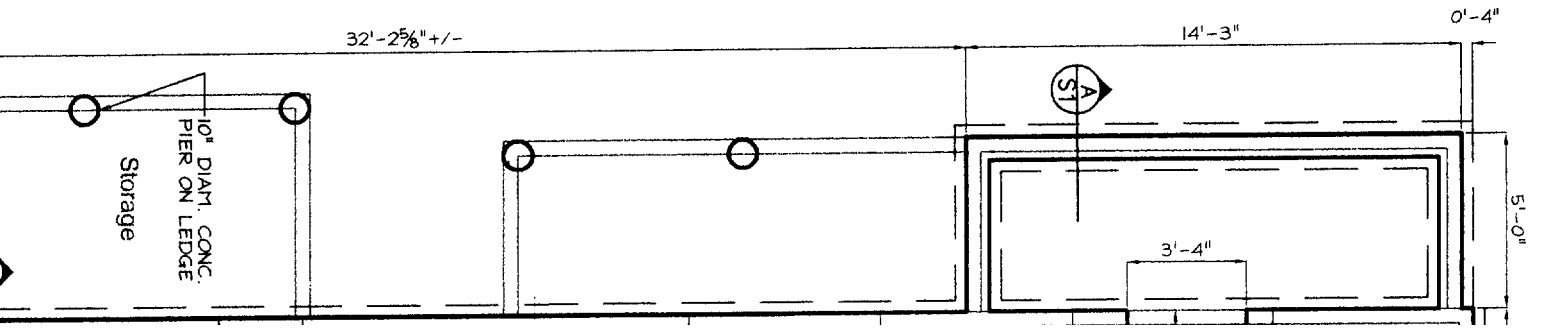
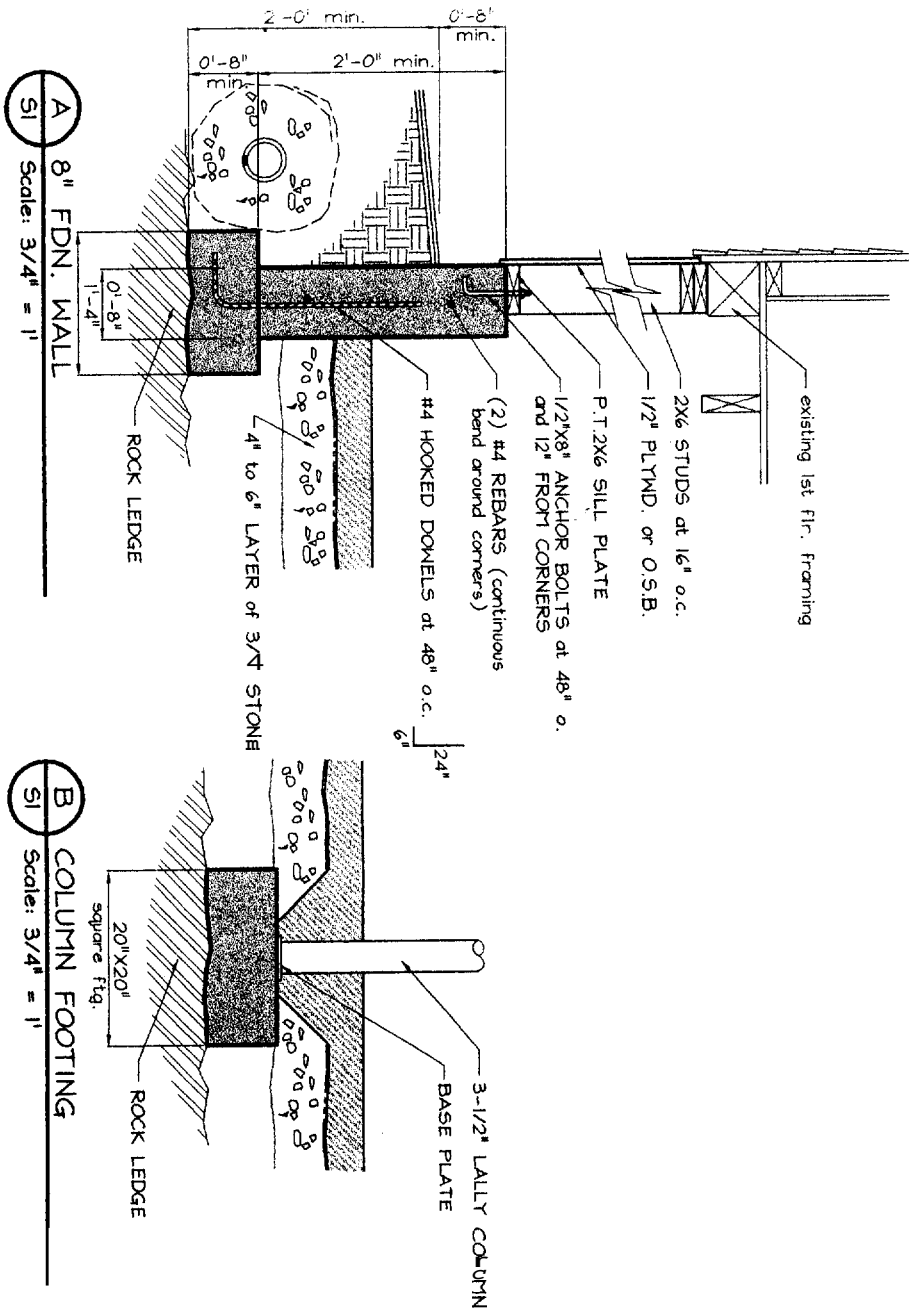
*DP
Bar*

*ND
11*



Not Allowed

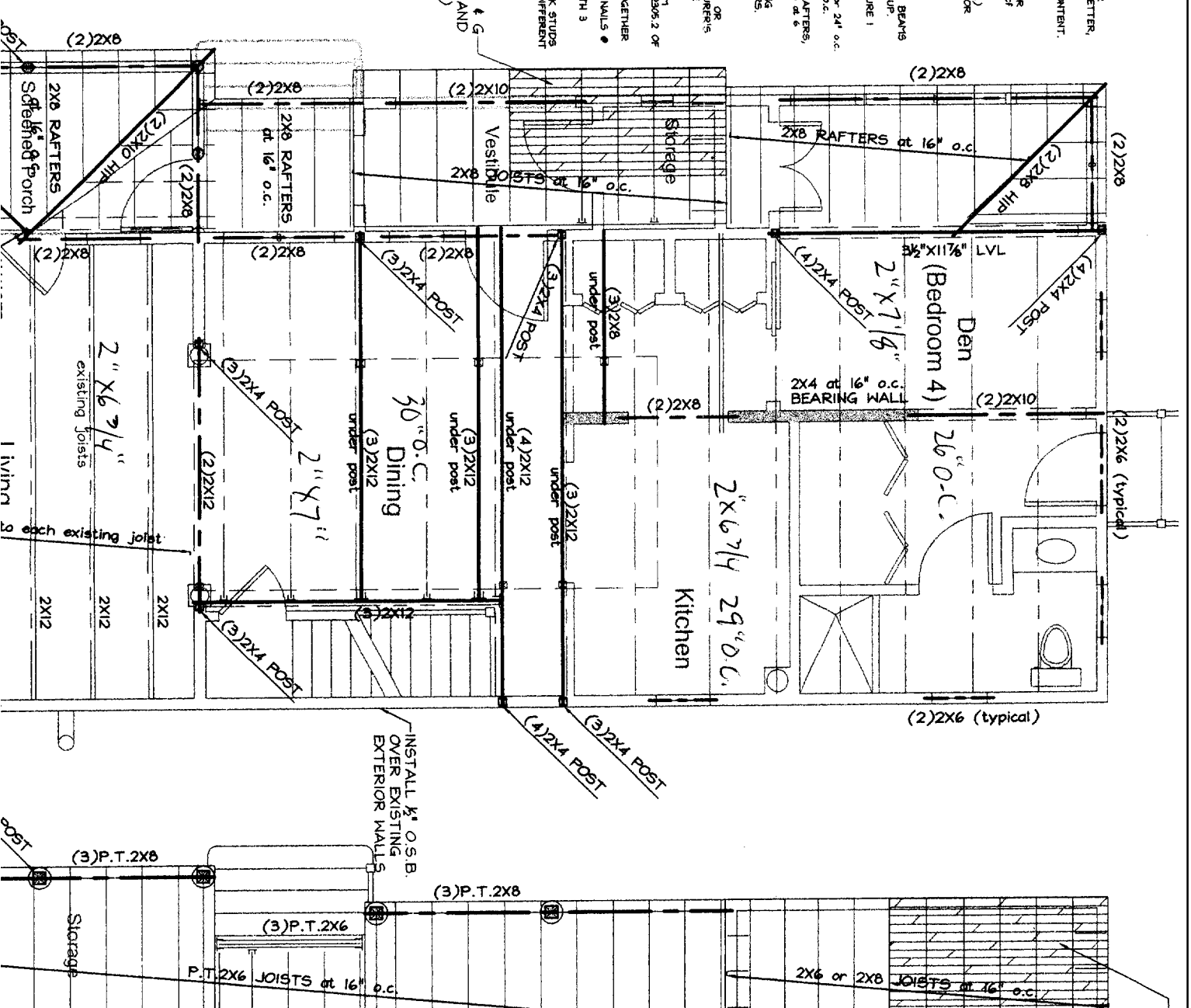


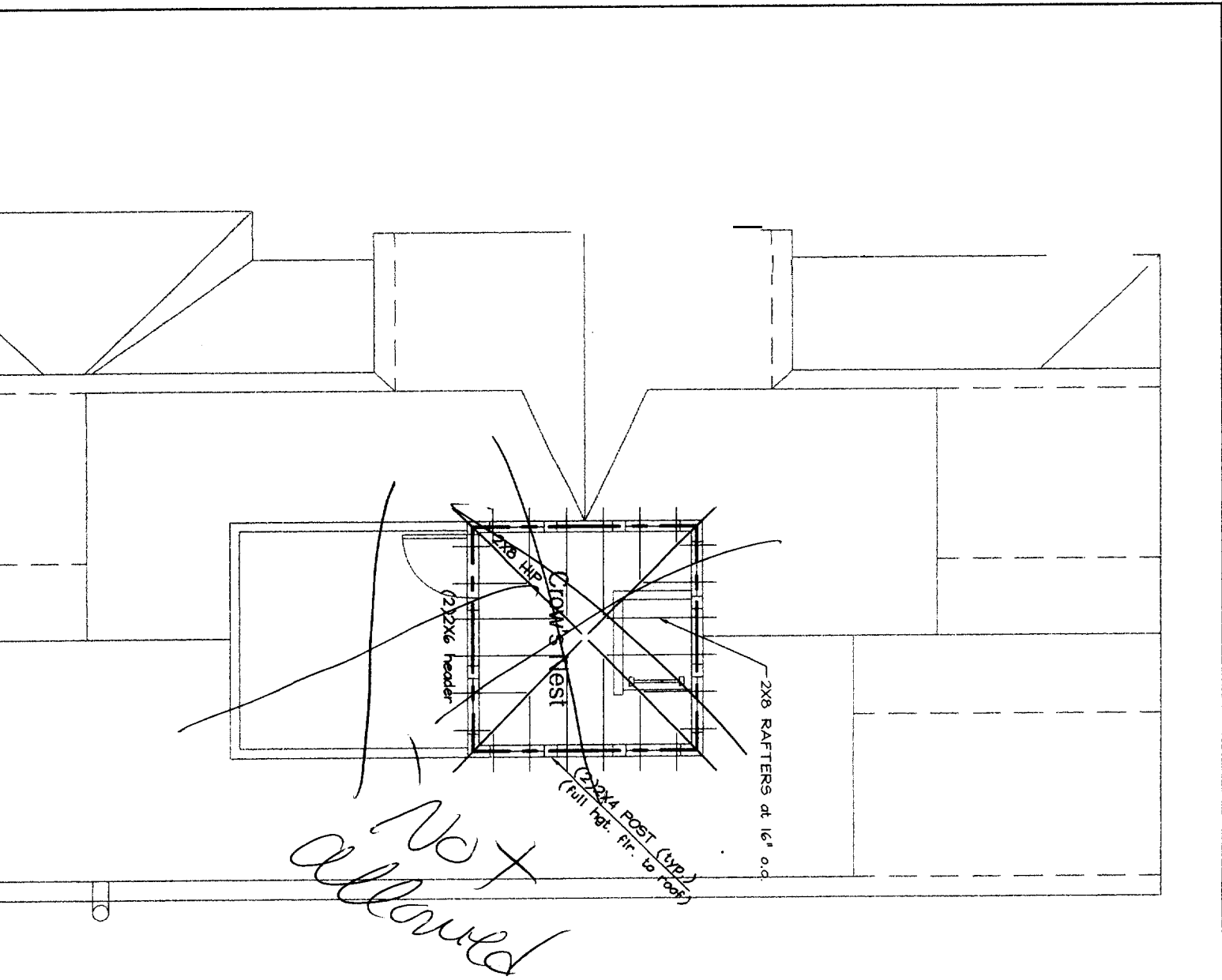


WOOD FRAMING

1. FRAMING LUMBER, 2x8, 2x10 AND 2x12, NO. 2 OR BETTER, SPRUCE-PINE-FIR (S-P-F), 2x4 AND 2x6, STUD GRADE/ OR BETTER, S-P-F.
2. LUMBER TO BE SEASONED TO PER MANUFACTURER'S MOISTURE CONTENT.
3. ALL LUMBER AND PLYWOOD SHALL BE GRADE-STAMPED.
4. PRESERVATIVE TREATED (P.T.) LUMBER, NO. 2 GRADE OR BETTER SOUTHERN PINE, PRESERVATIVE CONTENT = 0.25 pcf MINIMUM.
5. PARALLEL (P.S.) AND LAMINATED VENEER LUMBER (LVL) MANUFACTURED FRAMING BY TRUS-JOIST, BOISE-CASCADE, OR APPROVED LVL MANUFACTURERS.
6. LVL AND VLS DESIGN VALUES:
 - F_v = 280 pcf MIN.
 - F_b = 1,900,000 pcf MIN. (1,800,000 pcf POSTS)
 - E = 2,400 pcf MIN. (2,300 pcf POSTS)
7. PS&L AND LVL POSTS ARE ONE PIECE (solid), NOT BUILT-UP. BEAMS AND HEADERS MARKED "SOLID" ARE ONE PIECE, NOT BUILT-UP.
8. SHEATHING: A.P.A. STAMPED "RATED SHEATHING" EXPOSURE I PLYWOOD OR O.S.B. PANELS.
 - 1/2 inch TONGUE AND GROOVE FLOOR SHEATHING
 - 5/8 inch MIN. ROOF SHEATHING FOR FRAMING AT 16" o.c.
 - 3/4 inch MIN. ROOF SHEATHING FOR FRAMING AT 12" o.c.
 - 1/2 inch MIN. WALL SHEATHING.
9. UNLESS NOTED OR DETAILED DIFFERENTLY, THE FINISH SURFACES OF WOOD MEMBERS SHALL CONFORM TO TABLE 2306.2 OF THE 1994 BOCA BUILDING CODE.
 - (a) NAIL BUILT UP POST, HEADER, AND BEAM MEMBERS TOGETHER AS FOLLOWS:
 - BUILT UP POSTS, NAIL EACH PIECE WITH 2 ROWS 12d NAILS @ 6" INCHES O.C.
 - BUILT UP BEAMS AND HEADERS, NAIL EACH PIECE WITH 3 ROWS 12d NAILS @ 12" INCHES O.C.
 - (b) HEADERS OVER 6 FEET IN LENGTH BEAR ON DOUBLE JACK STUDS WITH DOUBLE KING STUDS AT A MINIMUM, UNLESS NOTED DIFFERENT ON DRAWINGS.
10. PLYWOOD AND O.S.B. PANELS SHALL BE Laid WITH LONG DIMENSION AT RIGHT ANGLES TO POSTS AND BEAMS AND WITH DIMENSION AT JOINTS. SPACE PANEL EDGES 1/8 INCH FOR EXPANSION.
11. HANGERS AND CONNECTORS, SHIPSON STRONG TIE, U.S.P. OR APPROVED EQUAL, SHALL ACCORDING TO THE MANUFACTURER'S CATALOG NAILING SCHEDULES BE FASTENED TO ALL MEMBERS AT ALL FLASH-FRAME CONNECTIONS.
12. UNLESS NOTED OR DETAILED DIFFERENTLY, THE FINISH SURFACES OF WOOD MEMBERS SHALL CONFORM TO TABLE 2306.2 OF THE 1994 BOCA BUILDING CODE.
13. NAIL BUILT UP POST, HEADER, AND BEAM MEMBERS TOGETHER AS FOLLOWS:
 - BUILT UP POSTS, NAIL EACH PIECE WITH 2 ROWS 12d NAILS @ 6" INCHES O.C.
 - BUILT UP BEAMS AND HEADERS, NAIL EACH PIECE WITH 3 ROWS 12d NAILS @ 12" INCHES O.C.
14. HEADERS OVER 6 FEET IN LENGTH BEAR ON DOUBLE JACK STUDS WITH DOUBLE KING STUDS AT A MINIMUM, UNLESS NOTED DIFFERENT ON DRAWINGS.

3/4" APA RATED T & G PLYWOOD GLUED AND NAILED (TYPICAL)





SHED DORMER: 2X8 RAFTERS at 16" or 24" o.c.

