

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

SEP 1 2004

Permit Number: 041055

CITY OF PORTLAND

Not allowed

This is to certify that Aydelott Alfred L. & /Robert Tighe
has permission to Repace porch & foundation- 5' wide patio, balcony, int renovtns
AT 36 Oak Ave 084 R011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or otherwise closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jamie Bourke 9/16/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1055	Date Applied For: 07/28/2004	CBL: 084 R011001
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Location of Construction: 36 Oak Ave	Owner Name: Aydelott Alfred L &	Owner Address: 251 Boston Post Rd	Phone: (617)630-1001
Business Name:	Contractor Name: Robert McTigue	Contractor Address: Brackett Avenue Peaks Island	Phone: (207) 766-2676
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Single family w/ replacement foundation, porch-Int renov-5 ft wide addition	Repace porch & foundation-build 5'wide addition, balcony, int renovtns
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/16/2004

Note: 8/26/04 spoke w/Alfred A. About issues, I will call his engineer and see Marge on some zoning questions. **Ok to Issue:**
 8/27 Zoning does not allow the crows nest structure per sec.14-436(a). Phoned Alfred and he will remove the structure, but still wants to change the roof line and add a skylight. Also the bay window is not allowed. He will submit new plans for review.
 9/7/04 Revised plans submitted, the window is still projecting which makes it a bay window, guardrail height too low, roof top deck has no compliant access and creates the expansion above the uppermost floor, 1/2 the basement is now a garage.
 Spoke w/Al A. And he will revise again for a canopy over the window, and remove the deck. A letter of denial will be sent so he can appeal the decision on the deck.
 9/14 Received revision to show a canopy over the front window, guard height 36", the basement room is now a study again. Can approve for certain work, but will send a denial notice for the 3rd floor roof deck.

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted per the revisions on 9/14/04. The canopy over the front window is allowed under Sec. 14-425 and should not project more than 24". Per our discussion, the third floor deck/crows nest is not allowed under Sec. 14-436 Building Extensions. Because the property is legally non-conforming as to land area per dwelling, the expansion is limited **to** 50% of the first floor footprint. The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures...while preserving the existing roof configuration. A 50% expansion of the first floor footprint is allowed, this area is 78sf which is 9%, any future expansions may be limited to no more than 41%. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 09/16/2004

in the crows nest & the footing detail, will submit.
 9/01 plans faxed for the exterior stair detail. Also, if the roof deck is allowed, a ladder is not to be fixed for access **to** the roof deck, compliant stairs or spiral is required

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 36 Oak Avenue, Peaks Island		
Total Square Footage of Proposed Structure Existing: 1,675 SF (Excl. unfin. bsmnt.) Addition: 209 SF		Square Footage of Lot 3,071.3 SF
Tax Assessor's Chart, Block & Lot Chart# 084 Block# ROT Lot# 1001 2 011	Owner: Alfred L. Aydelott and Adrienne A. Giske	Telephone: (617) 630-1001
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: Alfred L. Aydelott 251 Boston Post Road Weston, MA 02493 (617) 630-1001	Cost Of Work: \$ <u>75,000</u> Fee: \$ 696
Current Specific use: <u>Single Family Residential</u>		
Proposed Specific use: <u>Single Family Residential</u>		
Project description: Replace existing porch. Replace existing foundation. Construct 5 ft. wide addition, rooftop balcony and cupola. Renovate interior. 2 g		
Contractor's name, address & telephone: Robert McTigue, Brackett Avenue, Peaks Island (207) 766-2676		
Who should we contact when the permit is ready: Alfred L. Aydelott		
Mailing address: 251 Boston Post Road Weston, MA 02493		
		Phone: (617) 630-1001

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>07/28/04</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Inspection Services
Michael J. Nugent
Manager



Dept. of Planning & Development
Lee Urban
Director

CITY OF PORTLAND

September 21, 2004

Mr. Alfred Aydelott
251 Boston Post Road
Weston, MA 02493

RE: 36 Oak Avenue - CBL: 084-R-011 – I-B Zone

Dear Mr. Aydelott:

This letter is to confirm our conversations regarding the permit application for renovations at the address above.

As you know, I am able to approve the permit (# 04-1055) for the side porch addition, rear steps, window canopy, new foundation, and 2nd floor expansion and interior modifications.

The proposed expansion, which creates the 3rd level deck, is being **denied** because it is not allowed under the City's Zoning Ordinance.

This property is lawfully non-conforming as to land area per dwelling unit and is limited to a 50% expansion of the first floor footprint. Section 14-436 allows this expansion within the existing footprint and shall be created in the uppermost floor by the use of dormers, turrets or similar structures...while preserving the existing roof configuration to the maximum extent possible. Your proposal creates a new floor area above the uppermost floor, which is not allowed, therefore this portion of your application is being **denied**.

You have the right to appeal my decision. Please note that variance appeals are very difficult to have granted by the Board of Appeals. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to do so. I am enclosing the necessary paperwork in which to file an appeal. Feel free to call me with questions @ 207-874-8715.

Sincerely,

Jeanie Bourke
Code Enforcement Officer/Plan Reviewer

Marge Schmuckal
Zoning Administrator

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 084 R011001
 Location 36 OAK AVE
 Land Use SEASONAL
 5^{1/2} Home per MICRO
 Owner Address AYDELOTT ALFRED L & ADRIENNE A GISKE JTS
 251 BOSTON POST RD
 WESTON MA 02493

IB zone

Book/Page 20785/238
 Legal 84-R-LL
 OAK AVE
 PEAKS ISL
 3075 SF

Valuation Information

Land	Building	Total
\$52,400	\$22,470	\$74,870

Property Information

Year Built 1816	Style Old Style	Story Height 1.5	Sq. Ft. 1250	Total Acres 0.071	
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 6	Attic None	Basement Pier/slab

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 01/21/2004	Type LAND + BLDING	Price \$295,000	Book/Page 20785-238
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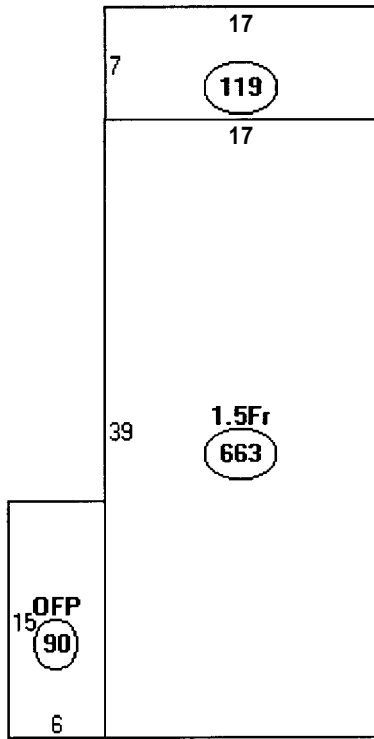
Picture and Sketch

Picture Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Descriptor/Area

A: 1.5Fr
663 sqft
E: DFP
90 sqft
C: N/A
119 sqft

872
54 shed

926 #

Existing Ramp to be removed 108 #
N/A

137.5 porch addition
20 rear steps

157.5 #
926

1083.5 #

Lot = 3075 #
x 50% coverage

1,537.5 #

OK

minimum lot size = 20,000 # per sec. 14-226

Sec. 14-436(a) allows 50% Expansion - created in the uppermost Floor

1083.5 x 50% = 541.75 #

6' x 13' = 78 # OK

Alfred A. Verified exterior walls are 4' knee walls therefore the

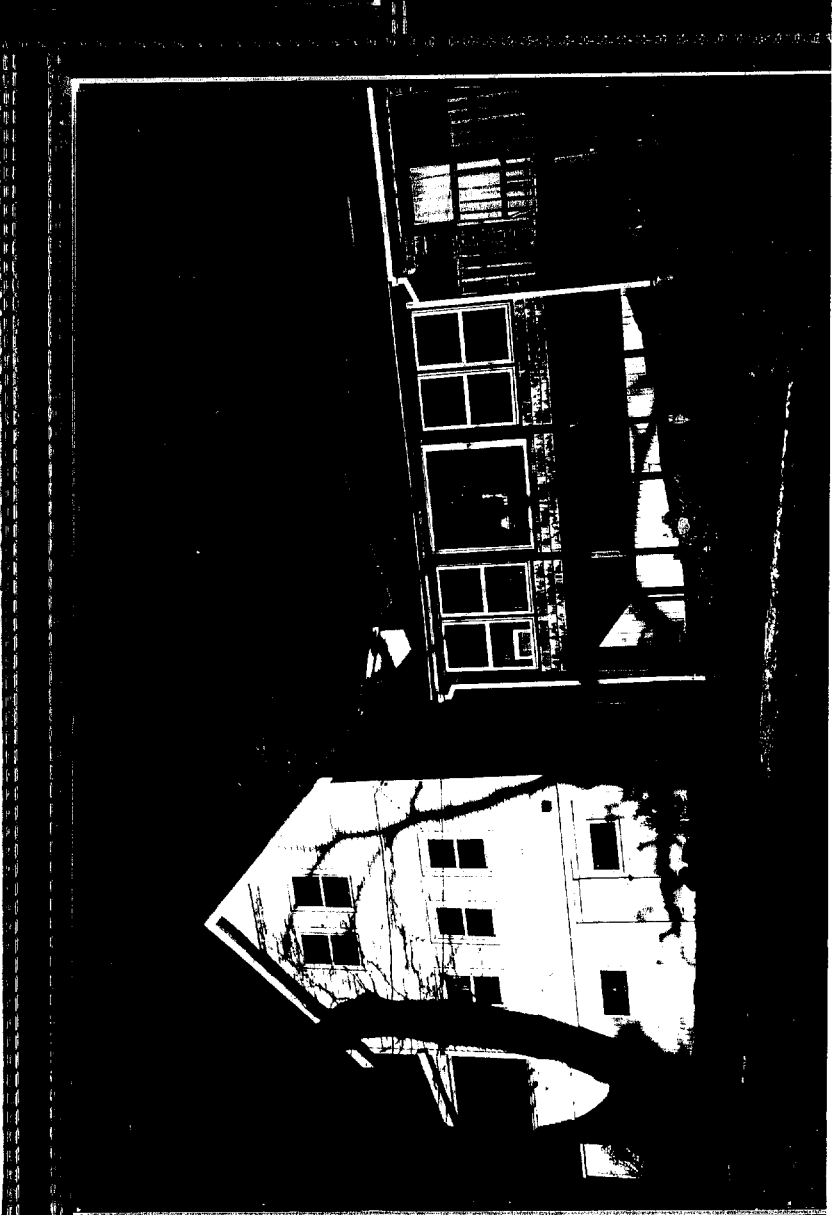
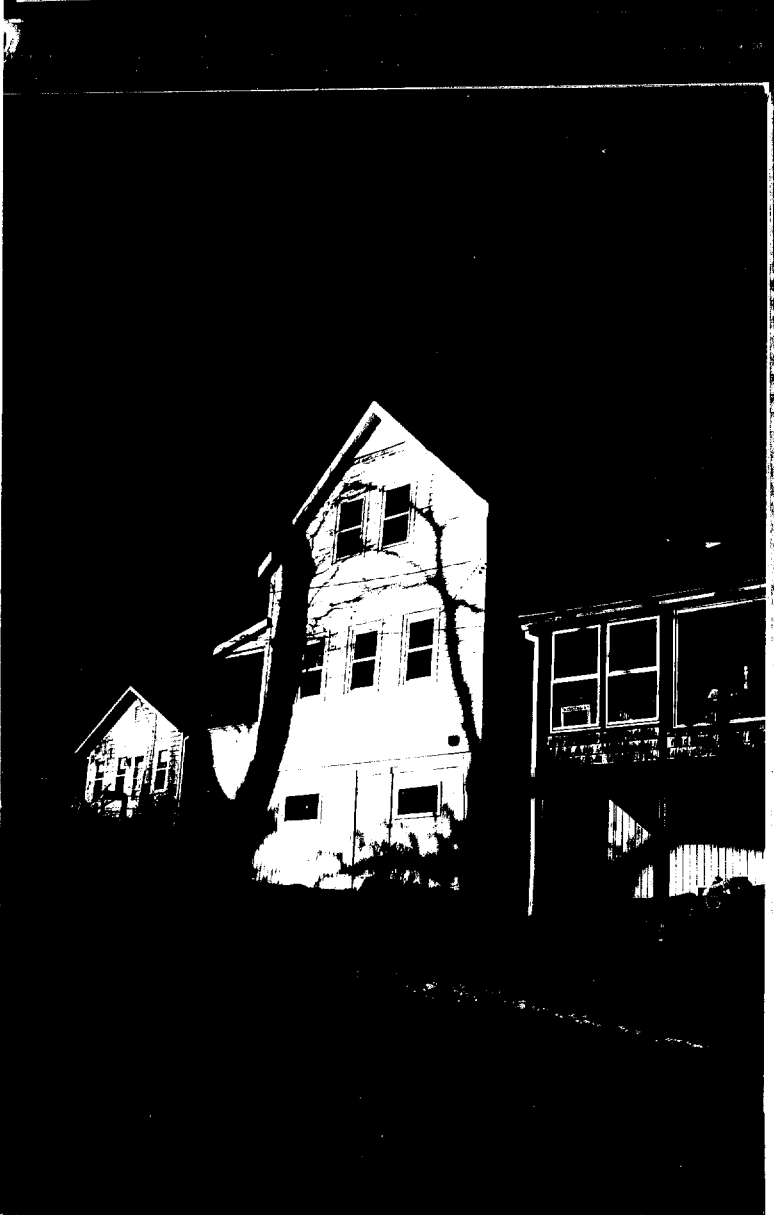
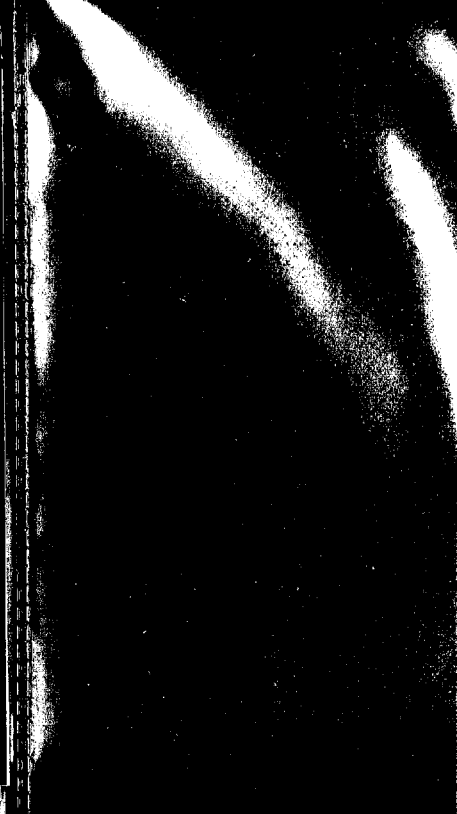
shed dormer expansions are not

included in the 50% expansion restriction

This is a 7% Expansion - OK

3rd Floor Crows Nest + Deck
Not Allowed





Architects/Engineers
3 Bridge Street
Newton MA 02458
617.630.1001 / Fax 617.630.1881

FACSIMILE TRANSMISSION

To: **Jeanie Bourke**

Facsimile No.: (207)874-8716

From: **Alfred L. Aydekt**

Date: **September 14, 2004**

Subject: **36 Oak Avenue, Peaks Island**

Number of pages including coversheet: **8**

Jeanie,

I am attaching revised drawings showing what we discussed last Thursday:

- 1. The rear stair rail height is increased and**
- 2. The projection is eliminated at the front window, with a canopy added.**

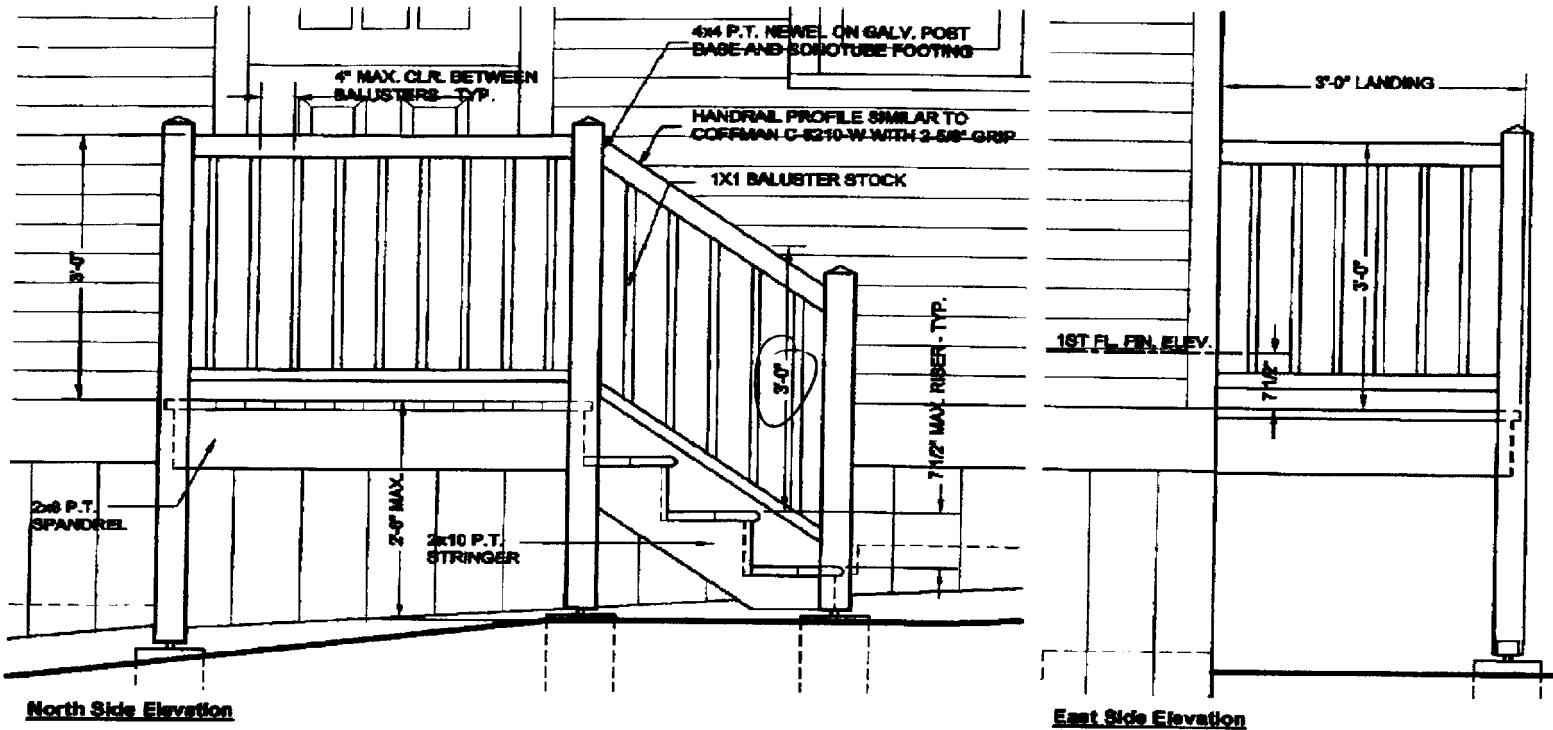
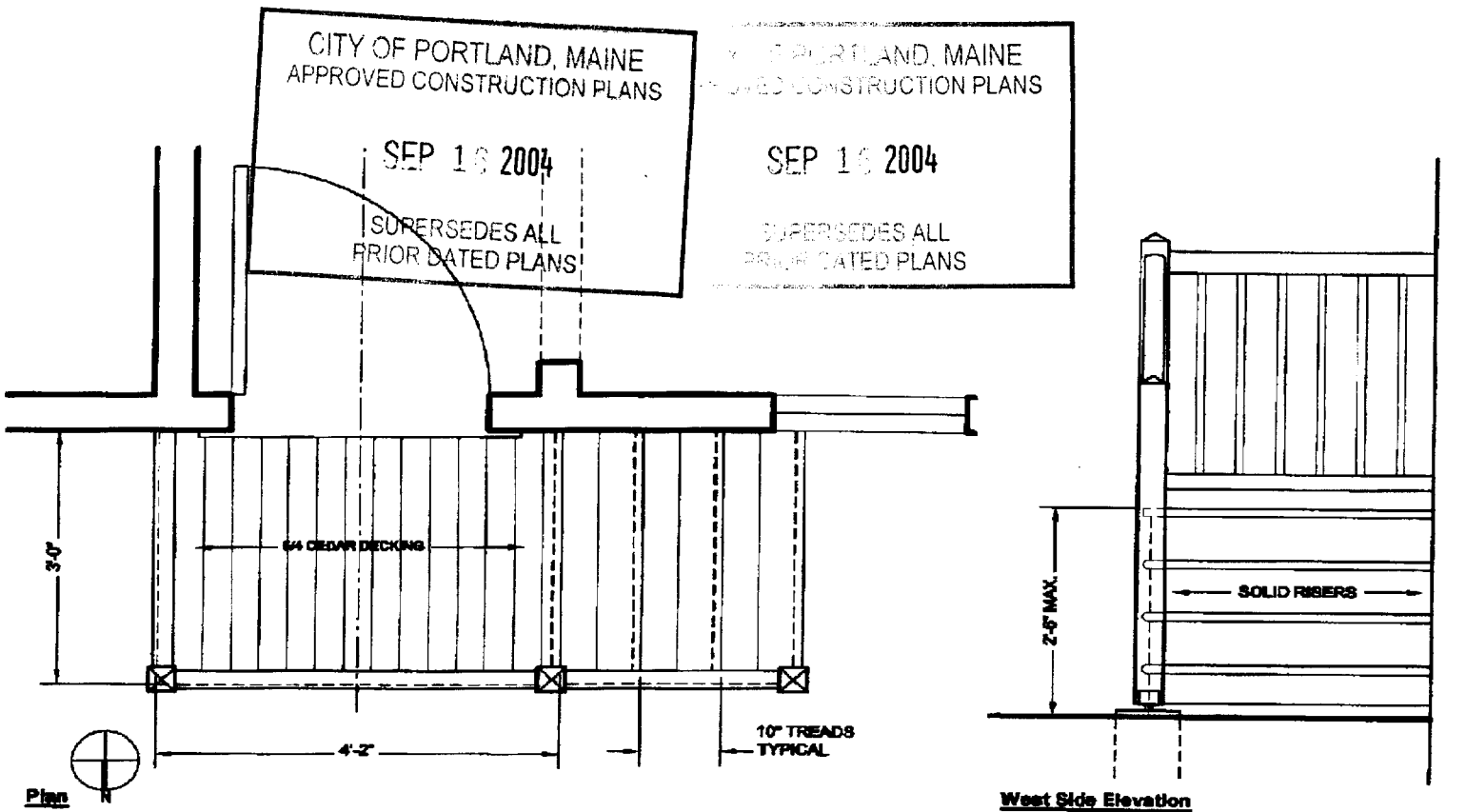
I understand that these were your last remaining items, except for the flat portion of the roof. Please advise as soon as possible whether you can accept the drawings, with this exception noted on the approval -- or what the alternative is- Cold weather is coming, and my contractor wants to get started!

Please note also that I decided to go with a study downstairs, as originally shown, instead of a garage, and these drawings show that.

AL AYDEKT

SEP 14

SEP 14



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A.L. AYDELOTT & ASSOCIATES

3 Bridge Street, Newry, MA 02461 ph:617-630-1001 fax:617-630-1881

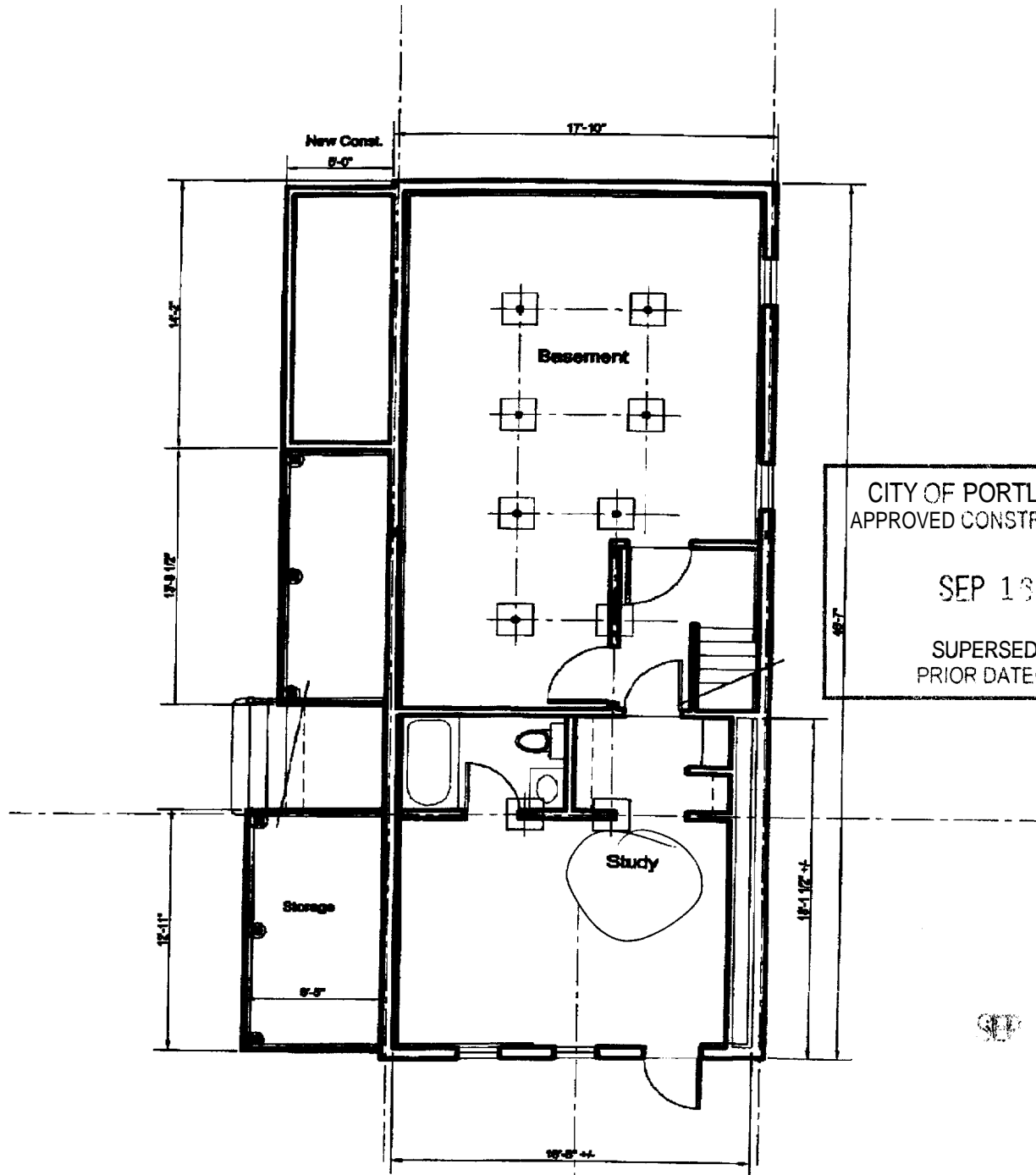
Rear Stair Details: Revision 2

Aydelott-Giske Residence, Peaks Island

SK1

SEP 14 2004

09.13.2004 1:25:11 PM



CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 SEP 13 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS

A.L. AYDELOTT & ASSOCIATES

3 Bridge Street, Newton, MA 02458 ph:617-550-1101 fax:617-550-1881

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Basement Plan
 Aydelott-Gliske Residence, Peaks Island

10.10.2004 | 10:11:17



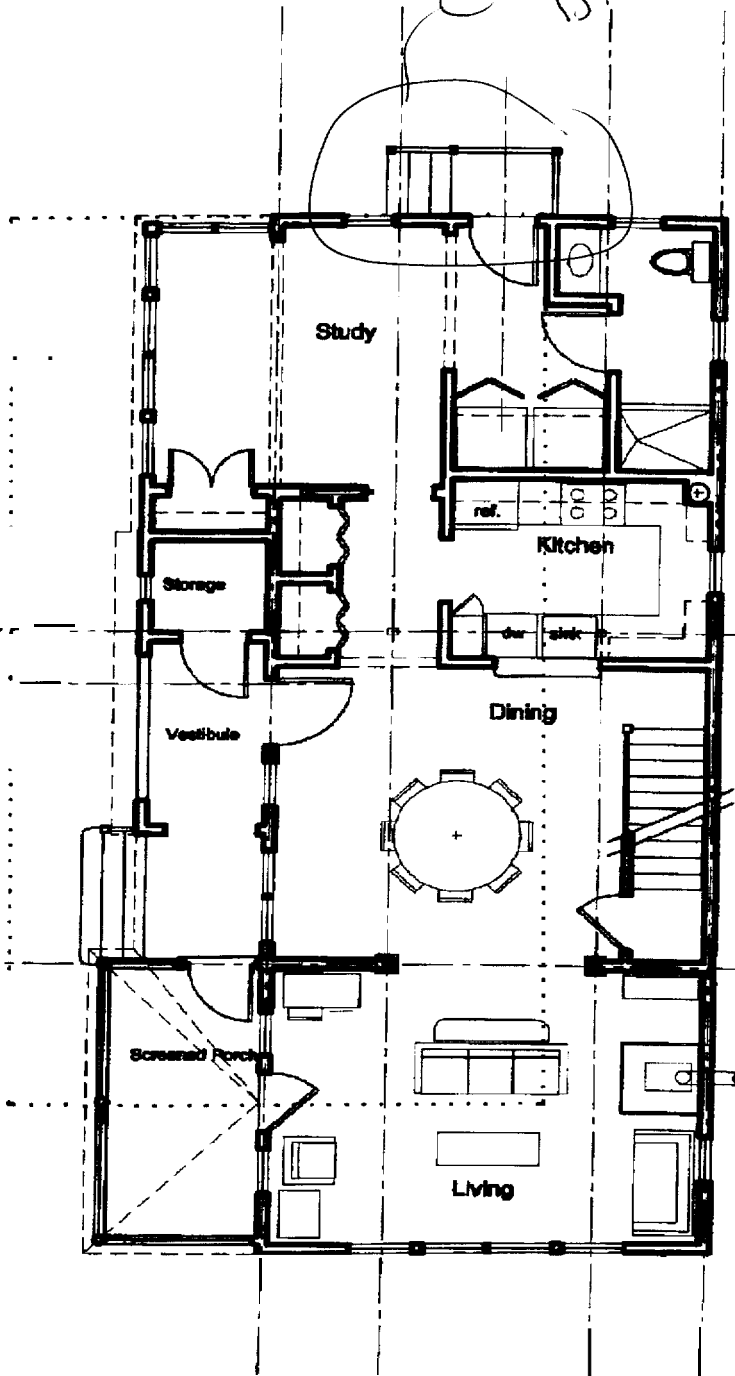
SK2

*changed
Direction dk*

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS

SEP 16 2004

SUPERSEDES ALL
 PRIOR DATED PLANS



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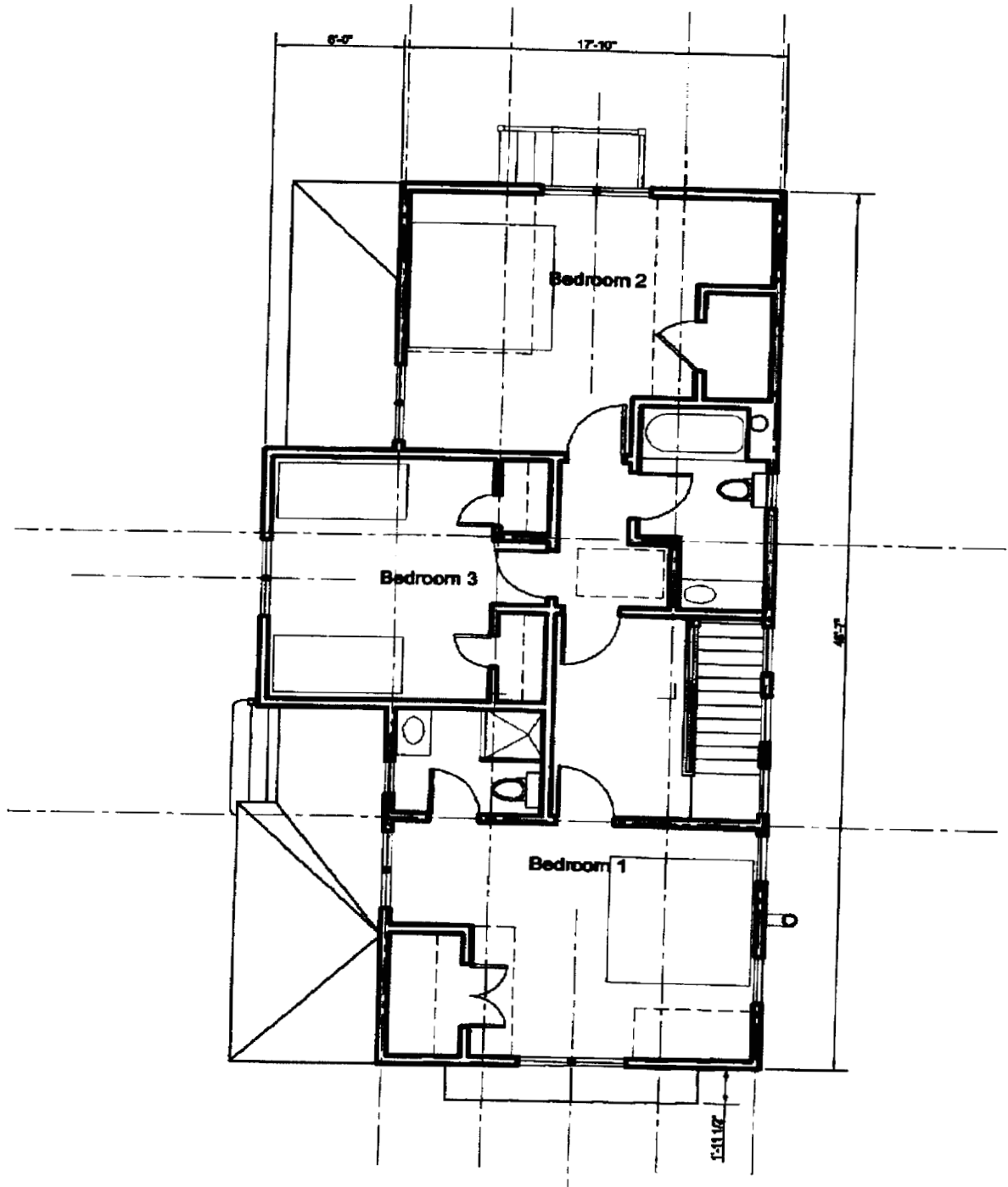
A.L. AYDELOTT & ASSOCIATES

2 Bridge Street, Newton, MA 02458 ph:617-550-1881 fax:617-550-1881

First Floor Plan
Aydelott-Giske Residence, Peaks Island

SK3

09.30.2004 | 1/8"=1'-0"



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A.L. AYDELOTT & ASSOCIATES

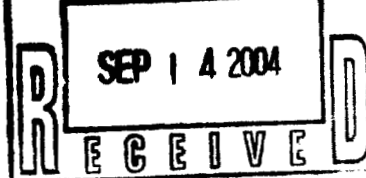
3 Bridge Street, Newton, MA 02458 ph: 617-630-1881 fax: 617-630-1881

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

Upper Floor Plan

Aydelott-Giske Residence, Peaks Island

SK4



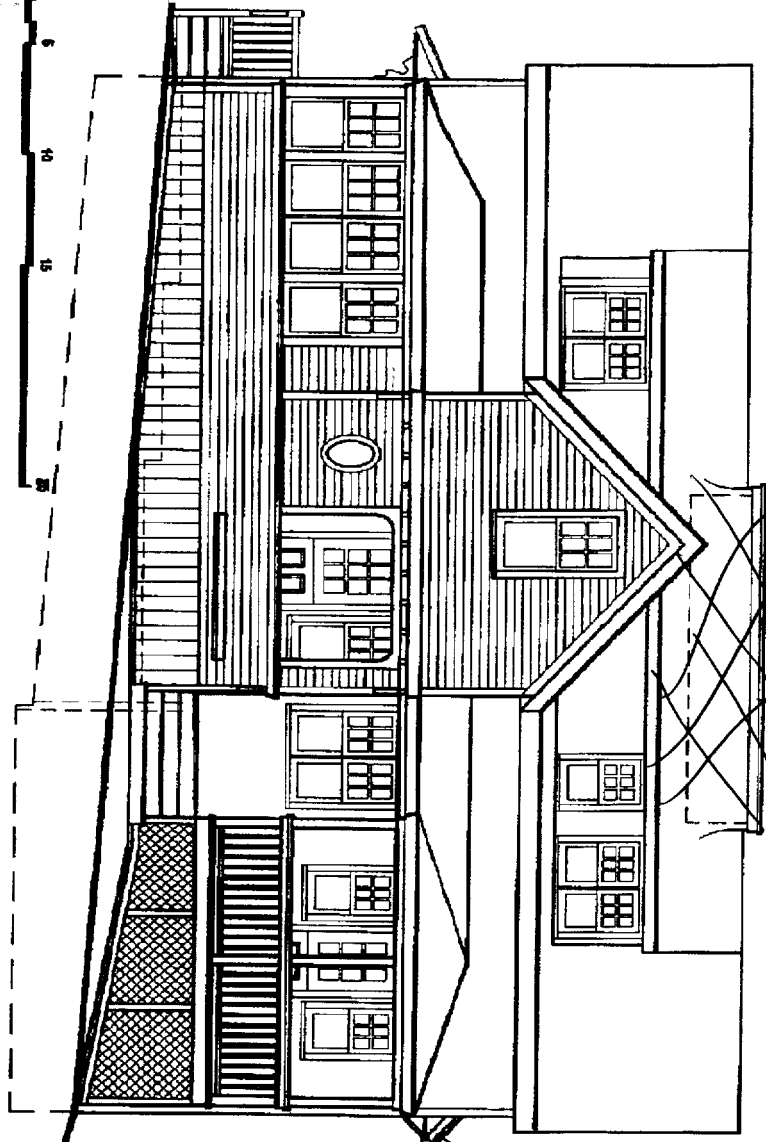
A.L. AYDELOTT & ASSOCIATES
3 Bridge Street, Newton, MA 02458 PL#617-552-1001 FX#617-552-1001

West Elevation
Aydelott-Glecke Residence, Peaks Island
10/28/2003 1:48:11 PM

SK6

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CITY OF PORTLAND, ME
SEP 14 2004
RECEIVED

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
SEP 19 2004
SUPERSEDES ALL
PRIOR DATED PLANS



No. 1 allowed

canopy
into setback
up to 24"

SK7

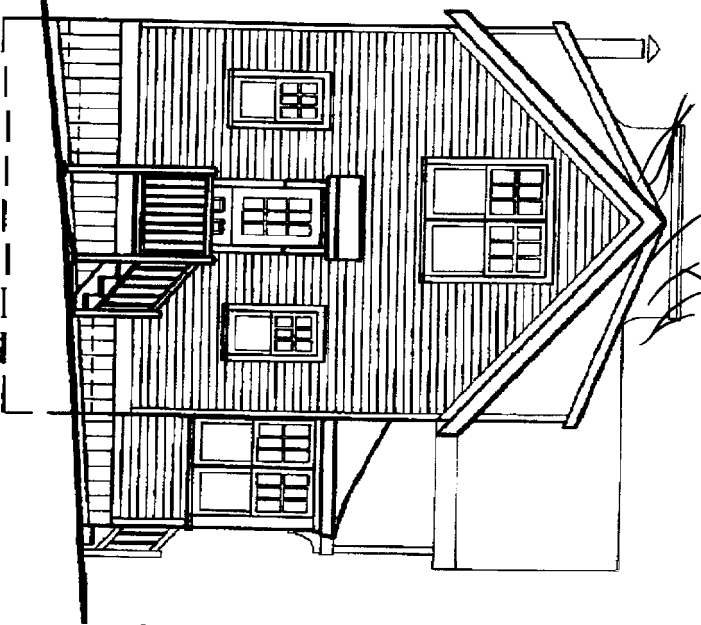
North and South Elevations
Aydelott-Glata Residence, Peaks Island

A.T. AYDELOTT & ASSOCIATES

3 Orange Street, Newbury, MA 02459 PH: 617-550-9001 FAX: 617-550-1881

SEP. 14 '04 (WED) 14:10 COMMUNICATION No.: 18 PAGE: 7

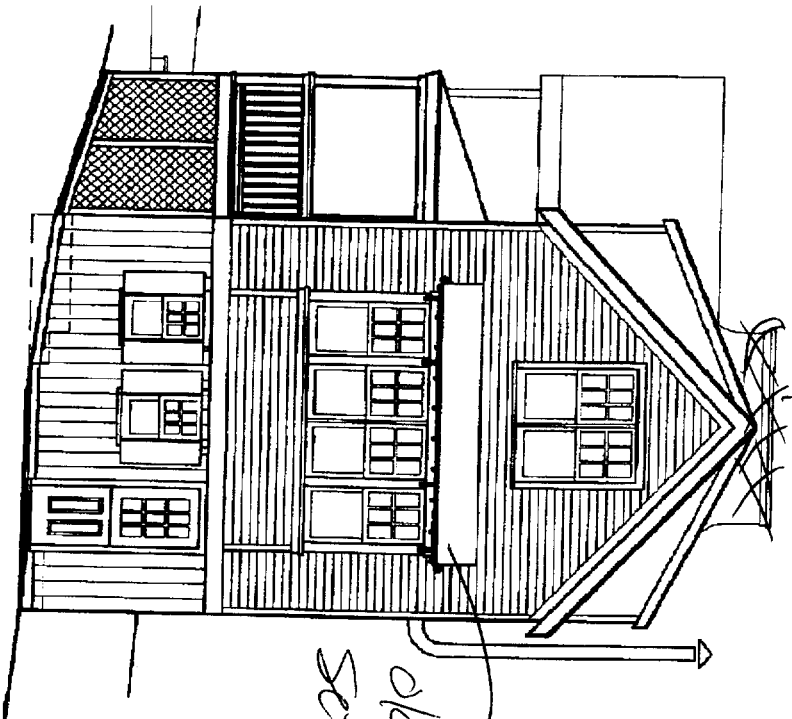
A.T. Aydelott and Associates, Architects and Engineers, Inc.



Not allowed

DEPT. OF BUILDINGS INSPECTOR
CITY OF PORTLAND, ME
SEP 14 2004
RECEIVED

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
SEP 16 2004
SUPERSEDES ALL
PRIOR DATED PLANS



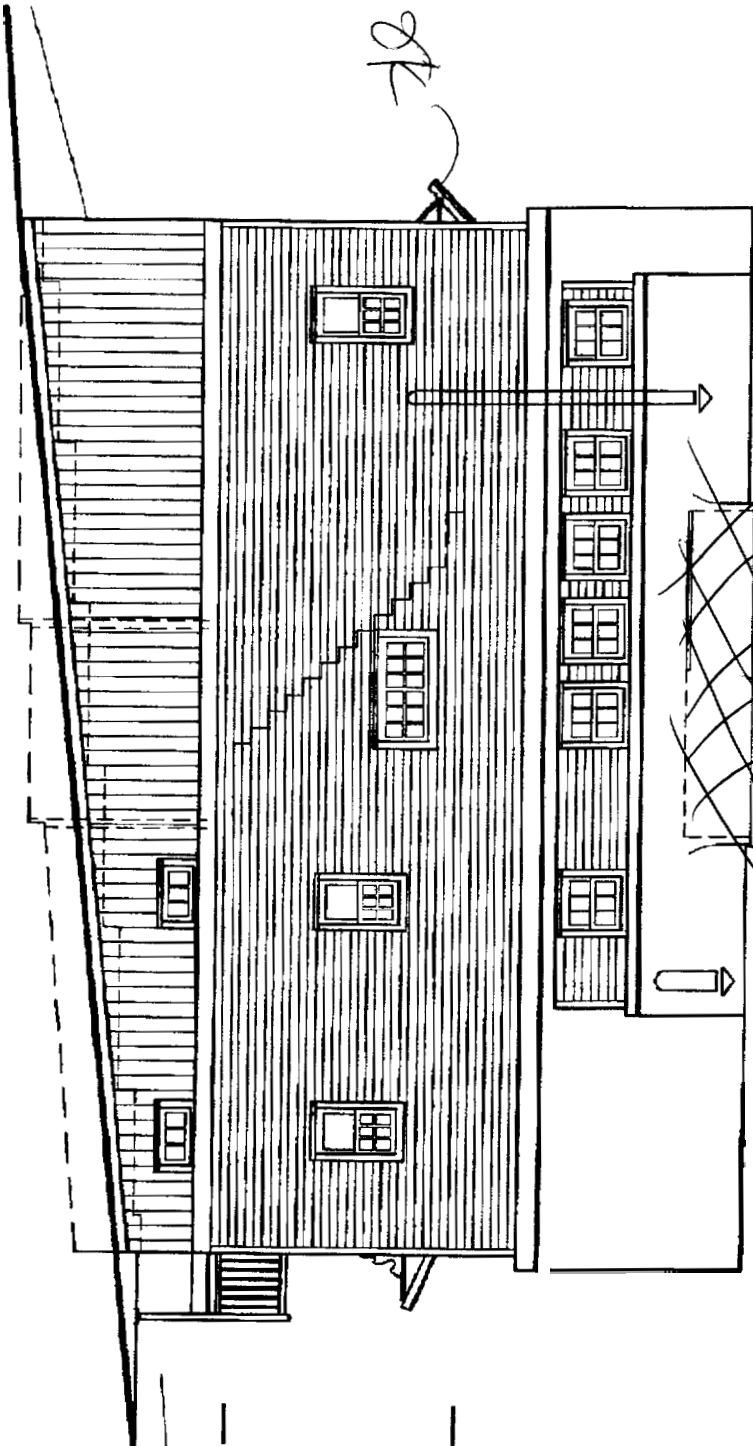
Not allowed

*canopy
ok into
setback
2' max*

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, MAINE
RECEIVED
SEP 14 2004

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
SEP 16 2004
SUPERSEDES ALL
PRIOR DATED PLANS

Not allowed



Architects/ Engineers
3 Bridge Street
Newton M A 02458
617.630.1001 / Fax 617.630.1881

A. L. Aydelott & Associates Inc.

FACSIMILE TRANSMISSION

To: Jeanie Bourke

Facsimile No.:(207)874-8716

From: Al Aydelott

Date: August 31, 2004

Subject: 36 Oak Avenue, Peaks Island

Number of pages including cover sheet: 2

Jeanie.

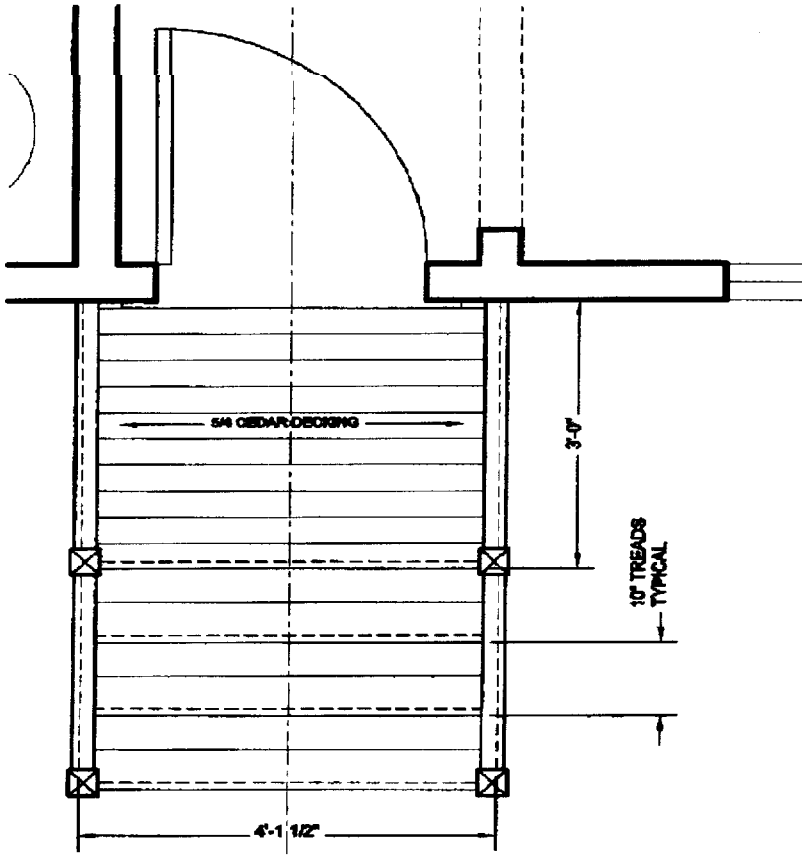
I am attaching the rear stair details that you asked for. Please call if you have any questions about them. I'm hoping you can give me good news about the roof.

My structural engineer told me you called him. I hope he answered your questions about the framing. Let me know if you need anything else.

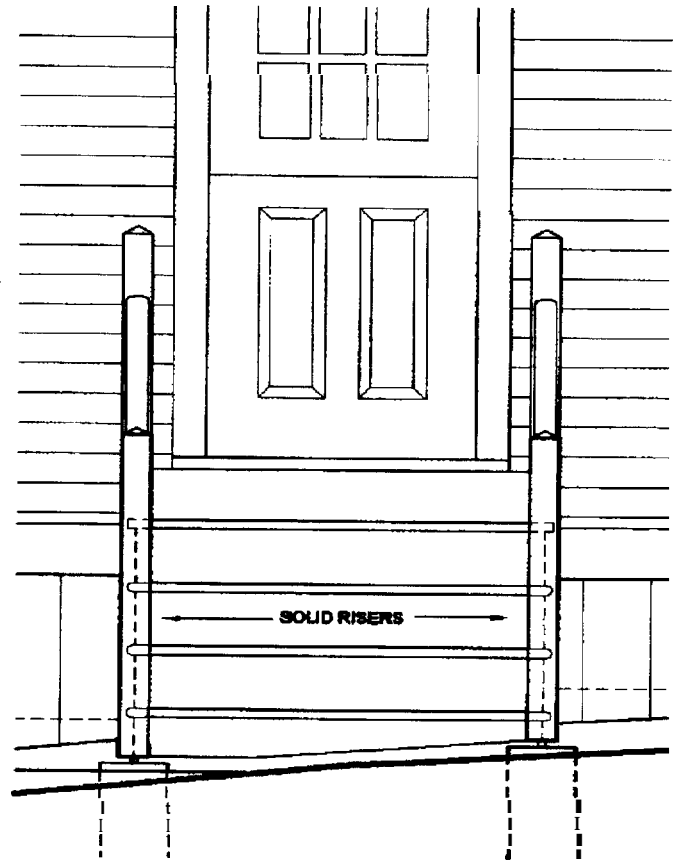
AL AYDELOTT

SEP - 1 2004

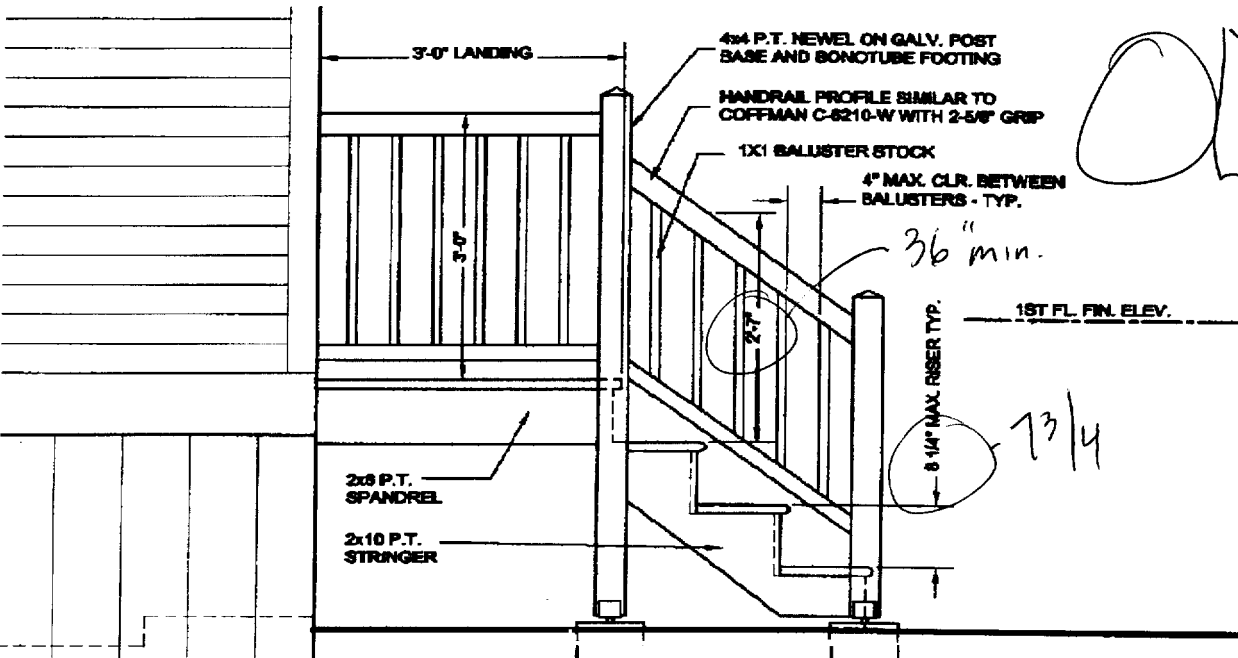
■



Plan



Front Elevation



Side Elevation

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A.L. AYDELOTT & ASSOCIATES

3 Bridge Street, Newton, MA 02460 ph: 617-630-1001 fax: 617-630-1881

Rear Stair Details

Aydelott-Giske Residence, Peaks Island

08.20.2004 1/8"=1'-0"



SK1

Architects/Engineers
3 Bridge Street
Newton M A 02458
617.630.1001/Fax 617.630.1881

A. I. Aydelott & Associates Inc.

FACSIMILE TRANSMISSION

To: **Jeanie Bourke** Facsimile No.: (207)874-8716
From: **Al Aydelott** Date: **September 7, 2004**
Subject: **36 Oak Avenue, Peaks Island**

Number of pages including cover sheet: **10**

Jeanie,

As we discussed, I am attaching revised drawings.

I turned the back stairs to take advantage of the existing grade change. The risers are 7-1/2" max, which results in a height of 30" max above grade at the landing nosing. This permits a 31" stair rail height, which I like better than 36". The landing railings are still at the 38" guardrail height

The bay window is eliminated. The front windows project just enough to give scale and relief to the front elevation, which is very stark. The projection is now less than the existing rake eave projection.

The flat roof area has been reduced to the minimum needed to translate the load down through the structure below. The section on sheet SK9 shows the sklight and framing. The framing is integral with the dormer construction. The detailing has been modified to reduce the visual impact. The roof shingles now extend up the sides, and the transitions from the existing roof are softened.

I look forward to hearing your thoughts and reactions.

AL AYDELOTT

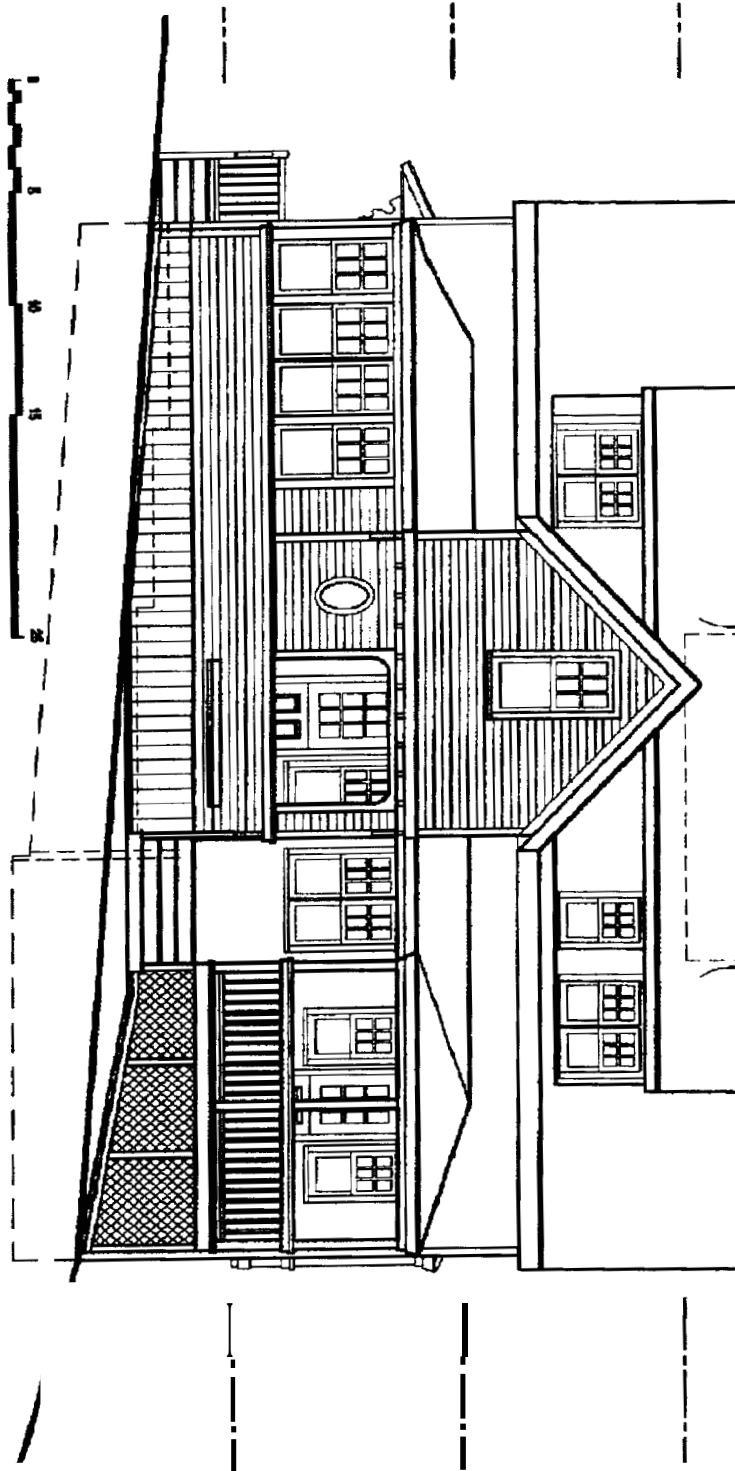
SEP - 1

SK6

West Elevation
Aydelott-Glaze Residence, Peaks Island

A.T. AYDELOTT & ASSOCIATES

A. T. Aydelott and Associates, Architects and Engineers, Inc.



SEP - 7 2004

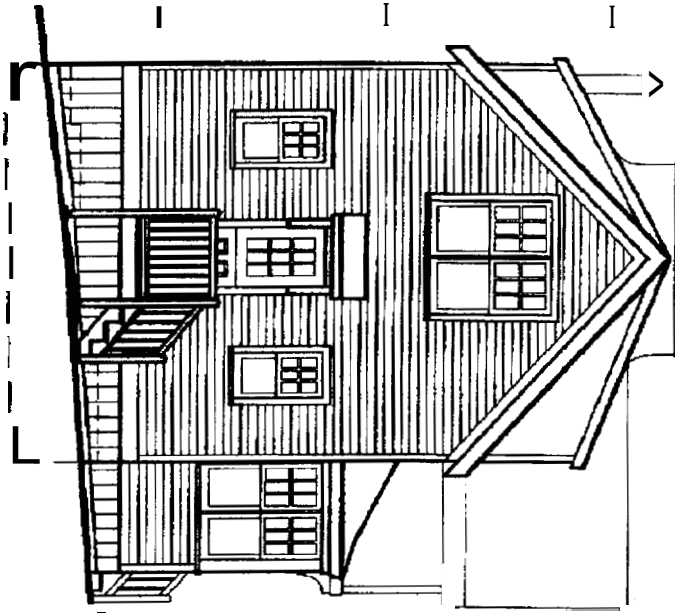
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SK7

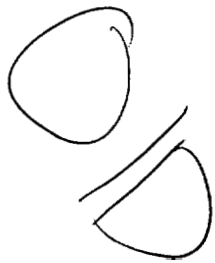
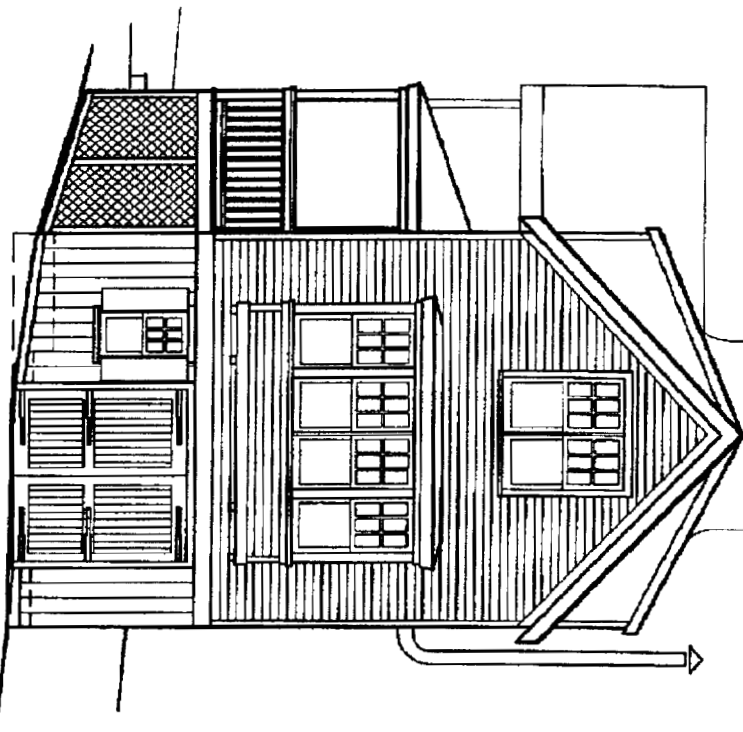
North and South Elevations, Peaks Island
Aydelott-Gleke Residence, Peaks Island

A.T. AYDELOTT & ASSOCIATES

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SEP - 7 2004

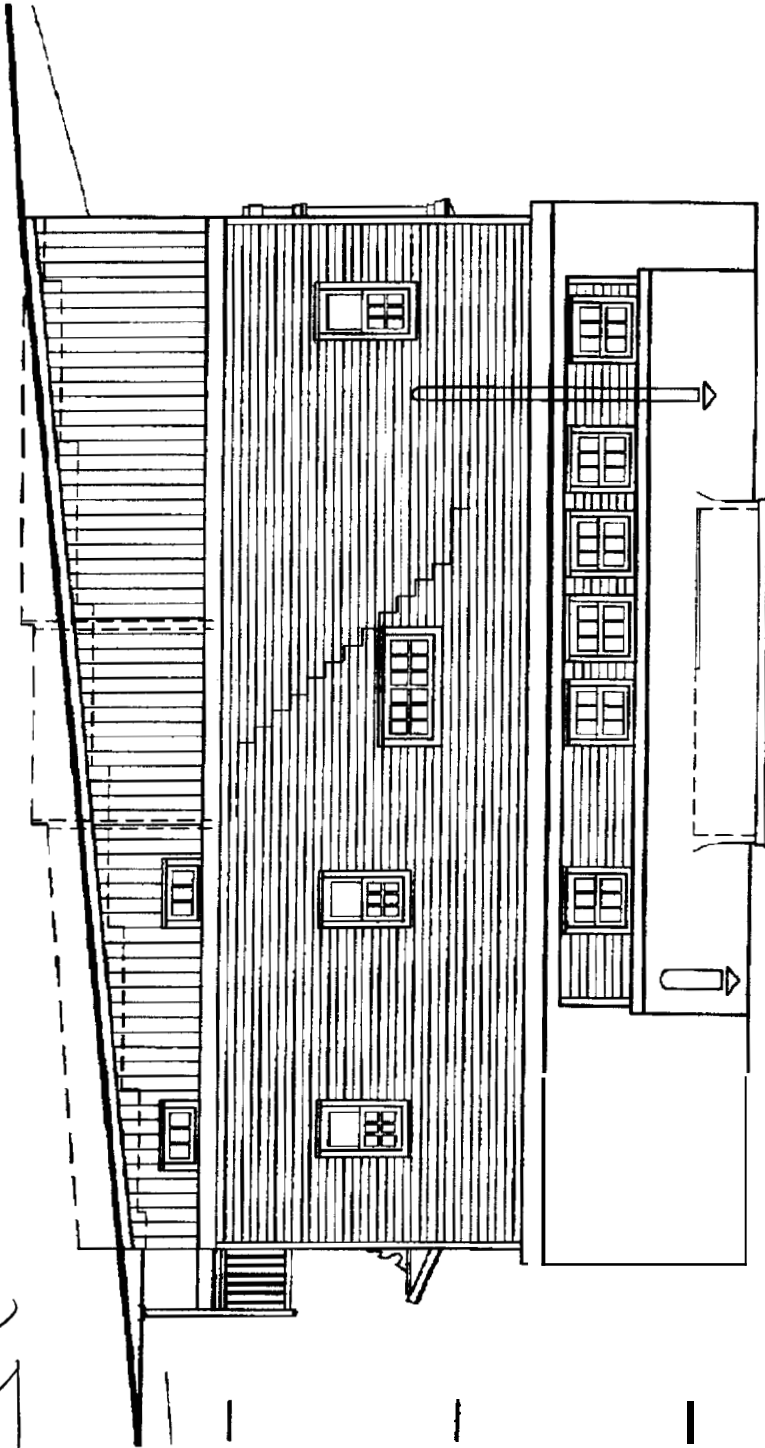


SK8

East Elevation
Aydelott-Gleke Residence, Peaks Island

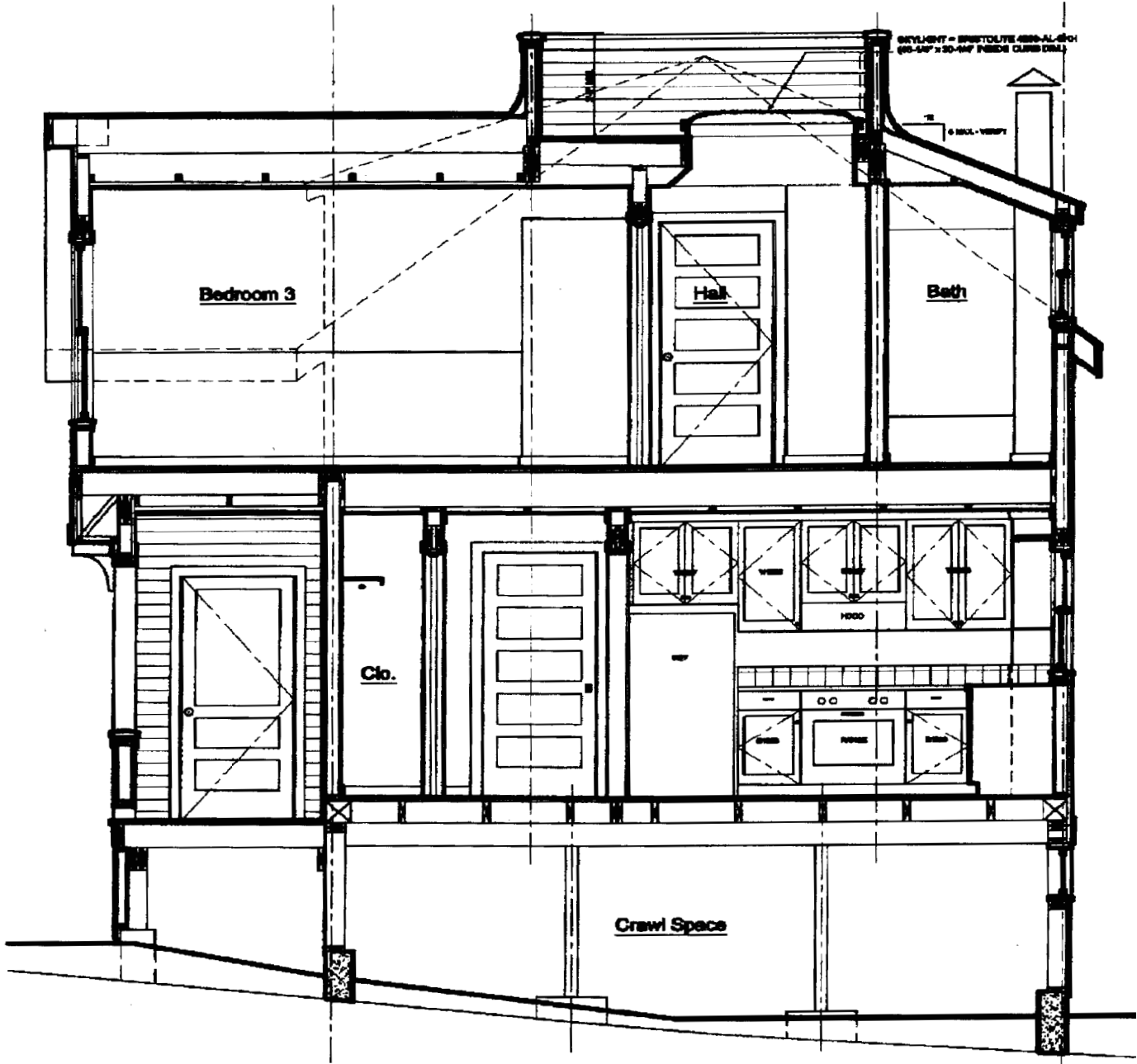
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OLD



SEP - 7

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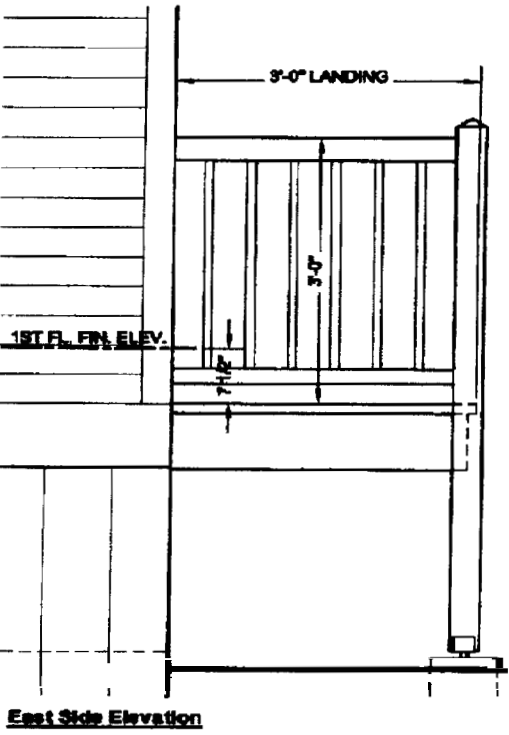
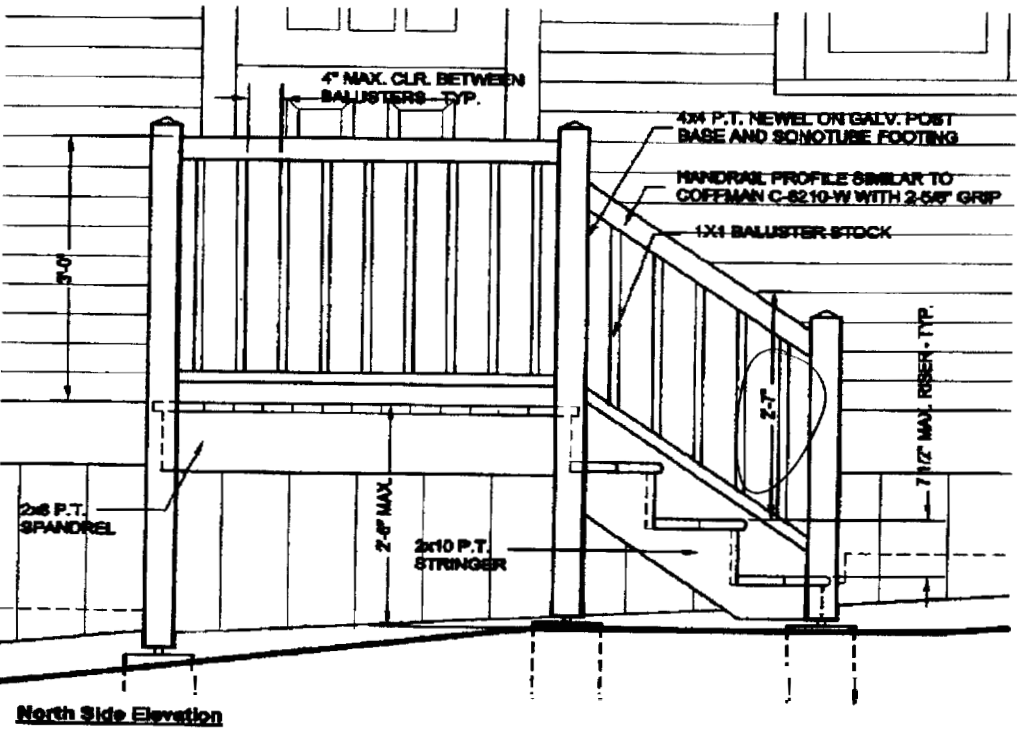
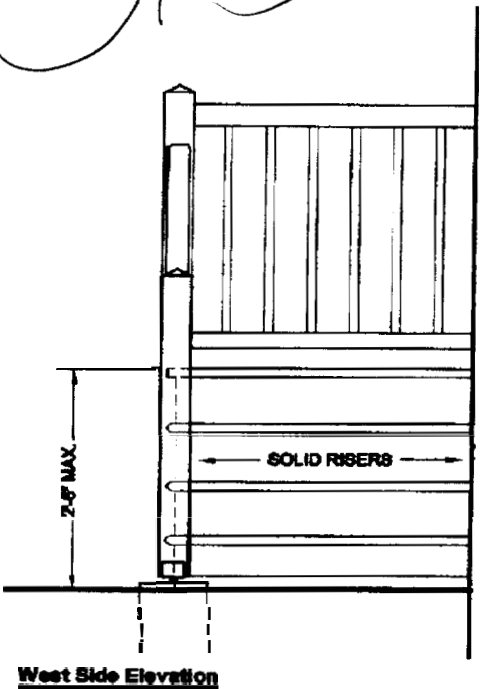
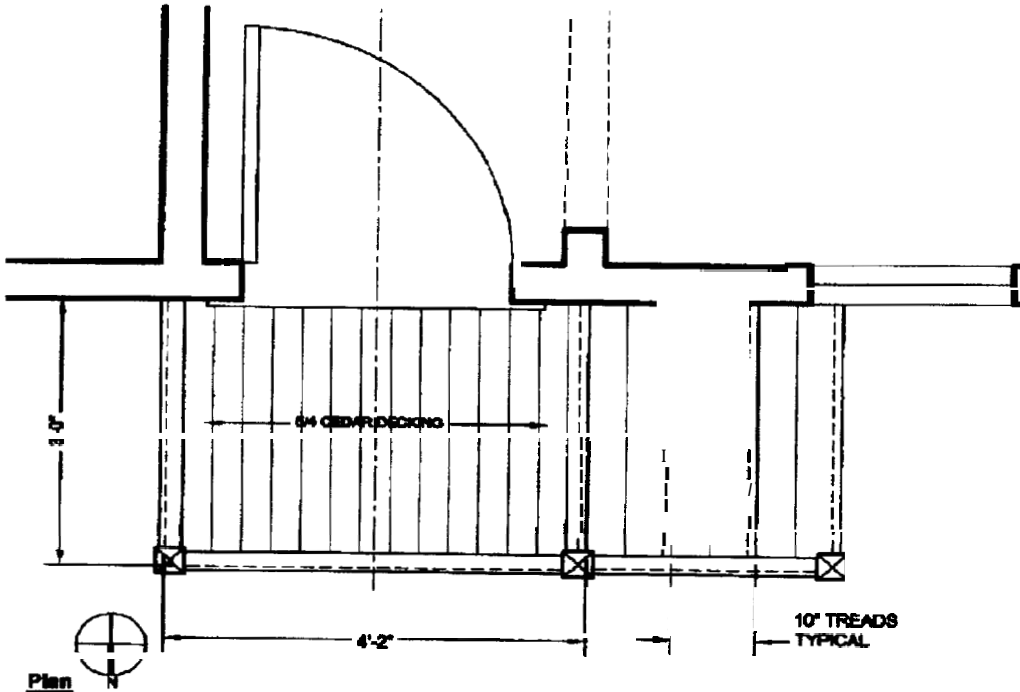
3 Bridge Street, Newton, MA 02459 ph: (617) 552-1021 fax: (617) 552-1987

Section Through Flat Roof
Aydelott-Giske Residence, Peaks Island

SK9

08.30.2004 1:35PM

OLD



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A.L. AYDELOTT & ASSOCIATES

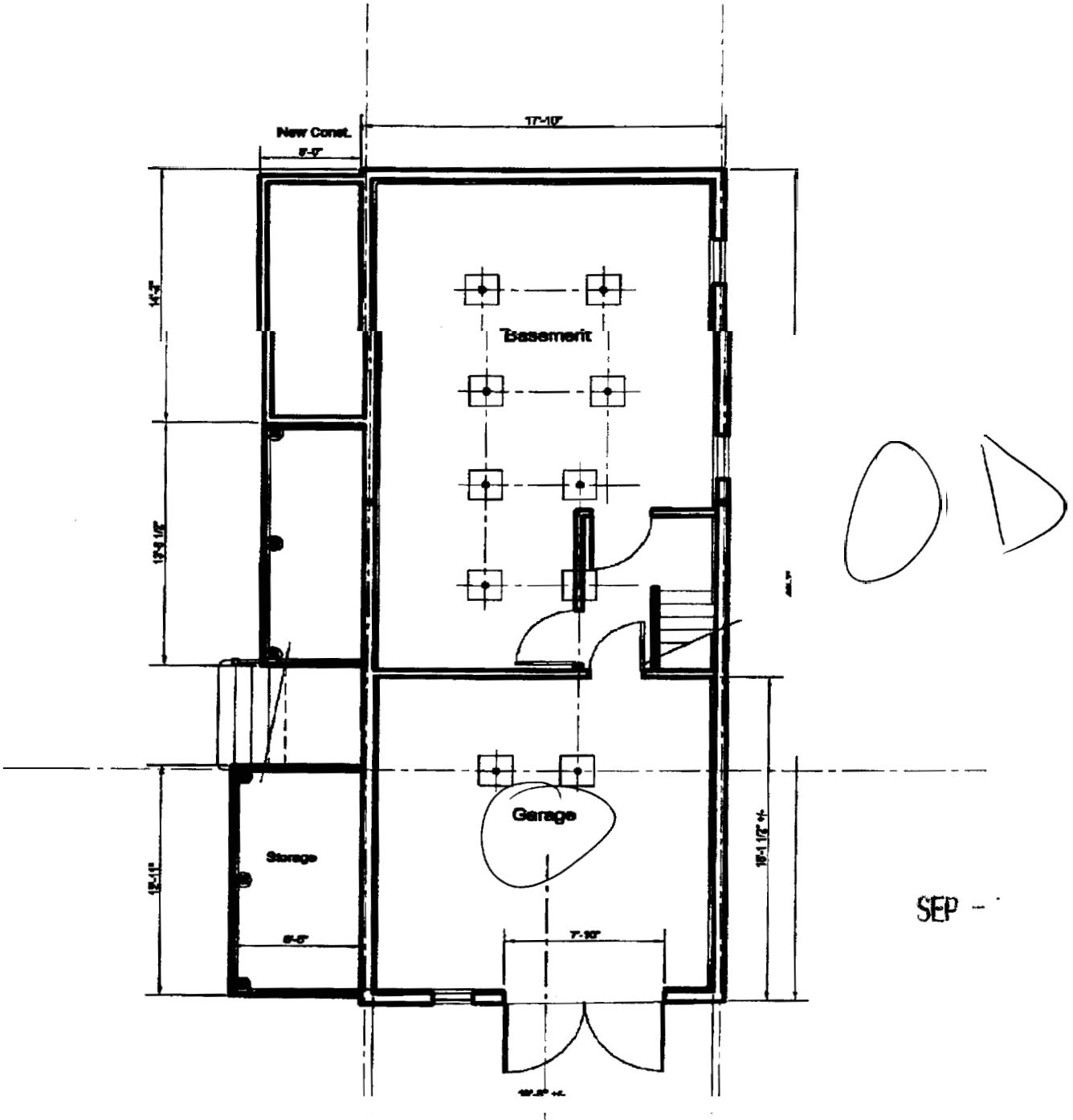
3 Bridge Street, Needham, MA 02485 ph: 977-630-1001 fax: 977-630-1881

SEP - 7 2004

Rear Stair Details: Revision 1
Aydelott-Giska Residence, Peaks Island

SK1

08.03.2004 | 11:27:47



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A.L. AYDELOTT & ASSOCIATES

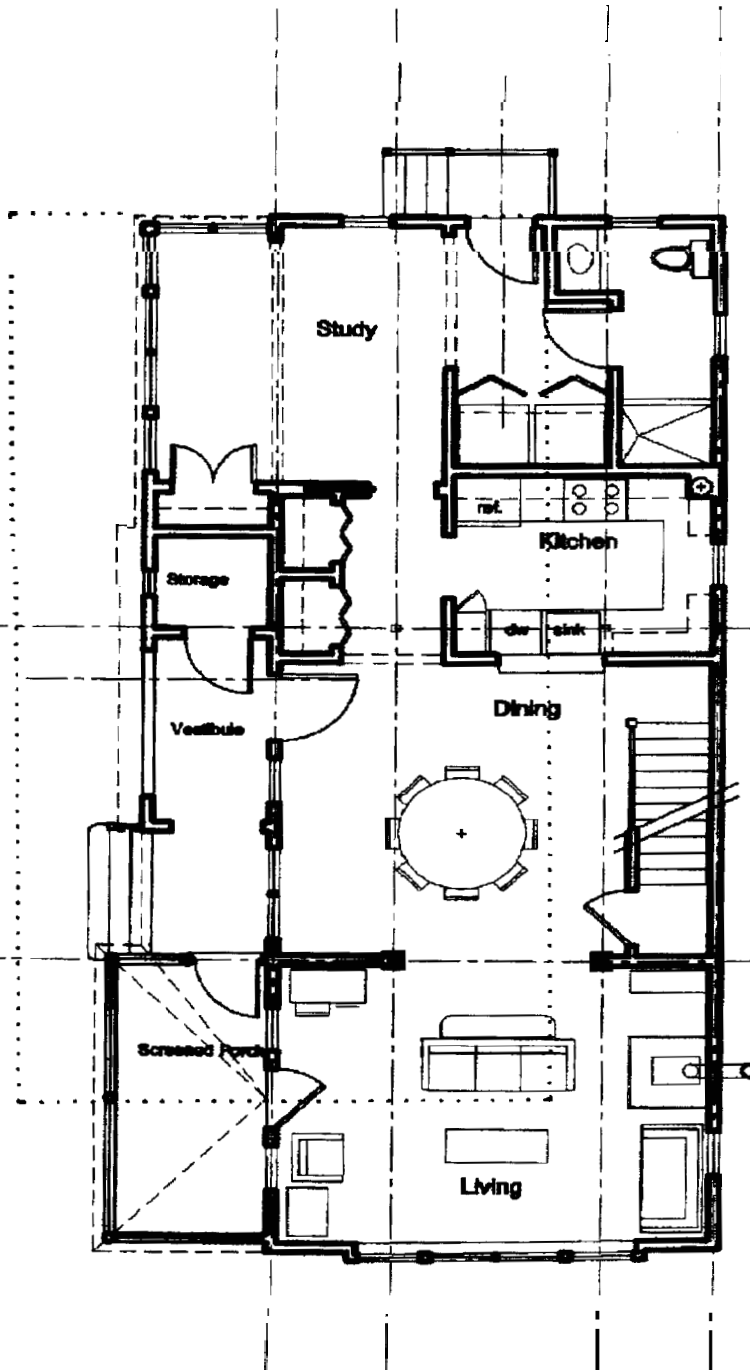
3 Bridge Street, Newton, MA 02459 ph: 977-630-8001 fax: 977-630-3881

Basement Plan
Aydelott-Gliske Residence, Peaks Island

18.02.2004 1:07:14P



SK



OLD

SEP - 7



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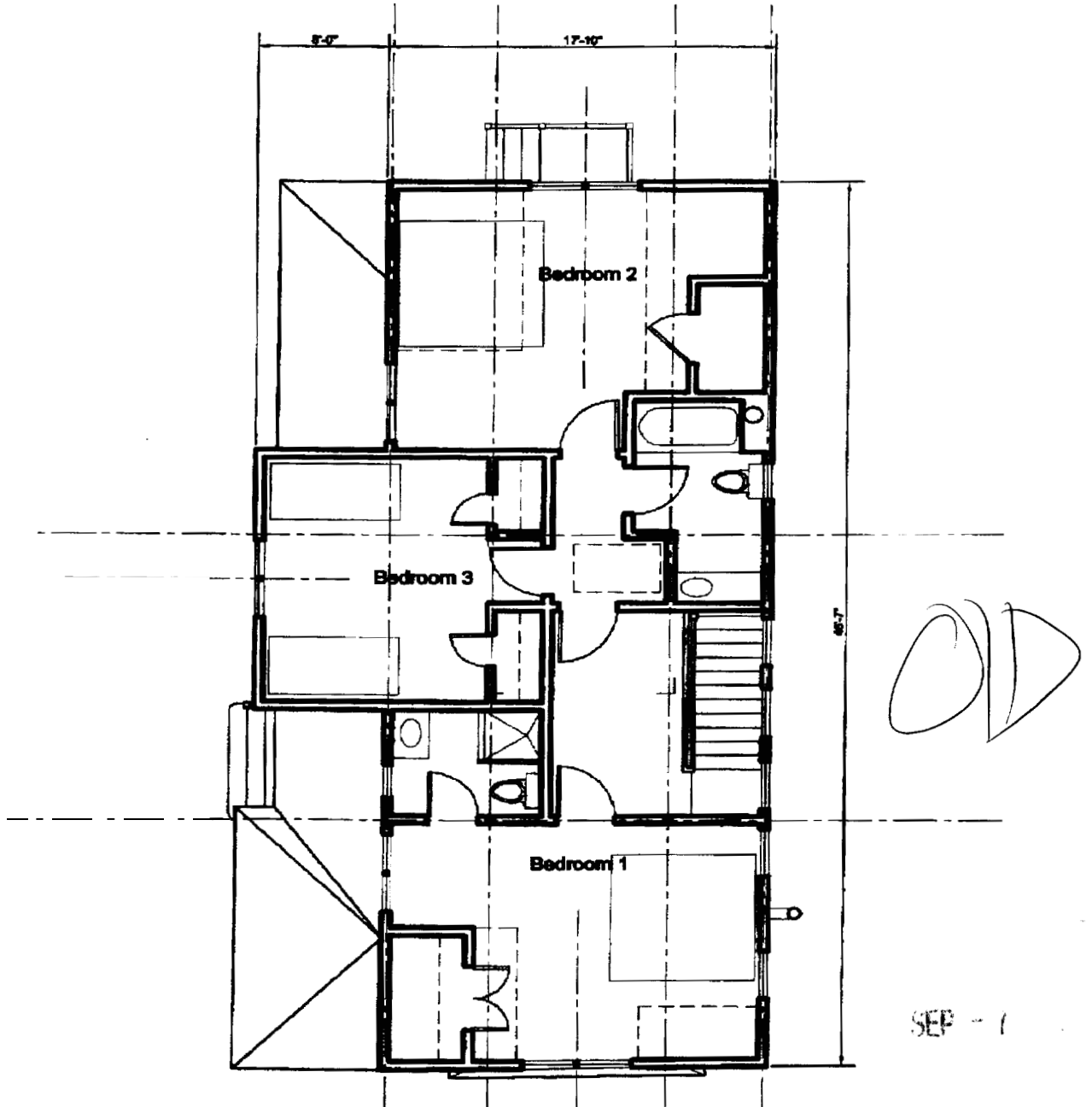
A.L. AYDELOTT & ASSOCIATES

3 Bridge Street, Boston, MA 02468 ph: 617-630-1881 fax: 617-630-1882

First Floor Plan
Aydelott-Giske Residence, Peaks Island

SK3

18 SEP 2004 1:39 PM



A.L. AYDELOTT & ASSOCIATES

3 Bridge Street, Newton, MA 02459 ph:617-552-1001 fax:617-552-1881

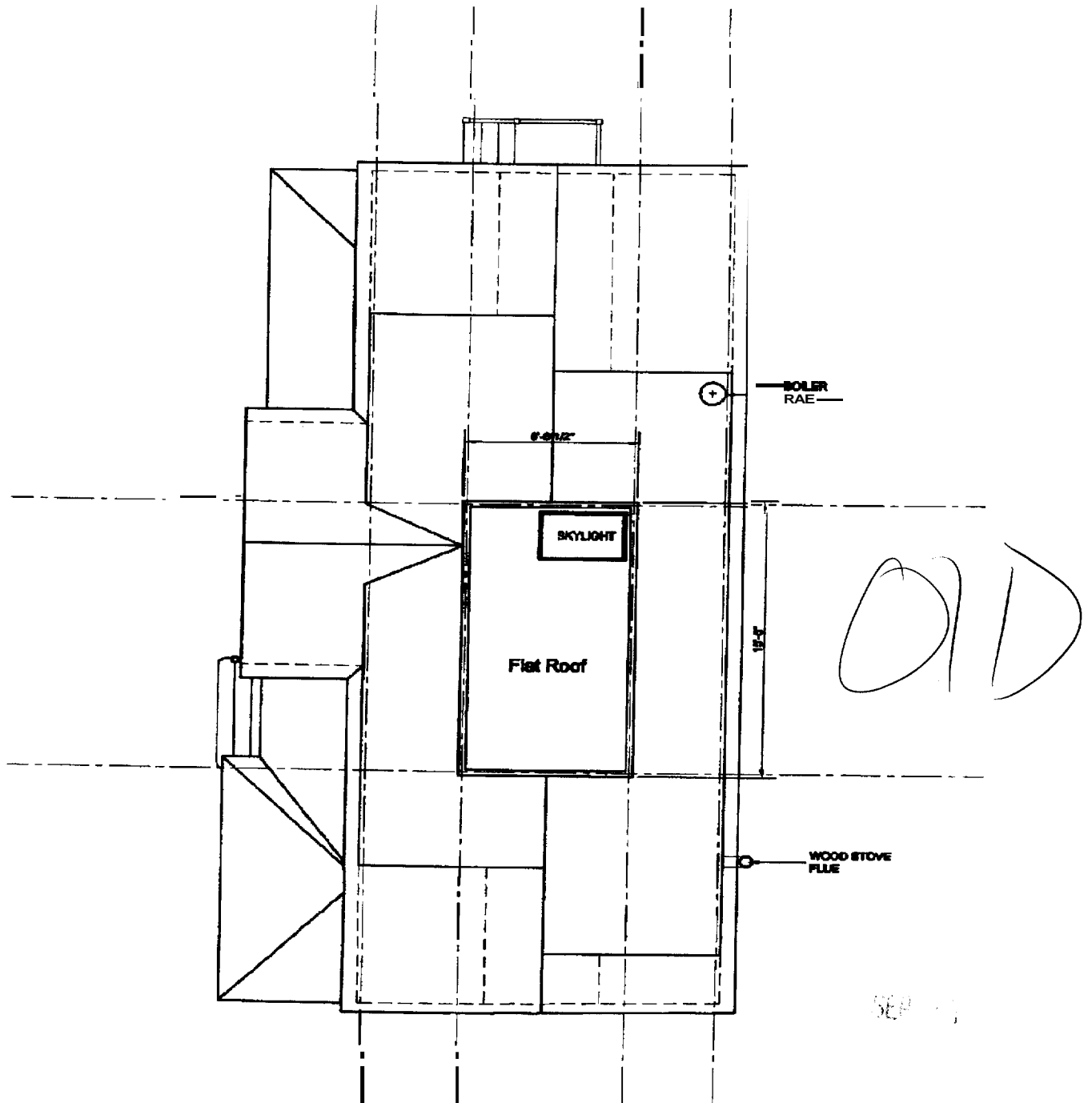
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Upper Floor Plan
Aydelott-Gleke Residence, Peaks Island

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A.L. AYDELOTT & ASSOCIATES

3 Bridge Street, Newton, MA 02458 ph: 617-552-1021 fax: 617-552-1001

Roof Plan

Aydelott-Giske Residence, Peaks Island

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