

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1210	Issue Date: NOV - 1	CBL: 084 Q004001
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Location of Construction: 56 Island Ave	Owner Name: Heller Betty D & Howard U Jts	Owner Address: 400 Seashore Ave	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: 1-B

Past Use: Multi Use / Commercial; 1st floor, offices and 2nd floor, residential.	Proposed Use: Multi Use / Repair water damage and rot.	Permit Fee: \$184.00	Cost of Work: \$22,200.00	CEO District: 3
Proposed Project Description: Repair water damage and rot.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R/B Type: 5B 10/31/02	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 10/25/2002	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Date: <i>10/31/02</i>	Date: _____	Date: _____	

*[Signature]*  
**NO EXPANSION!**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

56 Johnson Ave

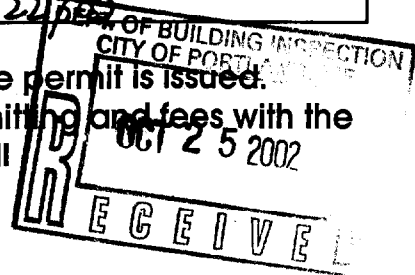
Location/Address of Construction: 14 Welch St., Peaks Island, ME 04108		
Total Square Footage of <del>Proposed</del> <sup>Existing</sup> Structure 640 ft <sup>2</sup> (20' x 32')	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 84 Block# Q Lot# 4	Owner: Howard Heller	Telephone: 766-3340
Lessee/Buyer's Name (If Applicable) Kirk Goodhue, Port Island Realty	Applicant name, address & telephone: See Contractor Section Below	Cost Of Work: <del>7,200</del> 22,200 Fee: \$ 184.00
Current use: 1st floor: offices, 2nd floor: residential		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: Same as Current		
Project description: Repair water damage and rot. See Attached Estimate.		
Contractor's name, address & telephone: Thompson Johnson Woodworks		
Who should we contact when the permit is ready: Harvey Johnson		
Mailing address: 9 Adams St., Peaks Island, ME, 04108		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 766-5919		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 10/22/2002
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall



# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 021220

PERMIT ISSUED

This is to certify that Heller Betty D & Howard U

has permission to Repair water damage and roof

AT 56 Island Ave

084 Q004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or enclosed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature]  
Director - Building & Inspection Services 10/31/02

**PENALTY FOR REMOVING THIS CARD**

p: 874-8703

fax: 874-8716

Attn: Mike Nugent.

Here is the 1st floor joist plan  
for 56 Island Ave (14 Welch St).

I have made notes on it to indicate the  
amount of rot found in the southeast corner.

Included also is our proposed solution.

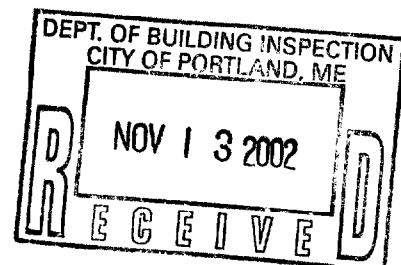
Please call me at 766-5919 if you need  
more information.

The building owner would like us to concentrate  
on this area of rot first. After we fix the  
joists/subfloor we'll open up the wall, and notify you of our  
findings and proposed solutions.

Thank you,

Harvey Johnson

Thompson Johnson Woodworks



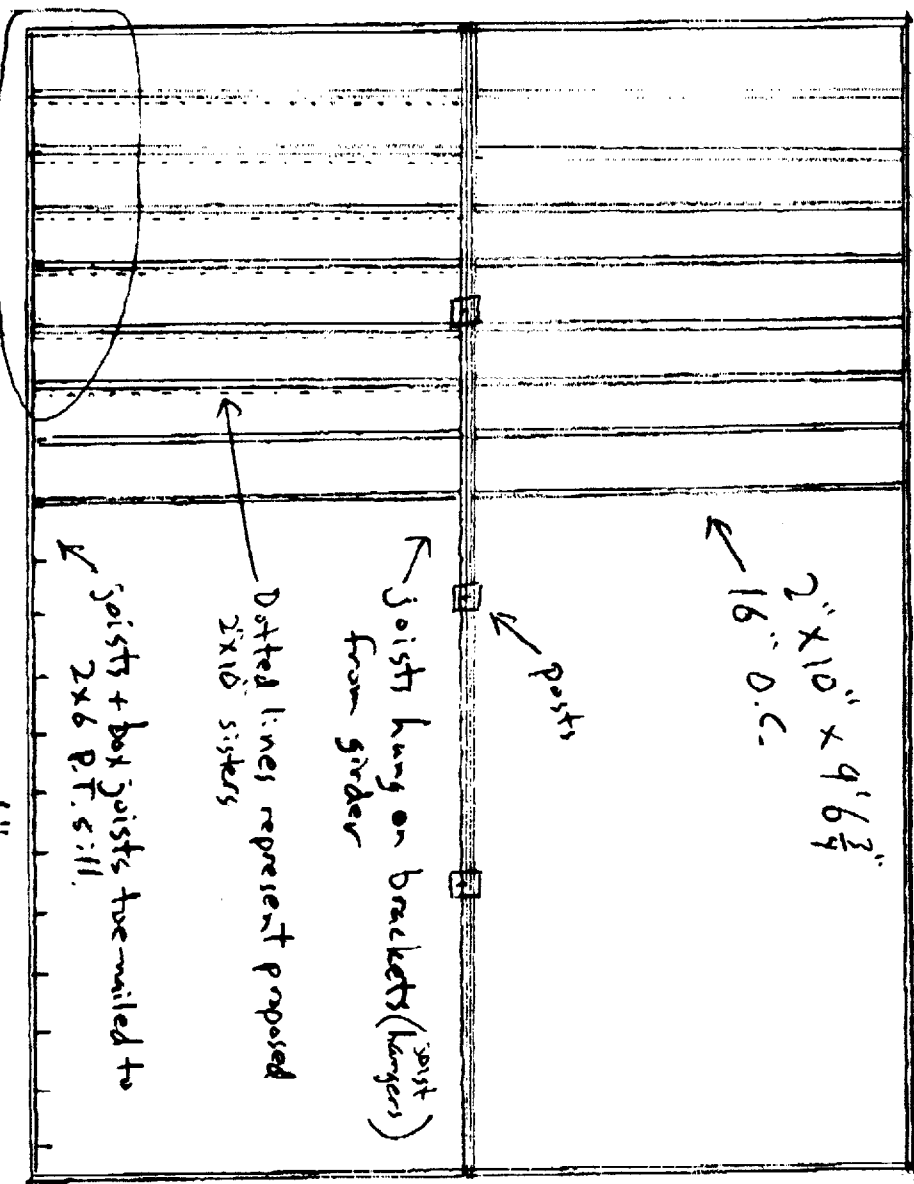
1/4" = 1'

South  
←

19' 9"

approximate 2' x 8'  
area of rot  
(P.T. sill  
is still sound) →

- 1st floor joist rim for 1st window (10' distance)
- 2" x 10" Rim/Box Joists and Joists
- 3 ply 2" x 10" Girders
- 3/4" plywood subfloor
- 2" x 6" P.T. Sill plate, bolted to block foundation
- 16" D.C. Joists



26' 1 1/2"  
(amended dimension)

- Box Rim joists to be replaced to beyond rot sign
- Regular joists to be treated with fungicide and fully sizered, hung off the girder with double-wide brackets
- Subfloor to be replaced in the rot area

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

1/1 **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- N/A **Footing/Building Location Inspection:** Prior to pouring concrete
- N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete
- N/A **Foundation Inspection:** Prior to placing ANY backfill
- N/A **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- N/A **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

1/1 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

1/1 **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

2-1220

Zoning

Approved with Conditions

Mike Nugent

10/31/2002

10/29/2002



Mike Nugent

10/31/2002

No expansion or new construction, no use change or new uses auhtorized

10/28/2002

gg

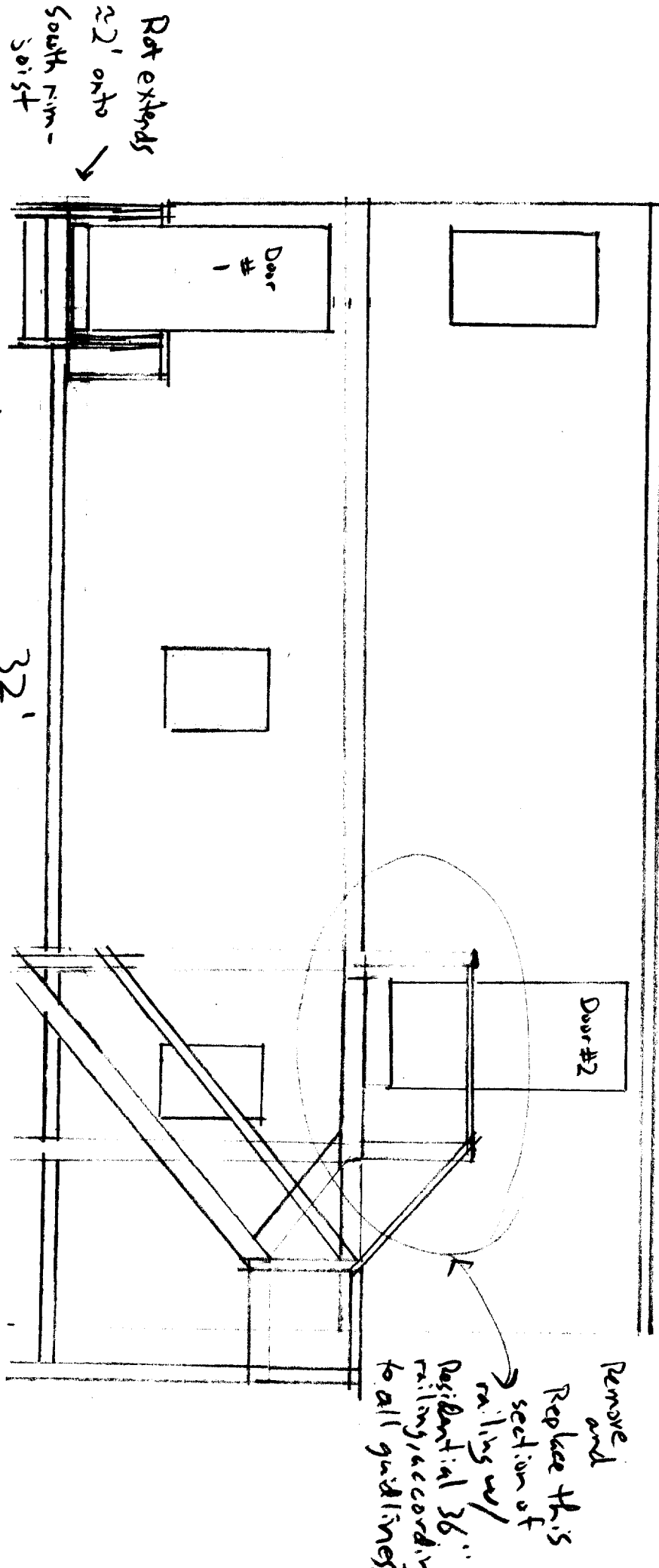
10/31/2002

mjn

# 14 Welch St. East Wall Elevation

- Highlighted areas show expected areas of rot

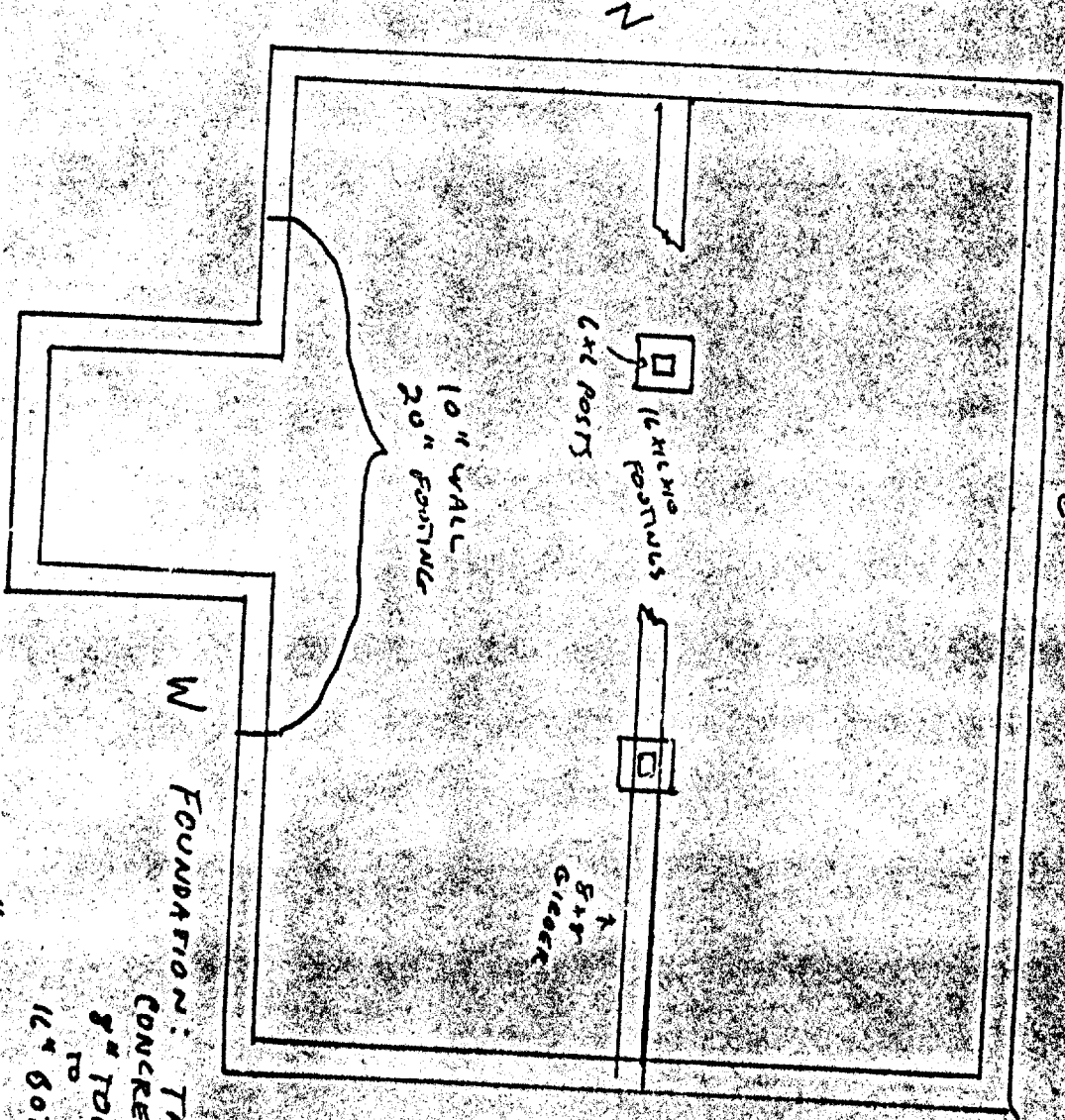
Procedure for Repair: Detach decks. Remove Doors/jamb. Remove siding + sheathing. Brace walls, lifting slightly. Support joists from inside of building with well secured beams + posts. Remove rotted sections of rim joist. Replace. Remove rotted subfloor + bottom plate. Replace. Remove rotted studs. Replace. Replace sheathing. Reside (w/ Building wrap, Flashing, Red cedar, etc.) Reattach Decks. Replace disturbed section of railing so as to meet codes.



Note: Door #3 is similar in layout to Door #1. We will match procedure.



RECEIVED  
MAY 2 1984  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

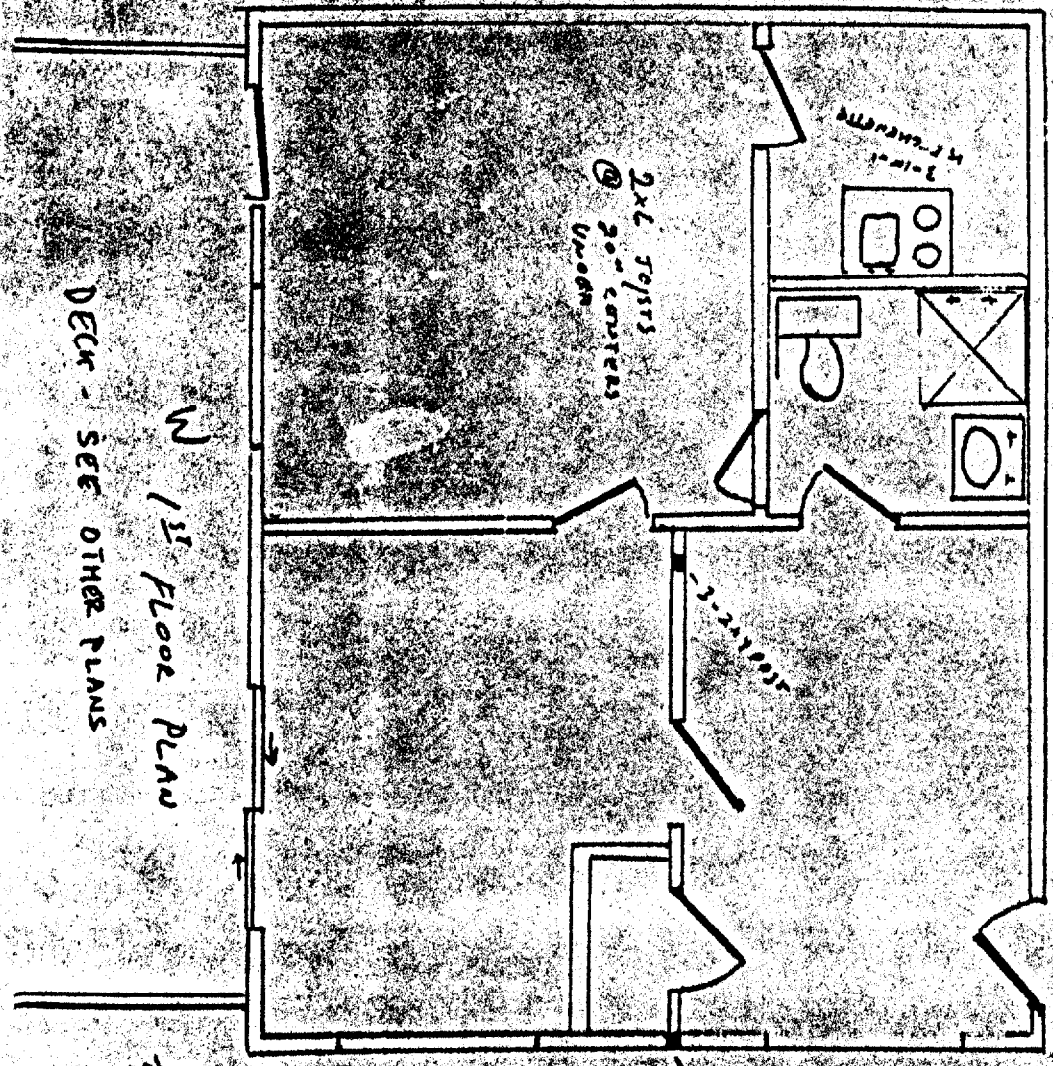


FOUNDATION: TAPERED  
CONCRETE WALL  
8" TOP  
TO  
12" BOTTOM

1/4" = 1'

RECEIVED  
MAY 2 1984  
OFFICE OF THE  
CITY OF PORTLAND

N

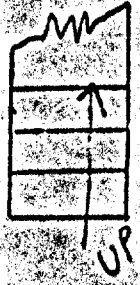


Deck - SEE OTHER PLANS  
N  
1st Floor PLAN

1/4" = 1'

FRAMING:  
2x4 @  
16" o.c.

Stair

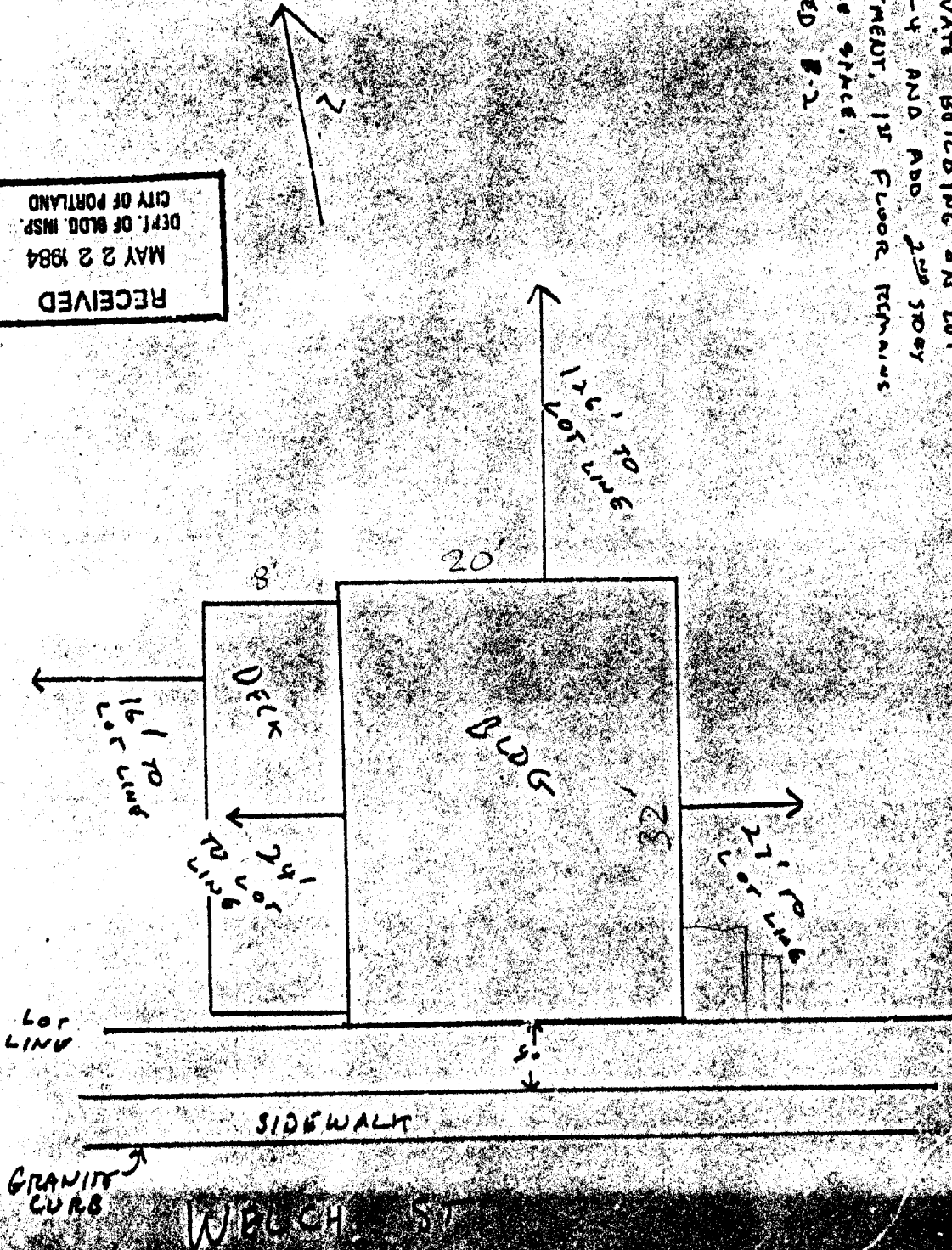


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APPLICATION FOR PERMIT TO  
RENOVATE BUILDING ON LOT  
84-B-4 AND ADD 2ND STORY  
APARTMENT, 1ST FLOOR REMAINS  
OFFICE SPACE.  
ZONED R-2

RECEIVED  
MAY 2 2 1984  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to: **Howard Bellier**

LOCATION: **84-0-4 Welch St., Peabody Hill**

Issued on: **October 18, 1984**

This is to certify that the building, structure, or part thereof, at the above location, has been inspected and found to conform substantially to requirements of Zoning Ordinance and Building Code of the City and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

Portion or Portions of Premises

Approved Occupancy

Entire

Single Family with  
office on 1st floor

Leasing Conditions:

This certificate is subject to the requirements of the certificate issued

Approved:

**10-18-84**

Date:

Inspector:

**898**

Notes: This certificate is issued based on the use of building or structure and occupancy as indicated on the plans or drawings submitted for review. Occupancy shall be limited to the use or uses shown on the plans.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C. NO. 100

B.O.C. TYPE OF CONSTRUCTION

550

ZONING LOCATION

PORTLAND, MAINE

TO THE CHIEF OF BUILDING INSPECTION SERVICES, PORTLAND, MAINE

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 84-Or-4 Welch Street, Peaks Island, First District #1  #2

1. Owner's name and address Howard Heller - Seashore Ave., Peaks Island, Telephone

2. Lessee's name and address Telephone

3. Contractor's name and address Thomas Murphy - Island Ave., Peaks Island, Telephone 766-2783

Proposed use of building No. of feet

Less use No. of feet

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$35,000.00

FIELD INSPECTOR - Mr. Adda To

© 775-5451

Appel Fees \$
Base Fee 25.00 Change of Use
Late Fee
TOTAL \$ 210.00

Change of Use from single family to single family with office on first floor, MAX, as per plans.

Stamp of Special Conditions

ISSUE PERMIT TO #3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? YES
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over?
Joists and rafters 1st floor 2nd 3rd roof
On centers 1st floor 2nd 3rd roof
Maximum span 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY

DATE

MISCELLANEOUS

BUILDING INSPECTION - PLAN EXAMINER

Will work require disturbing of any trees on a public street? (X)

ZONING: OK M.P.L. 5/22/84

BUILDING CODE:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Fire Dept.

Health Dept.

Others:

Signature of Applicant

T.L.P. Phone # 766-2783

Type Name of above Thomas Murphy for Howard Heller 10 20 80 40

## **Estimate for the repair of water damage to 14 Welch St:**

- Pull permit.
- Install new pre-hung door and storm door sets.
- Remove and replace all damaged structural components.
- Remove exterior foam paneling.
- Replace first floor siding using commonly accepted "best" installation practices.
- Remove and replace water saturated wall insulation.
- Remove insulation from first floor joists.
- Repair and paint drywall.
- Repair and replace top-flooring.
- Rebuild any deck railings that are disturbed to meet applicable codes. (required by City of Portland)
- Maintain safe and reasonable access to the second floor apartment.
- Dispose of all debris.

### **General Breakdown of costs:**

Estimate for first floor east wall entry: \$7200 (previously estimated)

Estimate for second floor east wall entry: \$9500

-Includes repair to 2<sup>nd</sup> floor joists, 1<sup>st</sup> floor wall and joists.  
(Involves temporary removal of oil tank and stair landing and subsequent rebuilding of railing to code)

Estimate for first floor west wall entry: \$5500

-May require temporary removal of portion of west wall deck.

Note: Replacing all of the clapboard siding should create approximately \$1000 of savings in the total of the above three estimates. Not having to weave and match new clapboard siding into the existing siding will create these savings.

### **Recommended:**

Estimate for replacing first floor clapboard siding and trim: \$ 8400

-Red cedar clapboard, Tyvec building wrap, caulking all joints, back-priming trim and clapboards, two coats stain

Total repair estimate without replacing siding: \$22,200

Total repair estimate replacing siding:  $\$22,200 - \$1000 + \$8400 = \$29,600$

This is an estimate only. It is based on our evaluation and does not include any extra materials or additional labor that may be required. A progress report will be given each week, detailing the job's progress and listing all material and labor costs for the week.

While the cause of the three sections of rot is easily linked to the failed door gaskets, there are factors that have contributed to the severity of the damage.

-The condition of the siding is currently very poor. It appears to be flat sawn pine siding, which, if not well sealed, is prone to severe cupping. The joints of the siding were also never caulked, and undoubtedly have always allowed water to enter in behind the siding.

-The one-inch foam insulation beneath the siding has provided some protection to the building from the water that has come in through the siding. However, due to its low permeability, it is likely to have sealed in the water that has found its way into the wall from the failed doors. Exterior wall components should be as permeable as possible to allow trapped water vapor to exit the wall. With the combination of an interior water vapor barrier, and a sealed exterior, the walls have had no opportunity to dry out. This condition makes it probable that there will be more damaged sheathing and studs than are immediately apparent.

-The fiberglass insulation in the basement has also served to trap and hold moisture. Increasing the temperature differential between the first floor and basement creates condensation that collects in the insulation as the relatively moist warm air from the first floor migrates into the cool basement.

#### Recommendations:

There is significant structural damage that is readily apparent at 14 Welch St. The amount of rot evident is worthy of concern. If indeed, some of the wall cavities are filled with water-saturated insulation, the rot is likely to continue to spread for some time even if the source of the water is mitigated. The following steps are recommended to correct the water damage and rot and to remove the most significant causes of the damage:

- New pre-hung door and storm door sets.
- Remove and replace all damaged structural components.
- Remove exterior foam paneling.
- Replace first floor siding using commonly accepted "best" installation practices.
- Remove and replace water saturated wall insulation.
- Remove insulation from first floor joists. Insulate basement walls, if necessary, to control loss of heat.

In repairing buildings that have had similar evidence of water damage apparent upon initial inspection, we have found that more damage may be present than is visually manifested. The greatest amount of rot in a wall of modern construction seems to develop on the inside of the sheathing and on the outermost portions of the studs, plates, and box/rim joists. Often, when a pocket of rot on a rim joist appears, from the inside, to be a few feet in length, upon removing the sheathing it is found to be significantly larger. As viewed from the basement of 14 Welch St., there are three separate sections of severely rotten rim/box joist, totaling twenty-four feet.

Thompson Johnson Woodworks  
9 Adams St.  
Peaks Island, ME 04108  
766-5919

[htmisc@maine.rr.com](mailto:htmisc@maine.rr.com)

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## **Summary of Findings for 14 Welch St., October 25<sup>th</sup>, 2002.**

Thompson Johnson Woodworks was contacted by Port Island Realty to estimate the cost of repairing water damage at the first floor entrance on the East side of the building, as caused by a faulty door gasket. An examination of the immediate area was done and an estimate was delivered. During preparation for the application for the building permit to repair this area, it was noted that we should also include an estimate to repair the second floor east entrance. (Damage caused by an identical leaking door gasket.) Subsequent to this request, Thompson Johnson Woodworks performed a more extensive inspection of 14 Welch St. Three distinct areas of severe damage has been revealed. Each area of structural decay appears to be caused by the faulty door gaskets. The three areas are located at the first floor east wall, second floor east wall, and the first floor west wall.

In estimating the costs of repairing 14 Welch St., the above factors must be considered. It is the intent of Thompson Johnson Woodworks to avoid customer surprise by clearly expressing the possible scope and cost of the repair work that may be necessary.

**Door #1:** The first floor east wall damage, as noted in the previous repair estimate, appears to extend approximately three feet in each direction from the door opening. Damaged elements include doorjamb trim and threshold, top-flooring, sub-flooring, and joists (including east box joist and south rim joist). The bottom plates, studs and exterior sheathing at the east and south exterior walls are also damaged. (It is presumed that the exterior walls are filled with fiberglass insulation that has been wicking water into the walls. However, poor siding condition is also a likely contributing factor to the sheathing damage.)

**Door #2:** The second floor east wall entrance shows signs of water damage very similar to those of the first floor entrance. Preliminary exploration reveals a two-foot section of rot immediately beneath the door. This rot has obviously damaged the sub-floor. It also extends to both the second floor box joist and the top plate of the first floor exterior wall. Inspection of the first floor box joist, via the basement, shows severe rot in a ten foot section directly beneath the second floor entrance. It is probable that this damage was caused by water running down the inside of the wall from the second floor doorway. It is likely that there is also damage to the first floor studs, bottom plate and sheathing, along the path of the descending water.

**Door #3:** The first floor west wall entrance shows fewer signs of damage than the other two entrances. The subfloor is still mostly intact. However, six feet of box joist beneath the doorway is heavily damaged as viewed from the basement. It is likely that the exterior sheathing and bottom plate are also rotten.