

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ICTION

Permit Number: 090401

This is to certify that LAGOULIS JAMES & GEORGE W. CLARK & SONS JONES L

has permission to Install awning w/ no signage 8' high 36' long 10' deep

AT 6 WELCH ST Peaks Island CB 084 Q003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is done-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. H. Santora

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Thomas M. ... 5/11/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

CLOSED
SMA 5-21-09

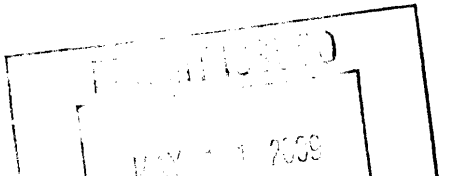
City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0401	Issue Date:	CBL: 084 Q003001
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Location of Construction: 6 WELCH ST Peaks Island	Owner Name: LAGOULIS JAMES & GEORGE	Owner Address: 79 STATE ST	Phone:
Business Name:	Contractor Name: Portland Cover, LLC	Contractor Address: P.O. Box 814 Portland	Phone: 2077747465
Lessee/Buyer's Name	Phone:	Permit Type: Awning, no signage	Zone: I-B

Past Use: Commercial - Restaurant - Jones Landing	Proposed Use: Commercial - Restaurant - Jones Landing - Install awning w/ no signage 8' high 36' long 20' deep <i>2 awnings 6' wide each 36' x 20' over deck</i>	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 1
Proposed Project Description: Install awning w/ no signage 8' high 36' long 20' deep (two) <i>2 awnings connected - each 36' x 20' over deck revised - 5/20/09 - each awning 6'6" high, 23'6" wide projects 3'6"</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions INSPECTION: Use Group: <i>B</i> Type: <i>Sign</i> <i>IBC 2003</i> Signature: <i>(KG)</i> Signature: <i>Jm 5/11/09</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Ldobson	Date Applied For: 05/04/2009	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland Structures <i>beyond 75' I-B does not require setback.</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ASB</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0401	Date Applied For: 05/04/2009	CBL: 084 Q003001
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Location of Construction: 6 WELCH ST Peaks Island	Owner Name: LAGOULIS JAMES & GEORGE	Owner Address: 79 STATE ST	Phone:
Business Name:	Contractor Name: Portland Cover, LLC	Contractor Address: P.O. Box 814 Portland	Phone: (207) 774-7465
Lessee/Buyer's Name	Phone:	Permit Type: Awning, no signage	

Proposed Use: Commercial - Restaurant - Jones Landing - Install two connected awnings w/ no signage -	Proposed Project Description: Install two connected awnings w/ no signage - each 8' high 36' long 20' deep over deck
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Dept: Zoning **Status:** Approved **Reviewer:** Ann Machado **Approval Date:** 05/04/2009
Note: Received revised dimensions 5/20/09. Each of two awnings is 6'6" high, 23'6" wide and projects 36'1" from building. **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 05/11/2009
Note: **Ok to Issue:**
1) Signage Installation to comply with Chapter 31 of the IBC 2003 building code.
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/08/2009
Note: **Ok to Issue:**
1) The canopy shall have certified letters and labels attached to the canopy.

Comments:
5/11/2009-Ldobson: Mailed to Public Cover
David Cairns
3 South Gate Road
Scarborough, ME 04074-5300

Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>6 Welch St. Peaks Is ME 04108</u>		
Tax Assessor's Chart, Block & Lot Chart# <u>84</u> Block# <u>Q</u> Lot# <u>3</u>	Owner: <u>Robin Clark</u>	Telephone: <u>232-5496</u>
Lessee/Buyer's Name (If Applicable) <u>Jola Function LLC</u>	Contractor name, address & telephone: <u>Portland Cove</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For H.D. signage= Total <u>00</u> Fee: \$ <u>5,000.</u> Awning Fee= cost of work _____ Total Fee: \$ <u>5</u>
Who should we contact when the permit is ready: <u>Robin Clark</u> phone: <u>232-5496</u>		
Tenant/allocated building space frontage (feet): Length: _____ Height: _____ Lot Frontage (feet) _____ Single Tenant or Multi Tenant Lot <u>multi</u>		
Current Specific use: <u>restaurant / function room - Joes Landing</u> If vacant, what was prior use: _____ Proposed Use: <u>restaurant / function room</u>		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes ___ No ___ Dimensions proposed: _____ Height from grade: _____ Bldg. wall sign? (attached to bldg) Yes ___ No ___ Dimensions proposed: _____		
Proposed awning? Yes <input checked="" type="checkbox"/> No ___ Is awning backlit? Yes ___ No ___ <u>23'6"</u> Height of awning: <u>8'6"</u> Length of awning: <u>36'2 3/4"</u> Depth: <u>22' W @ 2</u> Is there any communication, message, trademark or symbol on it? Yes ___ No <input checked="" type="checkbox"/> If yes, total s.f. of panels w/communications, message, trademark or symbol: _____ s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes ___ No ___ Dimensions: _____ Bldg. wall sign? (attached to bldg) Yes ___ No ___ Dimensions: _____ Awning? Yes <input checked="" type="checkbox"/> No ___ Sq. ft. area of awning w/communication: <u>n/a</u>		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.		

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

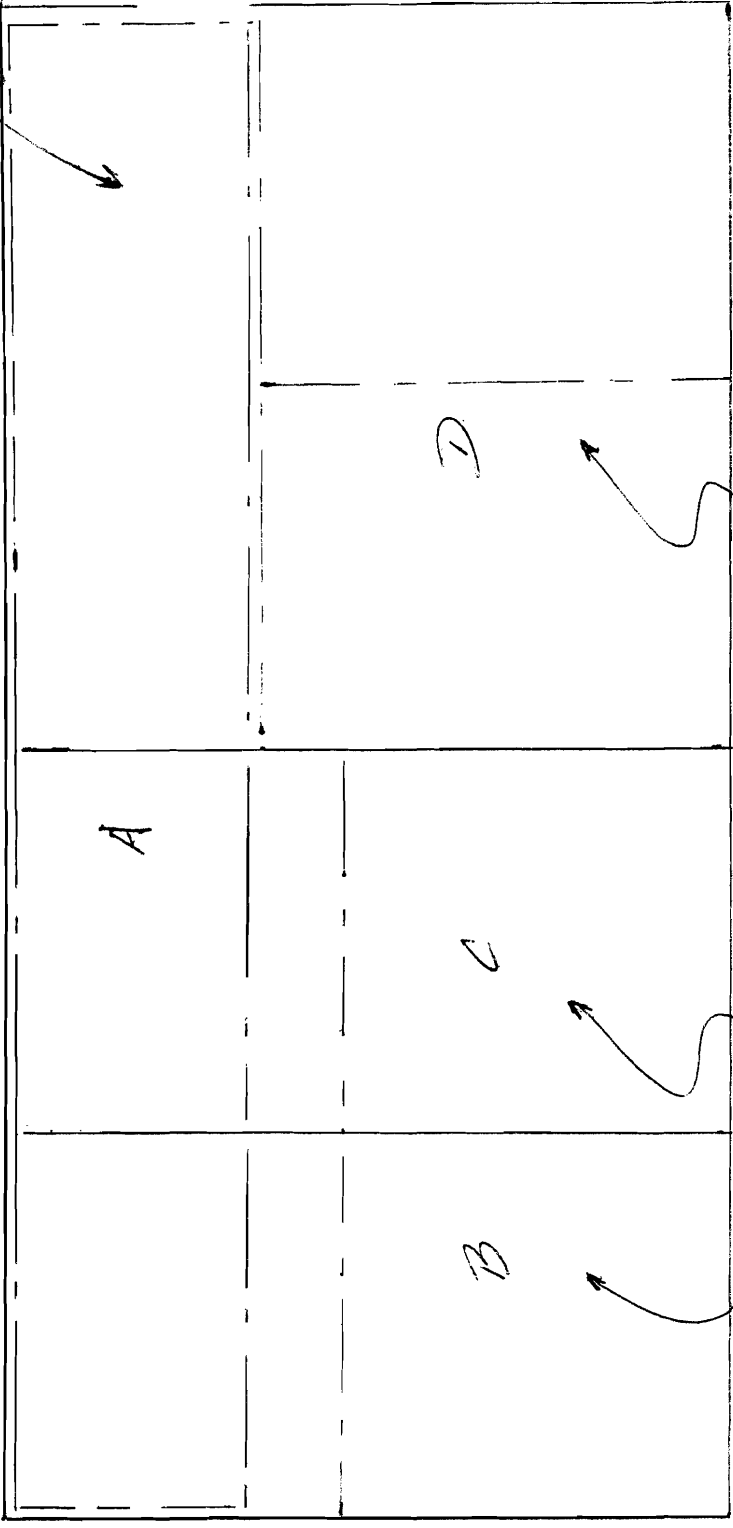
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Robin Clark</u>	Date: <u>5-4-09</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

~~PROPOSED~~ B+C
 EXISTING - 36' x 220' 720 SQ FT
 20' 720' = 1440 SQ FT
 (111' 10")



EXISTING
 CANOPY 11' 10" + 7' 10" 4' 10"
 70' 60' 66' FT
 4' 66' FT

EXISTING
 CANOPY 11' 10" (100' FT)
 B+C + 10' 10" (100' FT)
 70' 60' 66' FT

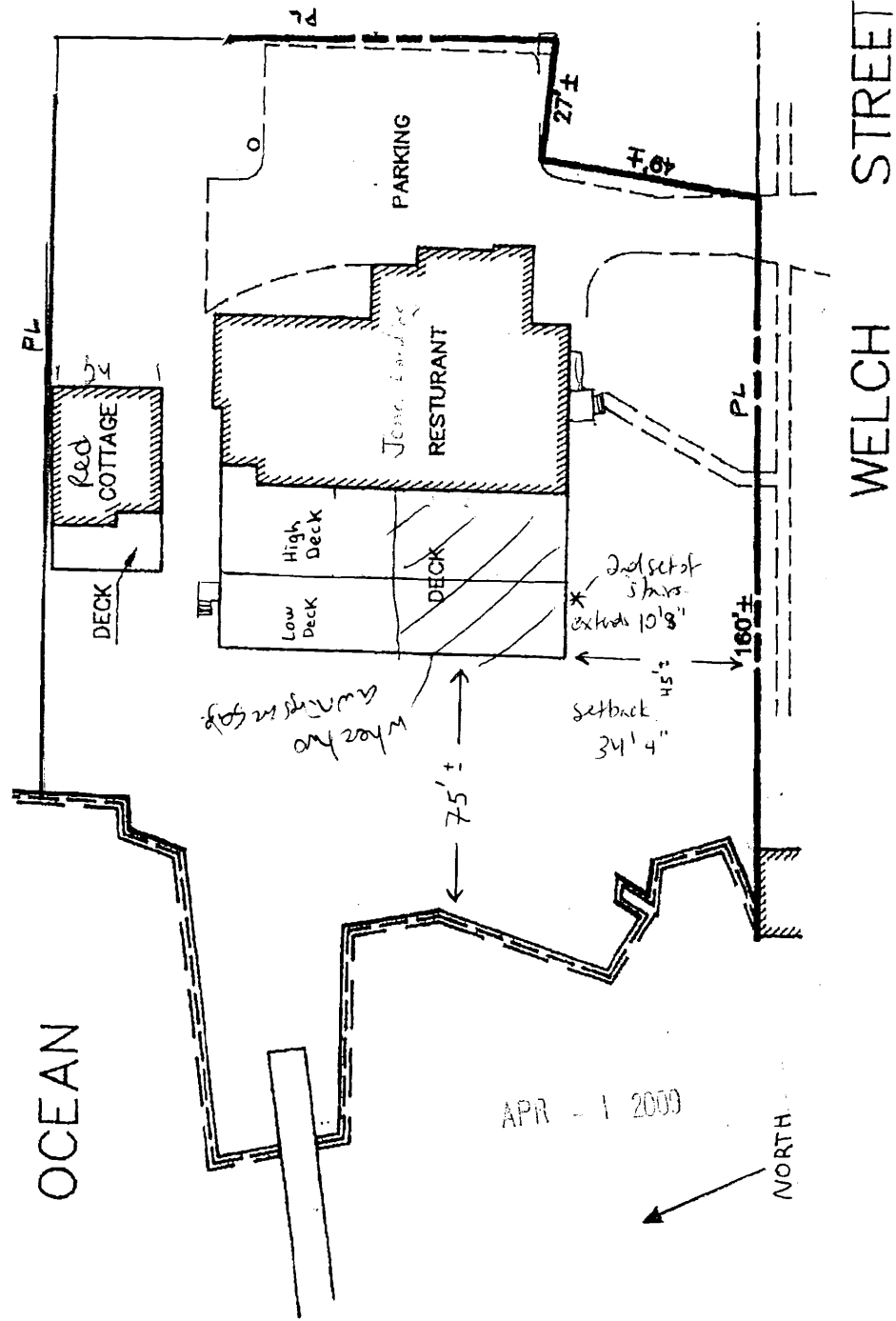
Building

A 1125
 B+C 800
 585.5

ORIGINAL 7512.5 SQ FT
 PROPOSED 2025.5 SQ FT
 DIFFERENCE 4485 SQ FT

ATLANTIC

OCEAN



I-B zone

Revised

2nd set of stairs. front setback. 20' req. - 34'4" ok.
 side setback - area 75' ok.
 rear N/A

1st set - rear setback. 10' - @ least 24' ok
 - side @ least 75' ok

Plot Plan

Raise existing Low deck 14" to match High deck	1 Apr 09 Pg 1 of 6
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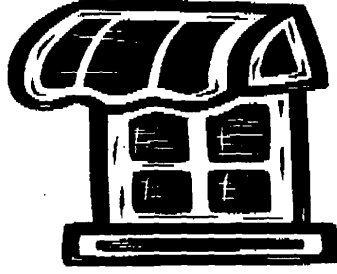
lot coverage - 50% of 31,895 = 15,947.5

main building 5941
 red cottage - 960
 6901 - stairs ok.

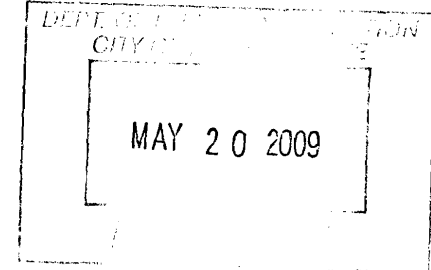
Parcel ID	084 Q003001
Location	6 Welch St, Peaks Island, ME
Land Use	Retail & Personal Service
Zoning	IB
Legal	84-Q-3, Welch St, Peaks Island, ME
Lot Area	25,220 + 6,675 = 31,895 SF

permit # 09-0401

84-Q-003

*Attu Amme*

David Cairns
President/ Manager
Portland Cover LLC
3 Southgate Road
Scarborough, ME 04074



City of Portland
Code Enforcement
RE: Flame retardant / Fire certificates

May 15, 2009

Measurements / Awnings

Tubular structure comprised of 14 gauge steel square and round as original design was represented. In addition the final measurements will be no more non-conforming in the setbacks than the original structures square footage, not compromising the perimeters of the approved deck recently reconstructed as indicated in previous description.

The seasonal top will be white in color with flame resistance certification forwarded in this packet to the code office, City of Portland, Maine.

Anchoring fasteners, lag bolts, connecting arms and elbows, machine bolts and other common fastening methods will be standard tent awning and tent industry.

The final measurements do not exceed the existing square footage as indicated at meeting with City of Portland Code Officer.

Final measurements of expansion: 2- awnings being replaced; 6' 6" in height, 23' 6" wide, with the projection of 36' 1" from face of building.


Portland Cover LLC.



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured

04/21/08

^{140.00}
This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR ADVANTAGE TENT FITTINGS ADDRESS 11661 PLEASANT VALLEY ROAD
CITY CHILLICOTHE STATE OH 45601

The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

- NFPA-701 (Large Scale)
- CAN/ULC-S109-M87
- MIL-C-49006
- CPAI-84
- FMVSS-302
- A-A-55308

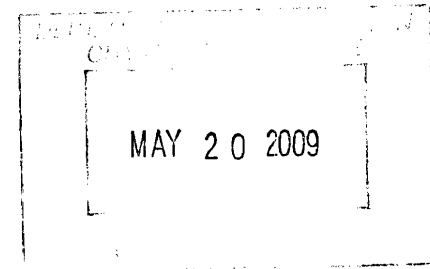
SNYDER MANUFACTURING INC. By Michael J. [Signature] Title Supervisor, Quality Control

STYLE PRV 1218K S.WHITE 61" GLOSS PLUS-SLT TO 15 1/4"

CONTROL NO. 15430 CUSTOMER ORDER NO. V81 MIKE

SNYDER S-ORDER NO. 205544 DATE PROCESSED 04/21/08

YARDS OR QUANTITY 200 DATE CERTIFIED 04/23/08





Certificate of Flame Resistance

Date manufactured

04/21/08

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

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* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

- NFPA-701 (Large Scale) MIL-C-42006 FMVSS-302
- CAN/ULC-S109-M87 CPAI-84 A-A-55308

SNYDER MANUFACTURING INC. By *Michael S. [Signature]* Title Supervisor, Quality Control

STYLE PRV 1218K S. WHITE 61" GLOSS PLUS-SLT TO 15 1/4"

CONTROL NO. 15430 CUSTOMER ORDER NO. V61 MIKE

SNYDER S-ORDER NO. 205544 DATE PROCESSED 04/21/08

YARDS OR QUANTITY 200 DATE CERTIFIED 04/23/08

MAY 20 2009

MAY 20 2009

Certificate of Flame Resistance



REGISTERED APPLICATION CONCERN No. F-191

ISSUED BY

ROBELO/ASCOT PRODUCTS INC
100 RING ROAD WEST
GARDEN CITY NY 11530

Date treated or manufactured
05/26/08

This is to certify that the materials described on the reverse side hereof have been flame-retardant treated (or are inherently nonflammable).

FOR ADVANTAGE TENT FITTINGS ADDRESS 11661 Pleasant Valley Road
CITY Chillicothe STATE OH 45601

Certificate is hereby made that: (Check "a" or "b")

(a) The articles described on the reverse side of this Certificate have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.
Name of chemical used _____ Chem. Reg. No. _____
Method of application _____

(b) The articles described on the reverse side hereof are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.
Trade name of flame-resistant fabric or material used _____ Reg. No. F-191

The Flame Retardant Process Used will not Be Removed By Washing
(either or will not)

Morton Eydenberg

Name of Applicator or Production Superintendent

By

Technical Manager

Title

Certificate of Flame Resistance



REGISTERED APPLICATION CONCERN No. F-191

ISSUED BY

ROBELO/ASCOT PRODUCTS INC
100 RING ROAD WEST
GARDEN CITY NY 11530

Date treated or manufactured
05/26/08

This is to certify that the materials described on the reverse side hereof have been flame-retardant treated (or are inherently nonflammable).

FOR ADVANTAGE TENT FITTINGS ADDRESS 11661 Pleasant Valley Road
CITY Chillicothe STATE OH 45601

Certificate is hereby made that: (Check "a" or "b")

(a) The articles described on the reverse side of this Certificate have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.
Name of chemical used _____ Chem. Reg. No. _____
Method of application _____

(b) The articles described on the reverse side hereof are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.
Trade name of flame-resistant fabric or material used _____ Reg. No. F-191

The Flame Retardant Process Used will not Be Removed By Washing
(either or will not)

Morton Eydenberg

Name of Applicator or Production Superintendent

By

Technical Manager

Title

Planning Support Locations

Introduction

The topic of support location should actually be discussed prior to the field measurement section because, in many cases, we must take measurements to the actual point of support. This, obviously, requires that the points-of-support be readily identifiable in the field. If your project has prepared plans, then you have the luxury of doing a preliminary review of support possibilities before going to the job-site to measure. In either case, all possible support locations must be identified before they can be measured.

Later in the design process, *standard structural patterns* (SSP's) will be developed. Support points play a major role in their definition. We must know exactly where the support points are located and what type of support they will provide. It is extremely helpful to think of support points as *targets* because the major structural members will be routed to them. The entire awning design process revolves around the quality and quantity of the support locations.

A good analogy of the importance of selecting proper support locations is a car. If you want to lift your car off the ground, there are only a few specific places you can place the jack. If you miss them, then the jack could go through the floor board. The same is true of awnings and canopies; however, it is common to see jobs that have been installed on posts, etc. that do not match the ideal support points of the frame. It is also common to see attachments to walls that are inadequate.

The following discussions are to review the most common types of wall construction and to demonstrate the ideal support locations for each.

Support Locations in Stud Walls

Stud walls are made of multiple building materials. All stud walls consist of vertical studs on which sheets of other building materials are layered. Typically, the only true structural members in a stud wall are the studs themselves. The sheathing and siding materials are generally considered to be non-structural as they relate to the attachment of awnings and canopies. This includes brick and other masonry veneers. These types of decorative surfaces have definite limits relating to support point loads that are perpendicular to the wall surface.

The correct way to attach an awning or canopy to a stud wall is to use fasteners that will actually connect with each individual stud. This is often difficult to accomplish, since the studs are hidden within the exterior components of the wall. **Figure 31** shows the correct support locations on a typical stud wall. It is normally unnecessary to locate each individual stud during the field measurement process as long as the stud size and spacing are known. It is, however, important to know the dimension from the face of the stud to the exterior face of the wall so that fastener lengths can be determined.

These points do not necessarily coincide with important points on the awning or canopy. They simply provide *temporary* definition points to help us calculate certain characteristics of the wall. In *column support measurement*, the points that are used as reference points are also important structural points for the frame design. This means that the reference points must be located carefully within the top of the column because they actually coincide with proposed points on the canopy. The reference point (measuring point) is usually located at the center of each column. This provides consistency in measurement and a convenient base from which to measure the features of the column cap plate or other connection hardware. In other words, you would not want to measure from the *corner* of one column to the *center* of another column. **Figure 29** shows the proper measurements that should be taken in a typical column forest. It also shows how the center of the column makes a good reference point from which to define the column cap plate geometry.

While the main concern in measuring column support is the *lateral* locations of the column tops, the vertical elevations are also important. *Ideally*, the top of each column will lie in the same *horizontal plane*. In other words, they should be *level* with respect to one another. Any small differences in the column top elevations can be shimmed; however, it is always good practice to measure these elevations with a construction level to make sure there are no major discrepancies in elevation.

Column Cap Plate Measurement

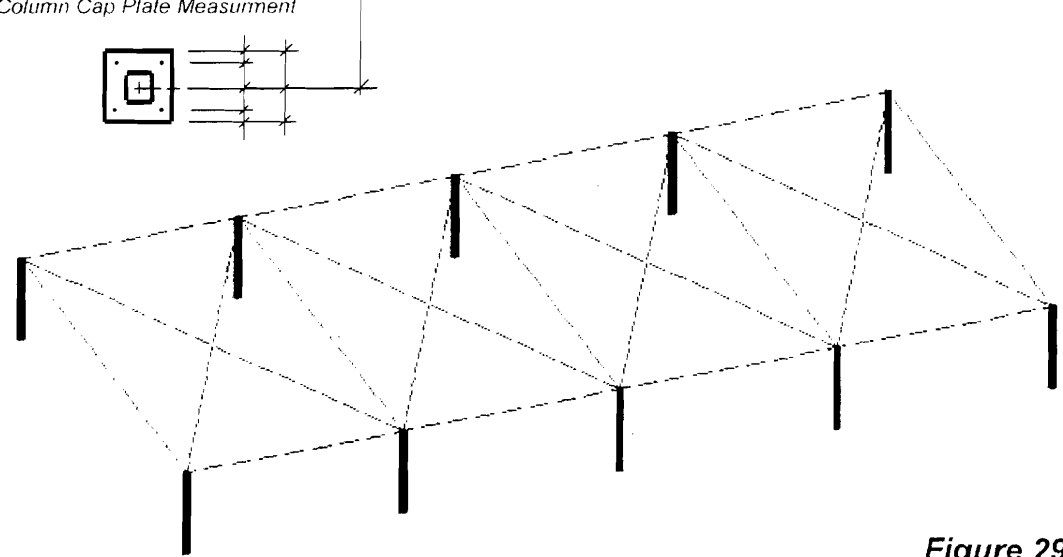


Figure 29

Combination Support Measurement

Many canopies are supported by *combinations* of support types. The two most common canopy configurations that utilize *combination support* are the *entrance canopy* and the *patio canopy*. Both of these types are typically wall supported along one edge and column supported along one or more of the remaining edges. A typical combination supported canopy is shown in **Figure 30**. To measure a combination support system, it is necessary to combine measurement methods. We must use the *wall path measurement* method (see page 45) to map the wall path and then use the *column support* method to measure the column tops. The column support method is also used to determine the relationship between columns and the wall surface. **Figure 31** shows these methods as they should be applied to a typical wall/column configuration. Keep in mind that the column line will most likely not be a line at all. In other words, if your line of sight is from the first column to the last column, then the intermediate columns will rarely line up with the end columns. Also, it is likely that the column line will not be parallel with the wall path; therefore, the measurements must be performed with a method that records these discrepancies.

Fastener Category #2 - Wood Lags

Wood lags are used when an awning or canopy frame must be connected to structural wood components such as wall studs, beams, and columns. A wood lag fastener box like the one shown in **Figure 577** should be kept in the installation vehicle. As a minimum, the following wood lags and hardware (shown in **Figure 578**) should be included: 1/4" x 3 1/2" wood lags, 1/4" x 4 1/2" wood lags, 1/4" x 6" wood lags, 3/8" x 3 1/2" wood lags, 3/8" x 4 1/2" wood lags, 3/8" x 6" wood lags, 5/16" i/d. x 3/4" o/d. x 1/16" flat washers, and 13/32" i/d. x 13/16" o/d. x 1/16" flat washers.

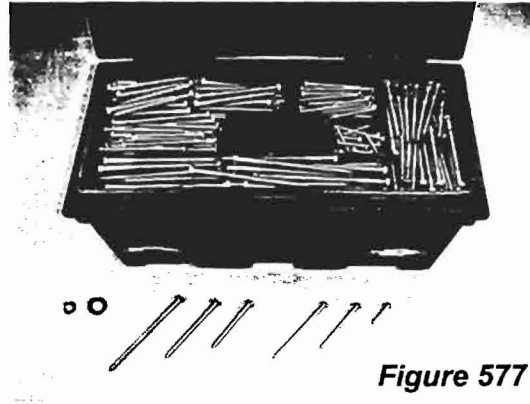


Figure 577

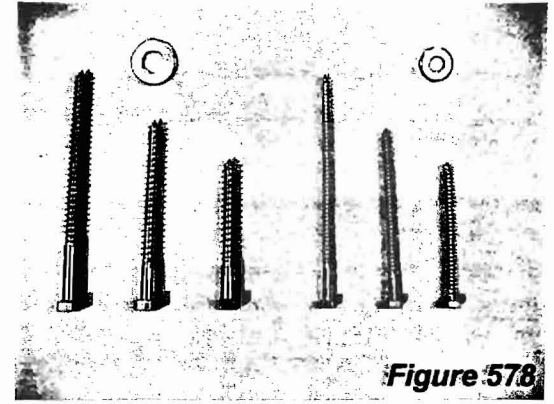


Figure 578

Before wood lags can be installed, there must be 1/4" pre-drilled holes through the awning or canopy frame. This should always be done while the frame is on the ground. If there are any non-wood materials between the frame and the wooden structural member, they must be pre-drilled as shown in **Figure 579**. Notice the drill bit stops before the wooden structural member. This pre-drilled hole should be at least 1/4" diameter for 1/4" wood lags and at least 3/8" diameter for 3/8" wood lags. Also, a pilot hole must be made into the wooden structural member to prevent the wood lag from splitting the wood and weakening the member, as shown in **Figure 580**. To drill the pilot hole, use a 3/16" bit for 1/4" wood lags and a 1/4" bit for 3/8" wood lags. Use the heavier 1/2" drill motor to drive the wood lags into the structure as shown in **Figure 581**. Driving wood lags with a standard 3/8" drill motor will burn up the motor. Use a 7/16" hex-drive for 1/4" lags and a 9/16" hex-drive for 3/8" lags. The 9/16" hex-drives are difficult to find, so you may have to create one by using a 9/16" socket and a 3/8" socket-to-drill motor adapter. A typical finished wood lag connection is shown in **Figure 582**. Select a wood lag that embeds at least 1" of threaded length into the wooden structural member.

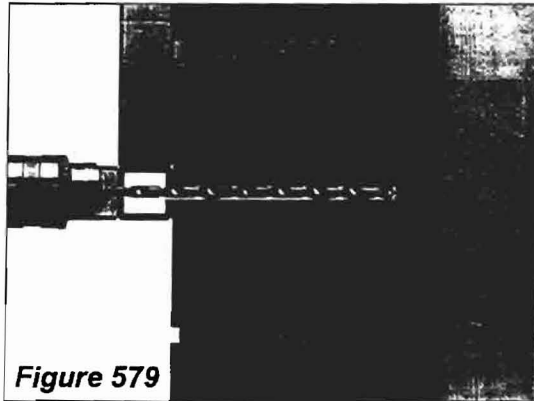


Figure 579

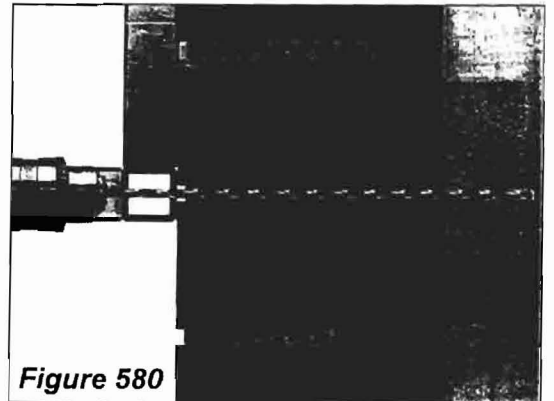


Figure 580



David Cairns
President/ Manager
Portland Cover LLC
3 Southgate Road
Scarborough, ME 04074

City of Portland
Code Enforcement
RE: Flame retardant / Fire certificates

May 3, 2009

Verification of Flame Resistance

This is to verify that the materials used in the fabrication and reconstruction of the awnings and curtains produced by Portland Cover LLC for the expressed warranty to Jones Landing located at Welch Street Peaks Island, Maine have been made from a flame resistant fabric or material registered and approved by the State Fire Marshall for such use.

In addition the flame retardant process used will not be removed by washing

We hereby certify this to be true; "Certificate of Flame Resistance" as copy from the original document of which has been filed with the manufactures State Fire Marshall.

Sincerely,


David B. Cairns

ACORD™ CERTIFICATE OF LIABILITY INSURANCE DATE (MM/DD/YYYY)
4/30/2009

PRODUCER (207) 780-1677 FAX: (207) 780-6377
 Cross Insurance-Portland
 2331 Congress Street
 PO Box 567
 Portland ME 04112

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
 Jo-La Functions, LLC
 P.O. Box 69
 Peaks Island ME 04108

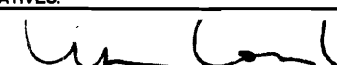
INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: North American Specialty	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

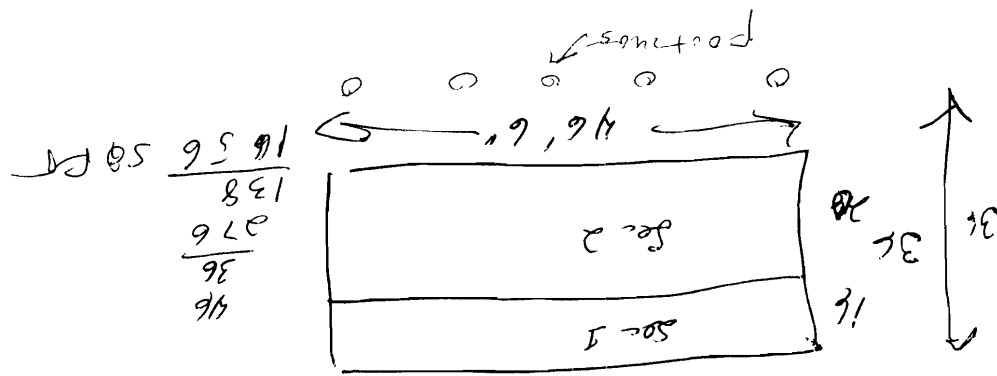
INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS								
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	50C0005210-00	6/20/2008	6/20/2009	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000								
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$								
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$								
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$								
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<table border="1"> <tr> <td>WC STATU-TORY LIMITS</td> <td>OTH-ER</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td>\$</td> </tr> </table>	WC STATU-TORY LIMITS	OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$
WC STATU-TORY LIMITS	OTH-ER													
E.L. EACH ACCIDENT	\$													
E.L. DISEASE - EA EMPLOYEE	\$													
E.L. DISEASE - POLICY LIMIT	\$													
		OTHER												

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 10 days notice for non-payment of premium pursuant to Maine State Law.

CERTIFICATE HOLDER
 City of Portland
 389 Congress Street
 Portland, ME 04101

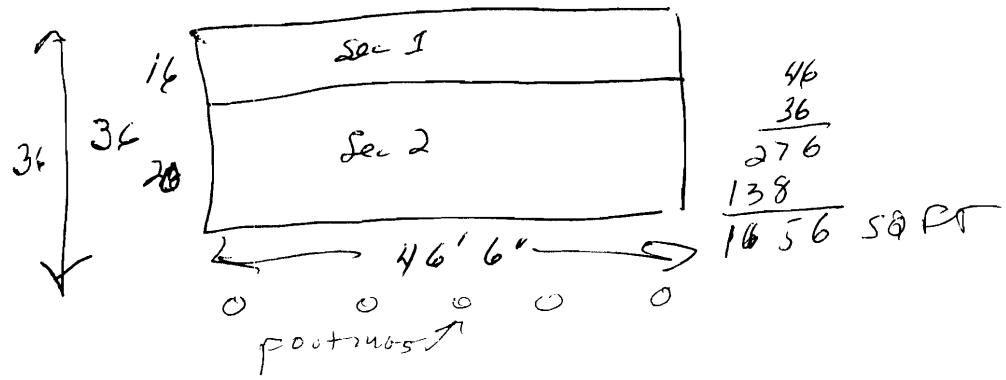
CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
 AUTHORIZED REPRESENTATIVE
 Lisa Coughlan/SQ1 

Feather was installed
 @ 4 feet along front (cantilevered section)
 (to water)



7' 2" from rear
 80" height from rear = 2'
 36' Deep
 46' 6" Long

7' 2" Hem room
 80" High headroom = 6'
 36' Deep
 46' 6" Long



Footings were installed

@ 4 Feet Along front (cantilevered section)
 (to water)