

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ION

This is to certify that LAGOULIS JAMES & GEORGE W. CLARK & SONS JONES

has permission to Raise the Lower Deck to be Level with the Higher Deck, Raising 2"

AT 6 WELCH ST, PEAKS ISLAND

CD 084 0003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Bjornvall

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Permit Number: 090248

PERMIT ISSUED

APR - 9 2009

CITY OF PORTLAND

Charles R. Jones 4/9/09

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0248	Issue Date: 4/9/09	CBL: 084 Q003001
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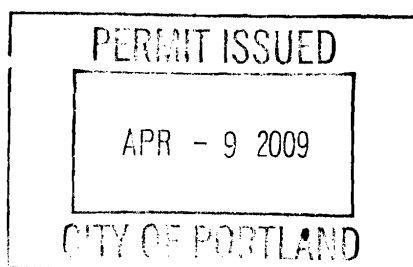
Location of Construction: 6 WELCH ST, PEAKS ISLAND	Owner Name: LAGOULIS JAMES & GEORGE	Owner Address: 79 STATE ST	Phone: 207-766-3030
Business Name:	Contractor Name: Weideman Carpentry LLC	Contractor Address: 74 Welch St Peaks Island	Phone: 2076504589
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: I-B

Past Use: Commercial/Restaurant-Jones Landing	Proposed Use: Commercial/Restaurant-Jones Landing - Raise the Lower Deck to be Level with the Higher Deck, Raising 1-2". <i>- add second set of stairs & enlarge existing stairs.</i>	Permit Fee: \$180.00	Cost of Work: \$16,000.00	CEO District: 1
Proposed Project Description: Raise the Lower Deck to be Level with the Higher Deck, Raising 1-2". <i>- add second set of stairs & enlarge existing stairs</i>		FIRE DEPT: <i>w/conditions</i> 4/2/09 Signature: <i>BAWjr</i>	INSPECTION: Use Group: <i>A-3</i> Type: <i>SB</i> <i>IBC-2003</i> Signature: <i>el</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 03/27/2009	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input checked="" type="checkbox"/> Shoreland <i>L-B zone no setback required.</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 15 - Zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/30/09 ABN</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABN</i>


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0248	Date Applied For: 03/27/2009	CBL: 084 Q003001
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Location of Construction: 6 WELCH ST, PEAKS ISLAND	Owner Name: LAGOULIS JAMES & GEORGE	Owner Address: 79 STATE ST	Phone: 207-766-3030
Business Name:	Contractor Name: Weideman Carpentry LLC	Contractor Address: 74 Welch St Peaks Island	Phone: (207) 650-4589
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial/Restaurant-Jones Landing - Raise the Lower Deck to be Level with the Higher Deck, Raising 1-2". Increasing footprint of side stairs by 33 sf & adding second set of stairs	Proposed Project Description: Raise the Lower Deck to be Level with the Higher Deck, Raising 1-2". Increasing footprint of side stairs by 33 sf. & adding second set of stairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/30/2009

Note:**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 04/09/2009

Note: Requested stair detail on 4/8/09 CSH--- Rec. 4/09/09**Ok to Issue:**

- 1) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
- 2) Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard. Stair treads shall not be less than 11". Stair risers shall not be more than 7".
- 3) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required
- 4) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 5) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 6) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 7) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 8) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 04/02/2009

Note:**Ok to Issue:**

- 1) Deck requires emergency lights and exit signs. Electrical permit required.
- 2) All construction shall comply with NFPA 101

Comments:

3/27/2009-amachado: Left vcm for Adam, contractor. Need to know if the stairs on the side are new. Need to know the dimensions of the existing higher deck.

3/27/2009-amachado: Spoke to Adam. Stairs were existing but footprint is slightly bigger. See building plans.

3/31/2009-wallaceb: Spoke to Robin Clark. The deck requires 2 independant and remote means of egress. Also requires exit signs and emergency lights. These have been on going issues. She has been instructed to update her plans.

Location of Construction: 6 WELCH ST, PEAKS ISLAND	Owner Name: LAGOULIS JAMES & GEORGE	Owner Address: 79 STATE ST	Phone: 207-766-3030
Business Name:	Contractor Name: Weideman Carpentry LLC	Contractor Address: 74 Welch St Peaks Island	Phone (207) 650-4589
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	
4/1/2009-amachado: Revised plans submitted for project. Adding second set of stairs for egress. Meets zoning requirements. Emailed Ben Wallace that I was al set and that the revised plans were in the Hold basket with the permit.			



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>6 Welch St, Peaks Island, ME 04108</u>		
Total Square Footage of Proposed Structure/Area <u>Deck 20x80 = 1,600 sq ft</u>	Square Footage of Lot <u>25,220 + 6,675 = 31,895</u>	Number of Stories <u>ONE</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>84 - Q - 3</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Robin Clark</u> Address <u>2 Welch St</u> City, State & Zip <u>Peaks Island, ME 04108</u>	Telephone: <u>207-232-5496</u>
Lessee/DBA (If Applicable) <u>MAR 27 2009</u>	Owner (if different from Applicant) Name <u>same</u> Address City, State & Zip	Cost Of Work: <u>\$15,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>180⁰⁰</u>
Current legal use (i.e. single family) <u>Retail & Personal Service</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>same</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Raise level of Low Deck to same as High Deck = 1'-2" up</u>		
Contractor's name: <u>Weidemann Carpentry, LLC</u> Address: <u>76 Welch St</u> City, State & Zip <u>Peaks Island, ME 04108</u> Telephone: <u>766-3030</u> Who should we contact when the permit is ready: <u>Adam Weidemann</u> Telephone: <u>766-3030</u> Mailing address: <u>same</u>		

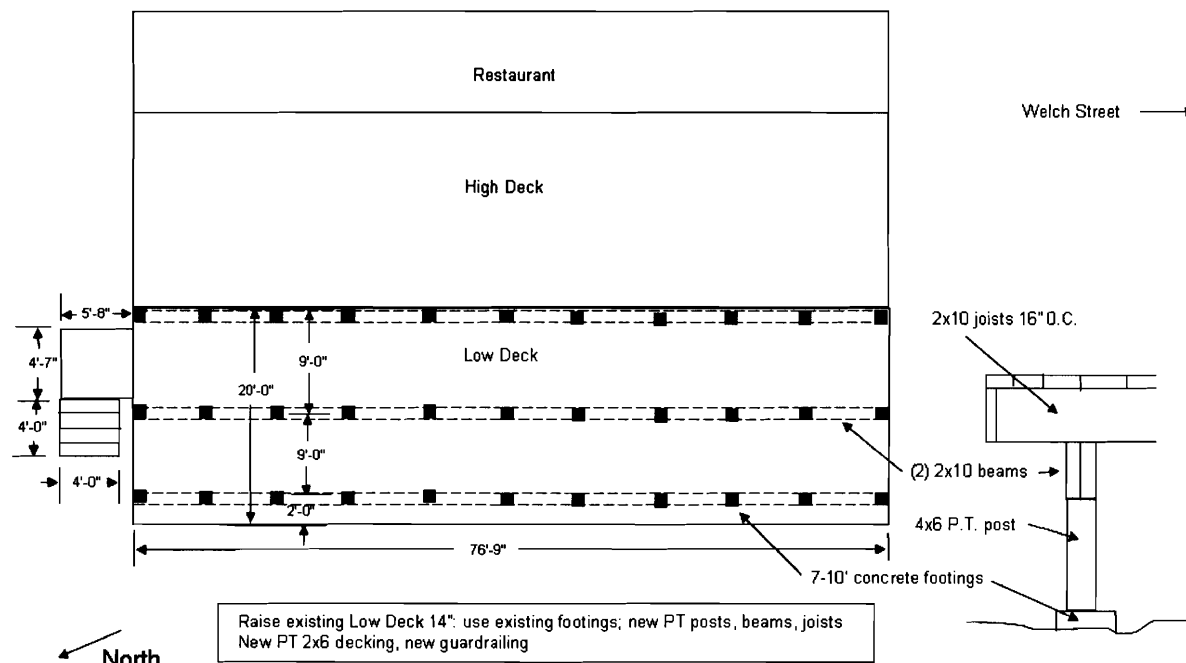
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Adam Weidemann Date: 24 Mar 09

This is not a permit; you may not commence ANY work until the permit is issued

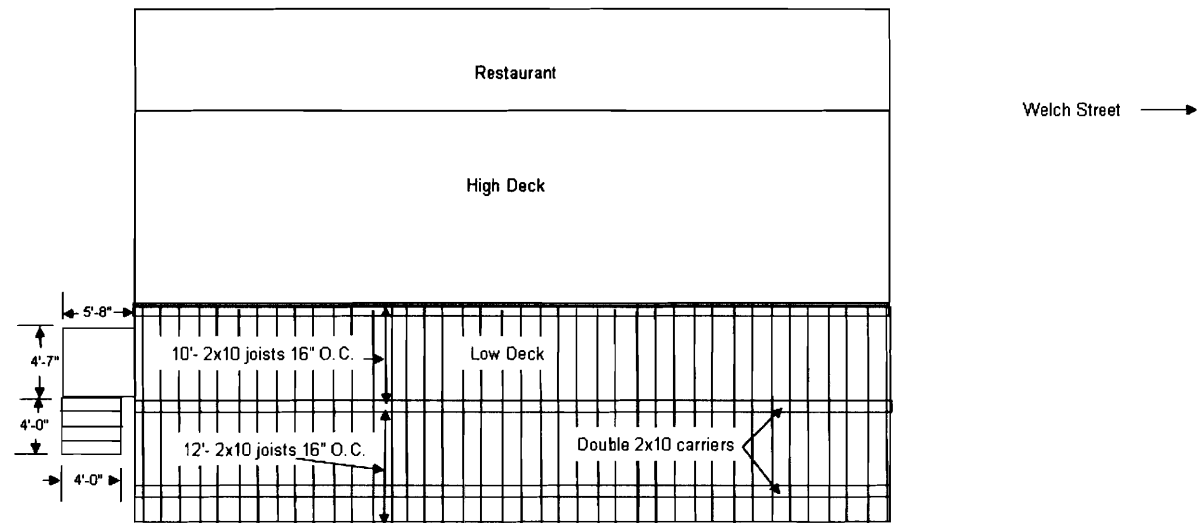


NOT TO SCALE

Parcel ID	084 Q003001	Existing Deck: Post layout	
Location	6 Welch St, Peaks Island, ME	Rebuild existing Low deck to Height of Hi deck	8 Apr 09
Land Use	Retail & Personal Service		Pg 2 amended
Zoning	IB		
Legal	84-Q-3, Welch St, Peaks Island, ME		
Lot Area	25,220 + 6,675 = 31,895 SF		

Revised Plans O.K. per Chris
4/9/09

APR - 9 2009



Raise existing Low Deck 14". use existing footings; new PT posts, beams, joists
New PT 2x6 decking, new guardrailing

North

NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Existing Deck: Framing layout	
	Rebuild existing Low deck to Height of Hi deck	8 Apr 09 Pg 3 amended

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

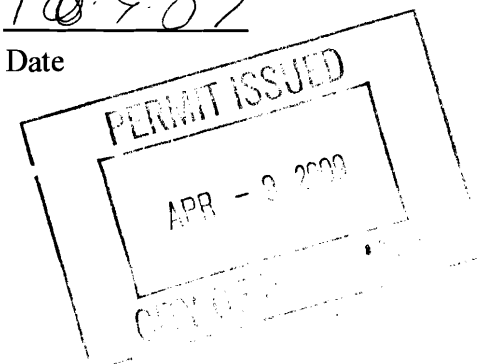
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

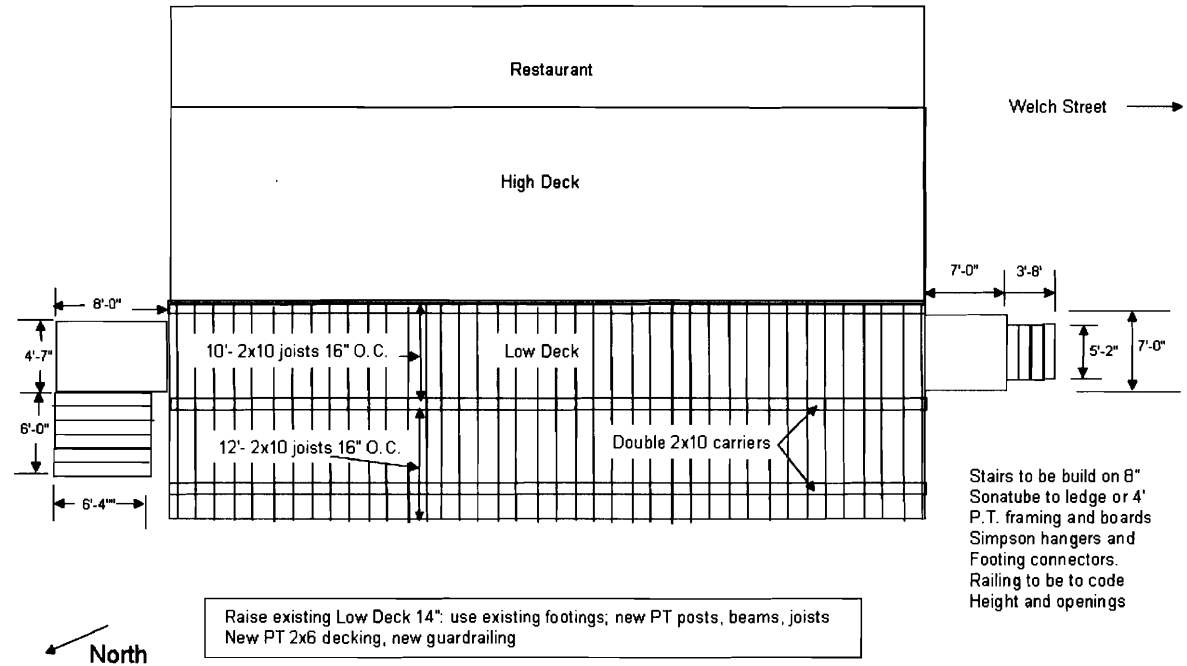
Robin Clark
Signature of Applicant/Designee

Date

[Signature]
Signature of Inspections Official

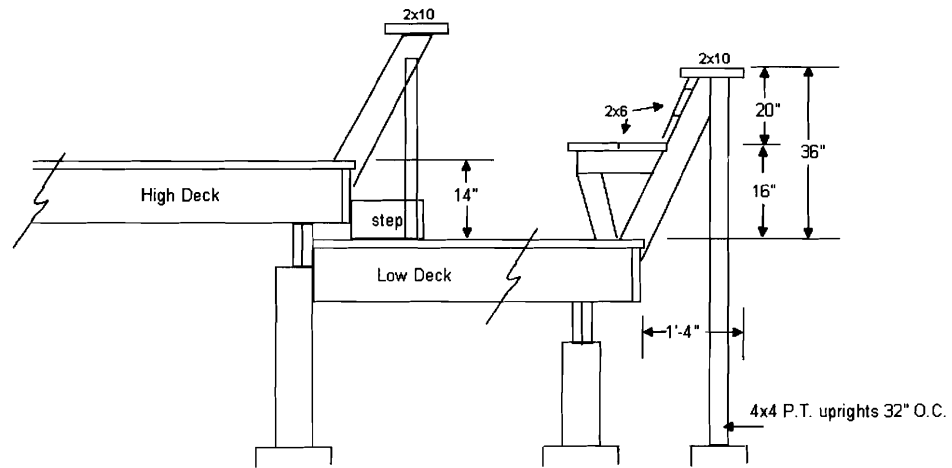
4.9.09
Date





NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Proposed Stairs to ground	
	Rebuild existing Low deck to Height of Hi deck	8 Apr 09 Pg 4 <small>amended</small>

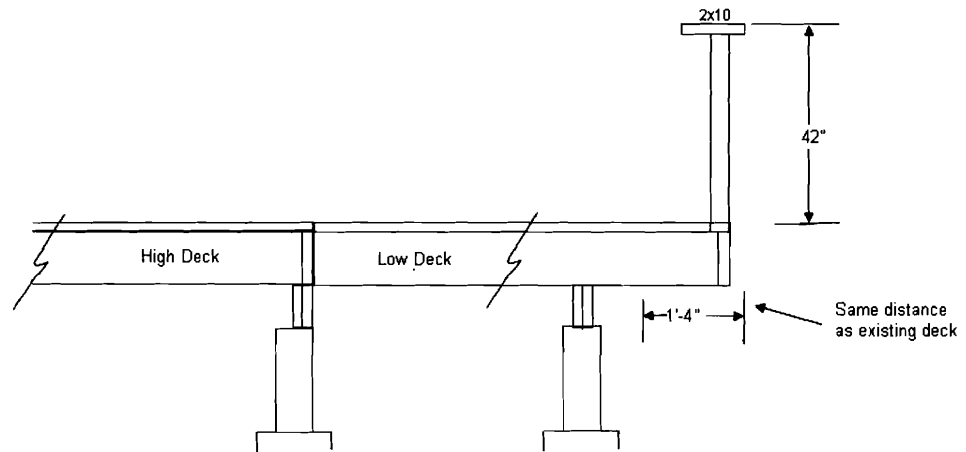


Deck height from ground
varies from 0" to 5"

Raise existing Low Deck 14": use existing footings; new PT posts, beams, joists
New PT 2x6 decking, new guardrailing

NOT TO SCALE

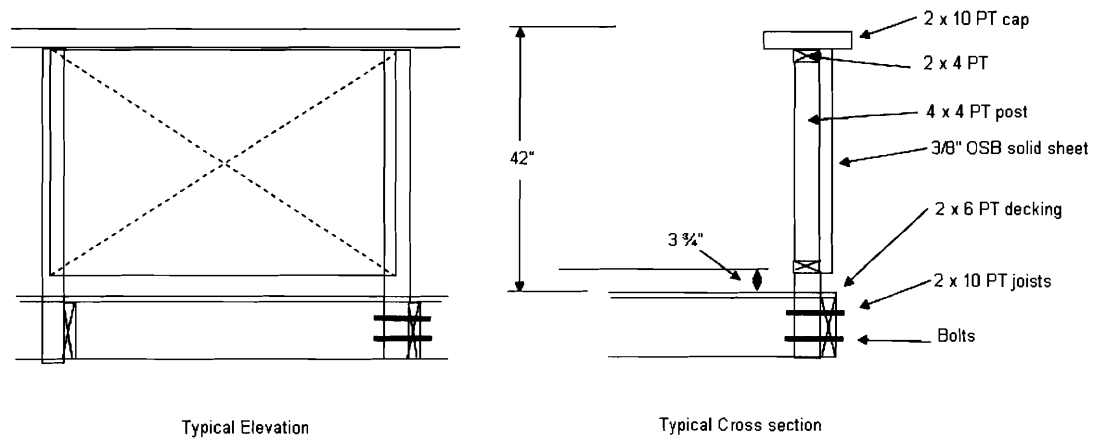
Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Existing Deck: Levels & Railing	
	Rebuild existing Low deck to Height of Hi deck	8 Apr 09 Pg 5 amended



Raise existing Low Deck 14": use existing footings; new PT posts, beams, joists
New PT 2x6 decking, new guardrailing

NOT TO SCALE

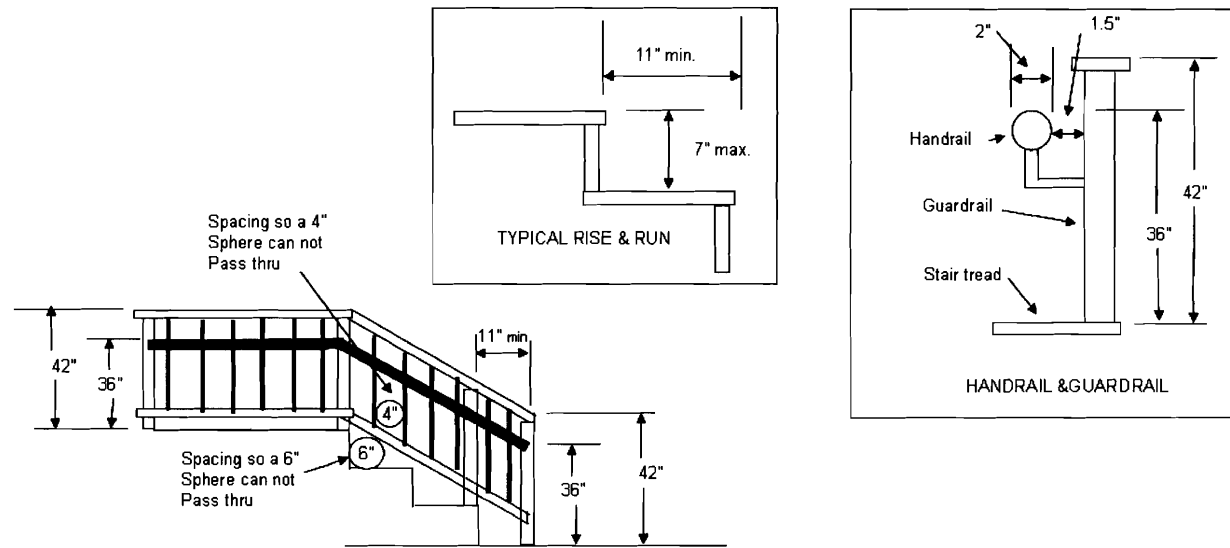
Parcel ID 084 0003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Proposed Deck Levels & Railing	
	Rebuild existing Low deck to Height of Hi deck	8 Apr 09 Pg 6 amended



Raise existing Low Deck 14": use existing footings; new PT posts, beams, joists
New PT 2x6 decking, new guardrailing

NOT TO SCALE

Parcel ID	084 Q003001	Proposed Deck: Guardrailing on deck	
Location	6 Welch St, Peaks Island, ME	Rebuild existing Low deck to Height of Hi deck	8 Apr 09 Pg 7 amended
Land Use	Retail & Personal Service		
Zoning	IB		
Legal	84-Q-3, Welch St, Peaks Island, ME		
Lot Area	25,220 + 6,675 = 31,895 SF		



Raise existing Low Deck 14": use existing footings; new PT posts, beams, joists
New PT 2x6 decking, new guardrailing

Typical Stair rise and run
NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Proposed Deck: Stairs	
	Rebuild existing Low deck to Height of Hi deck	8 Apr 09 Pg 8 amended

From: "Peter D. Schwotzer" <pschwotzer@millerengandtesting.com>
To: "Steve Moeser" <smoeser@charterbn.com>, "Chris Hanson" <cash@portlandmaine.gov>, "Maureen McGlone" <mmcglone@gorrillpalmer.com>, "Bill Lorigan" <blorigan@charterbn.com>, "Charles Baillargeon" <cbailargeon@pmconstruction.com>, "David Latulippe" <ddlatulip@aol.com>
Date: 4/9/2009 7:55:26 AM
Subject: Reinforcing Steel Report - Walgreen's Portland - 09.051.NH

Peter D. Schwotzer

Miller Engineering & Testing Inc.
100 Sheffield Road
Manchester, NH 03103
Phone: (603) 668-6016
Fax: (603) 668-8641

Peter D. Schwotzer

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100 Sheffield Road
Manchester, NH 03103
Phone: (603) 668-6016
Fax: (603) 668-8641

Return-path: <pschwotzer@millerengandtesting.com>
 Received: from barracuda.portlandmaine.gov (172.16.0.63) by smtp.portlandmaine.gov, Thu, 09 Apr 2009 07:54:55 -0400
 X-ASG-Debut-Id: 1239278070-066600000000-rywL3
 X-Barracuda-URI: http://172.16.0.63:8000/cgi-bin/mark.cgi
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 Received: from smtp004.onecommunications.net (smtp004.onecommunications.net [69.95.226.14]) by barracuda.portlandmaine.gov with SMTP id uvQLEQHJRMGvMTwY for <cah@portlandmaine.gov>, Thu, 09 Apr 2009 07:54:30 -0400 (EDT)
 X-Barracuda-Envelope-From: pschwotzer@millerengandtesting.com
 Received: (mail 26828 invoked from network); 9 Apr 2009 11:53:46 -0000
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 Message-ID: <2E1452F487084431A639B6FF2646CE24@peter>
 From: "Peter D. Schwotzer" <pschwotzer@millerengandtesting.com>
 To: "Steve Moester" <smoester@charterbn.com>, "Chris Hanson" <cah@portlandmaine.gov>, "Maureen McGlone" <mmeaglone@gonilpalmer.com>, "Bill Lorigan" <blorigan@charterbn.com>, "Charles Ballargeon" <cballargeon@bmconstruction.com>, "David Latulippe" <dlatulippe@aol.com>
 X-ASG-Orig-Subj: Reinforcing Steel Report - Walgreen's Portland - 09.051.NH
 Subject: Reinforcing Steel Report - Walgreen's Portland - 09.051.NH
 Received: Thu, 9 Apr 2009 07:54:21 -0400
 MIME-Version: 1.0
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 X-MimeOLE: Produced By Microsoft MimeOLE V6.00.2900.5578
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 X-Barracuda-Start-Time: 1239278071
 X-Barracuda-Virus-Scanned: by Barracuda Spam Firewall at portlandmaine.gov
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 belowpts rule name description
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 Content-Type: text/html; charset="iso-8859-1"
 Content-Transfer-Encoding: quoted-printable
 Attachment: 04-06-09.pdf 04-01-09.pdf 04-02-09.pdf 04-03-09.pdf

Peter D. Schwotzer

Miller Engineering & Testing Inc.
100 Sheffield Road
Manchester, NH 03103
Phone: (603) 668-6016
Fax: (603) 668-8641

From: Adam Weidemann <adamdweidemann@yahoo.com>
To: <csh@portlandmaine.gov>
Date: 4/9/2009 7:01:49 AM
Subject: 6 welch st

Hi Chris,

I have attached drawings showing guardrails and handrails. Also, after speaking with the owner yesterday, she decided to replace the existing lower deck rather than lift it and rebuild it. I have amended the original drawings to show this. The guardrailing on the deck can now be built to code.

please find 7 drawings in jpeg format attached to this email.

Thank you,
Adam Weidemann
650-4589 cell

```
<table cellspacing="0" cellpadding="0" border="0" ><tr><td valign="top" style="font: inherit;"><DIV>Hi  
Chris,</DIV>  
<DIV>&nbsp;</DIV>  
<DIV>I have attached drawings showing guardrails and handrails. Also, after speaking with the owner  
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<DIV>&nbsp;</DIV>  
<DIV>please find 7 drawings in jpeg format attached to this email.</DIV>  
<DIV>&nbsp;</DIV>  
<DIV>Thank you,</DIV>  
<DIV>Adam Weidemann</DIV>  
<DIV>650-4589 cell</DIV></td></tr></table><br>
```

Ann Machado - ^ welch St.

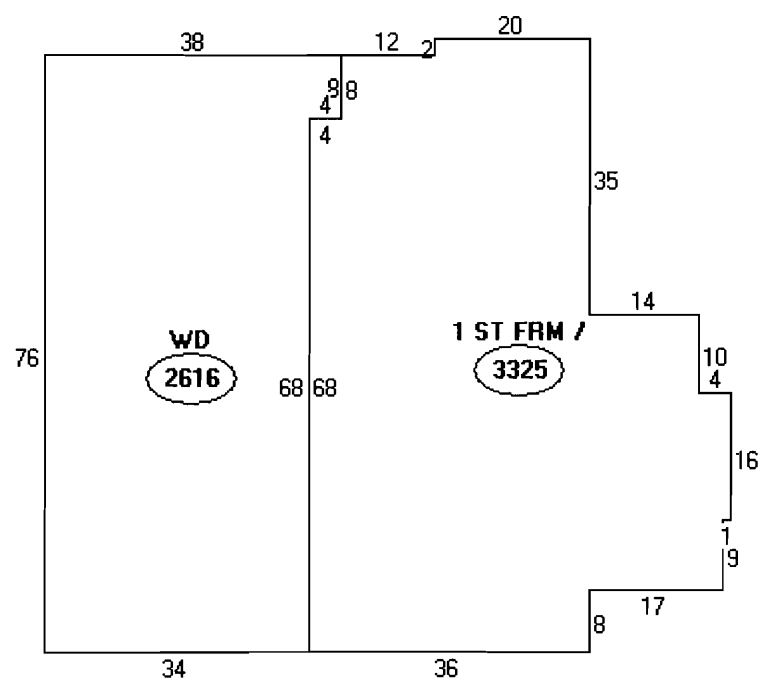
From: Ann Machado
To: Benjamin Wallace
Date: 4/1/2009 1:35 PM
Subject: ^ welch St.

Ben -

The contractor brought in revised plans that show a second means of egress. Page 4 of 6 on plans. It meets the zoning requirements, so I have signed off.

It is in the hold basket waiting for you.

Ann



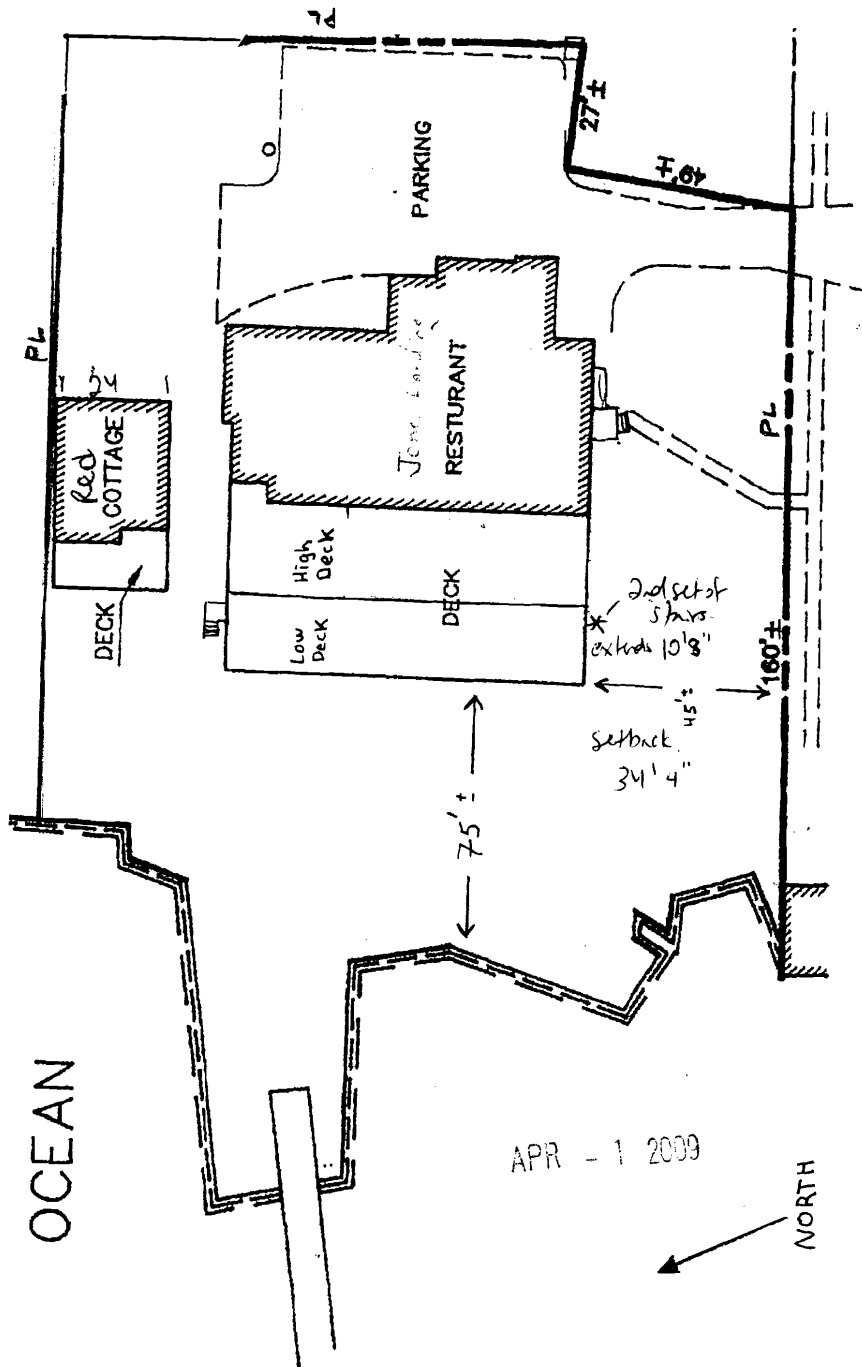
Descriptor

A: 1 ST FRM
3325 sqft

B: WD
2616 sqft

ATLANTIC

OCEAN



WELCH STREET

I-B zone

Revised

2nd set of stairs. front setback. 20' req. - 34'4" ok.
 side setback - over 75' ok.
 rear N/A

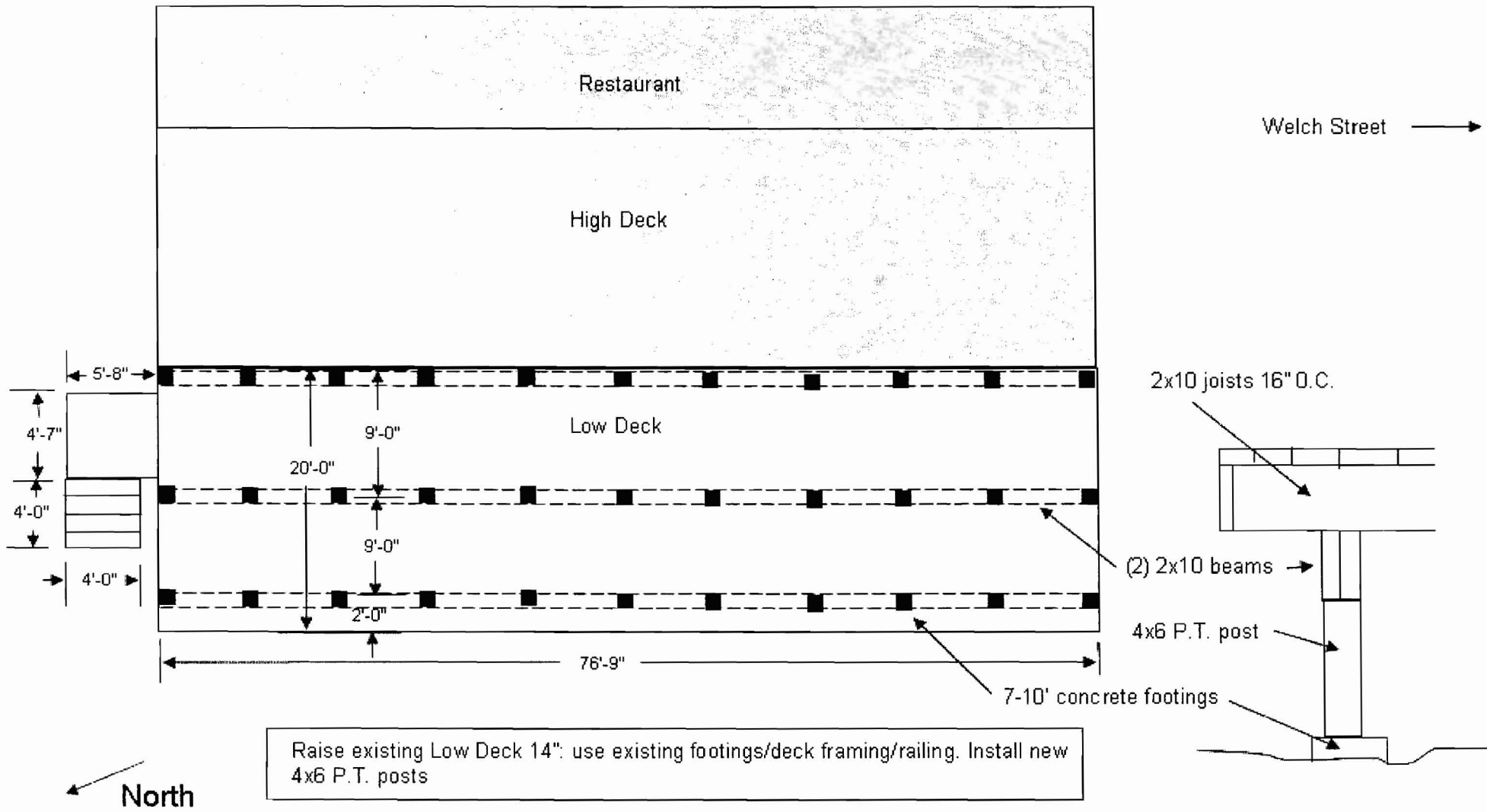
1st set - rear setback. 10' - @ least 24' ok
 - side @ least 75' ok

Plot Plan	
Raise existing Low deck 14" to match High deck	1 Apr 09
	Pg 1 of 6

lot coverage - 50% of 31,895 = 15,947.5

main building 5941
 red cottage - 960
 6901 - stairs ok.

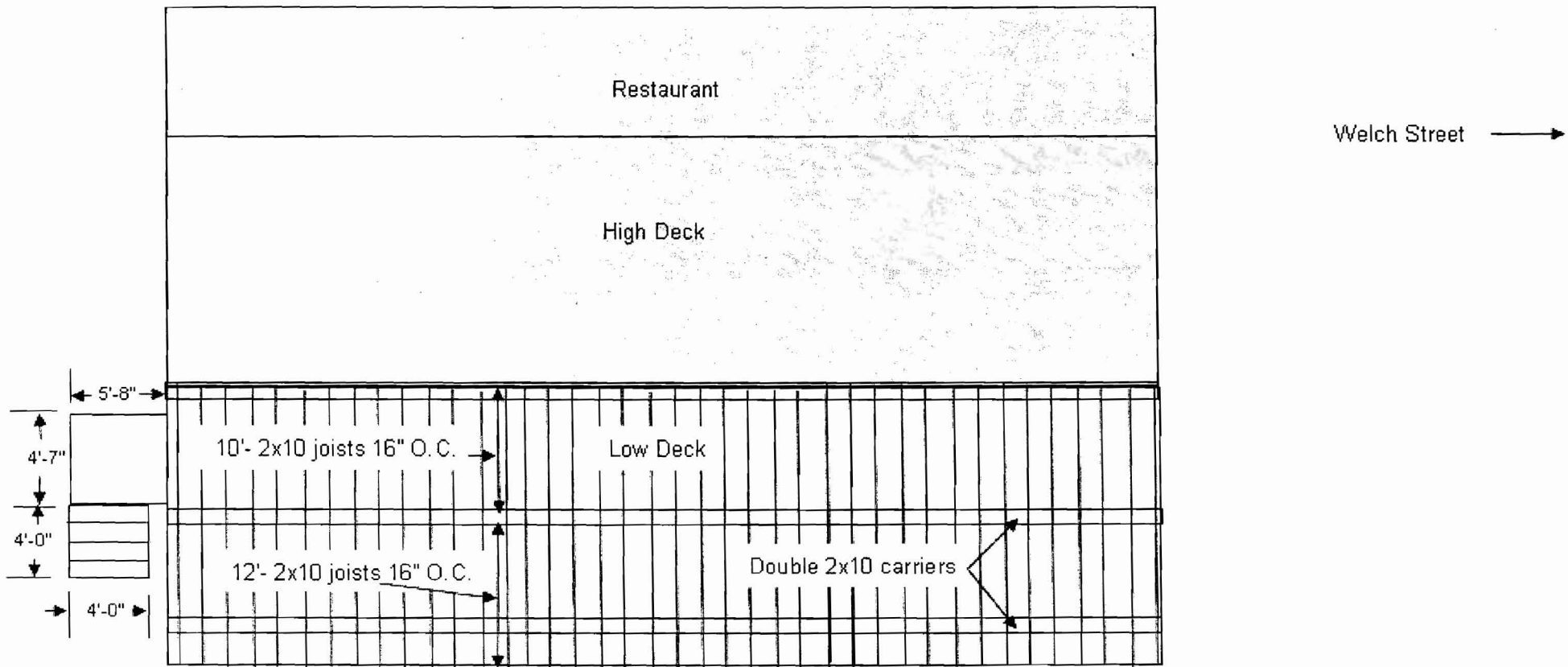
Parcel ID	084 Q003001
Location	6 Welch St, Peaks Island, ME
Land Use	Retail & Personal Service
Zoning	IB
Legal	84-Q-3, Welch St, Peaks Island, ME
Lot Area	25,220 + 6,675 = 31,895 SF



Raise existing Low Deck 14": use existing footings/deck framing/railing. Install new 4x6 P.T. posts

NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Existing Deck: Post layout	
	Raise existing Low deck 14" to match High deck	1Apr 09 Pg 2 of 6

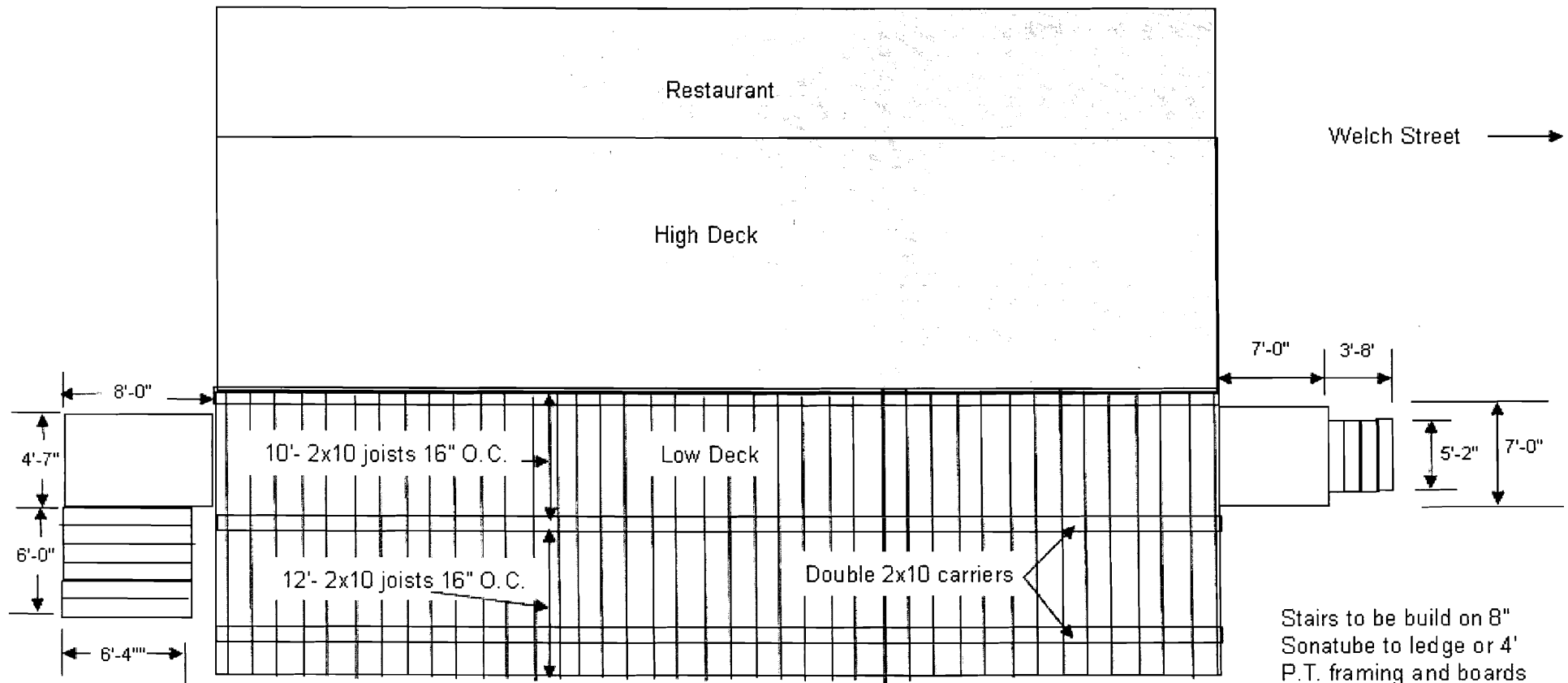


Raise existing Low Deck 14": use existing footings/deck framing/railing. Install new 4x6 P.T. posts

North ↙

NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Existing Deck: Framing layout	
	Raise existing Low deck 14" to match High deck	1 Apr 09 Pg 3 of 6



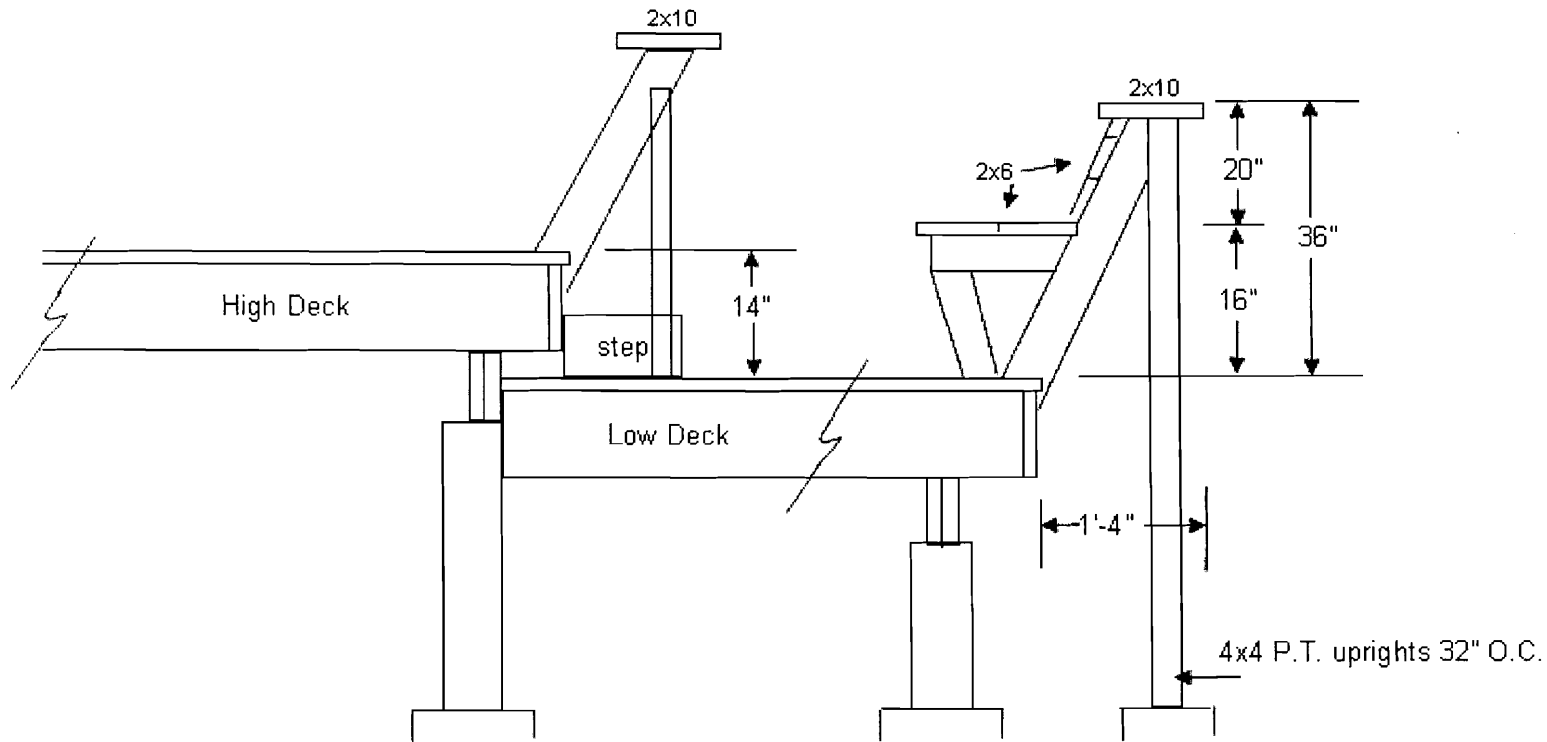
Raise existing Low Deck 14": use existing footings/deck framing/railing. Install new 4x6 P.T. posts

Stairs to be build on 8" Sonatube to ledge or 4' P.T. framing and boards Simpson hangers and Footing connectors. Railing to be to code Height and openings

North

NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Proposed Stairs to ground	
	Raise existing Low deck 14" to match High deck	1 Apr 09 Pg 4 of 6

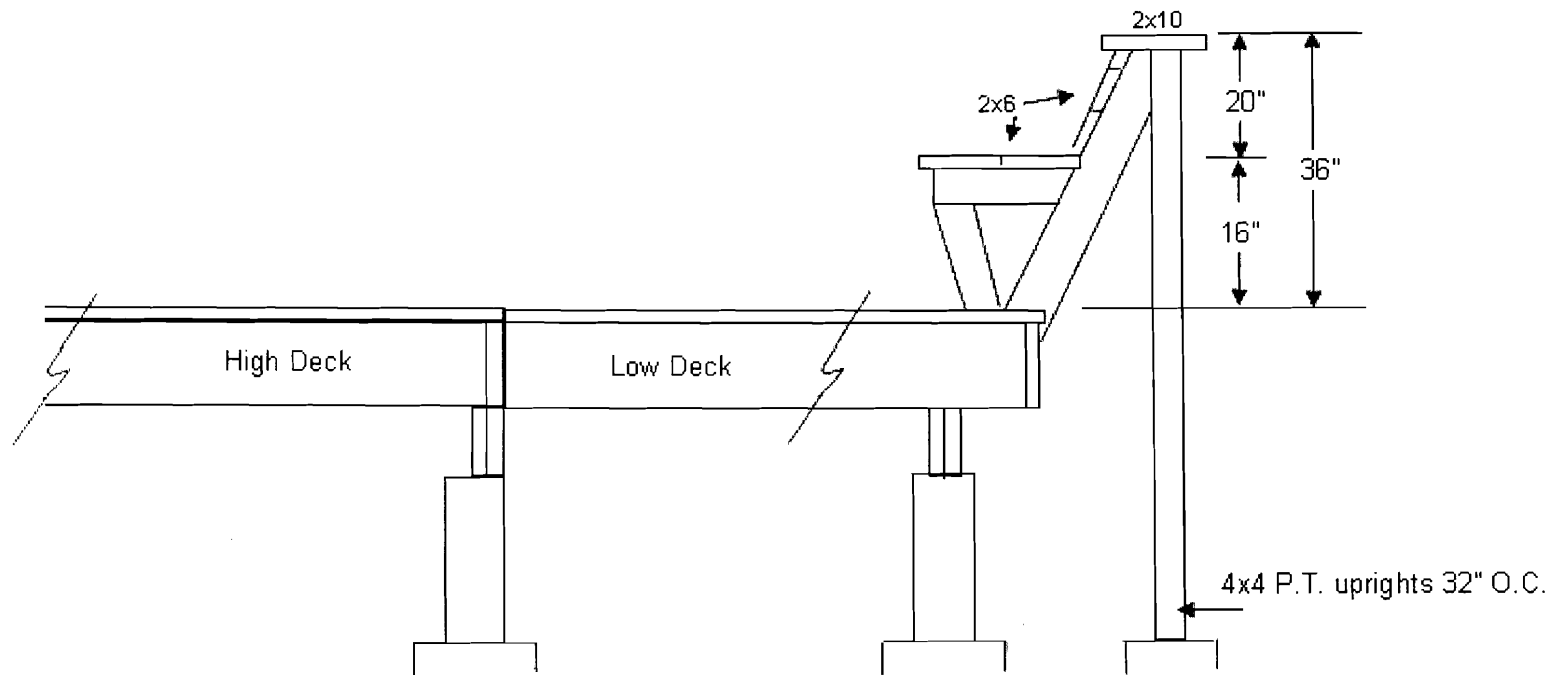


Deck height from ground varies from 0" to 5'

Raise existing Low Deck 14": use existing footings/deck framing/railing. Install new 4x4 P.T. posts

NOT TO SCALE

Parcel ID Location Land Use Zoning Legal Lot Area	084 Q003001 6 Welch St, Peaks Island, ME Retail & Personal Service IB 84-Q-3, Welch St, Peaks Island, ME 25,220 + 6,675 = 31,895 SF	Existing Deck: Levels & Railing	
		Raise existing Low deck 14" to match High deck	1 Apr 09 Pg 5 of 6



Raise existing Low Deck 14": use existing footings/deck framing/railing. Install new 4x4 P.T. posts

NOT TO SCALE

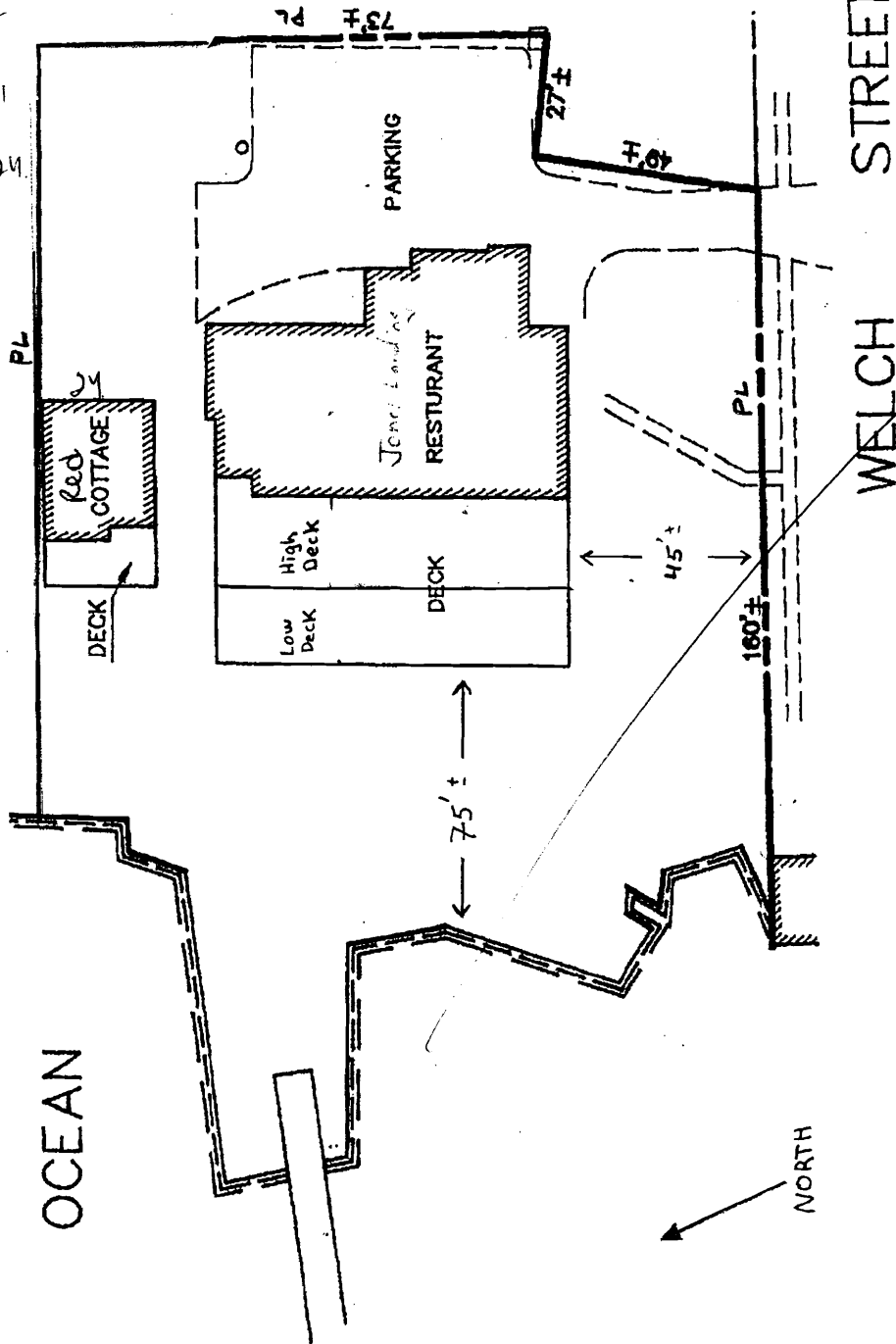
Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Proposed Deck: Levels & Railing	
	Raise existing Low deck 14" to match High deck	1 Apr 09 Pg 6 of 6

Welch St front - N/A
 Side - 10' - over 75'
 rear - 10' - @ least 24'

←
 lot extends
 @ least 45'
 from the PL

ATLANTIC

OCEAN



I-B
 WELCH STREET

lot coverage - 50% of 31,895 = 15,947.5

existing 5941
 960
 6901 — ok
 15,947.5

Old

Plot Plan

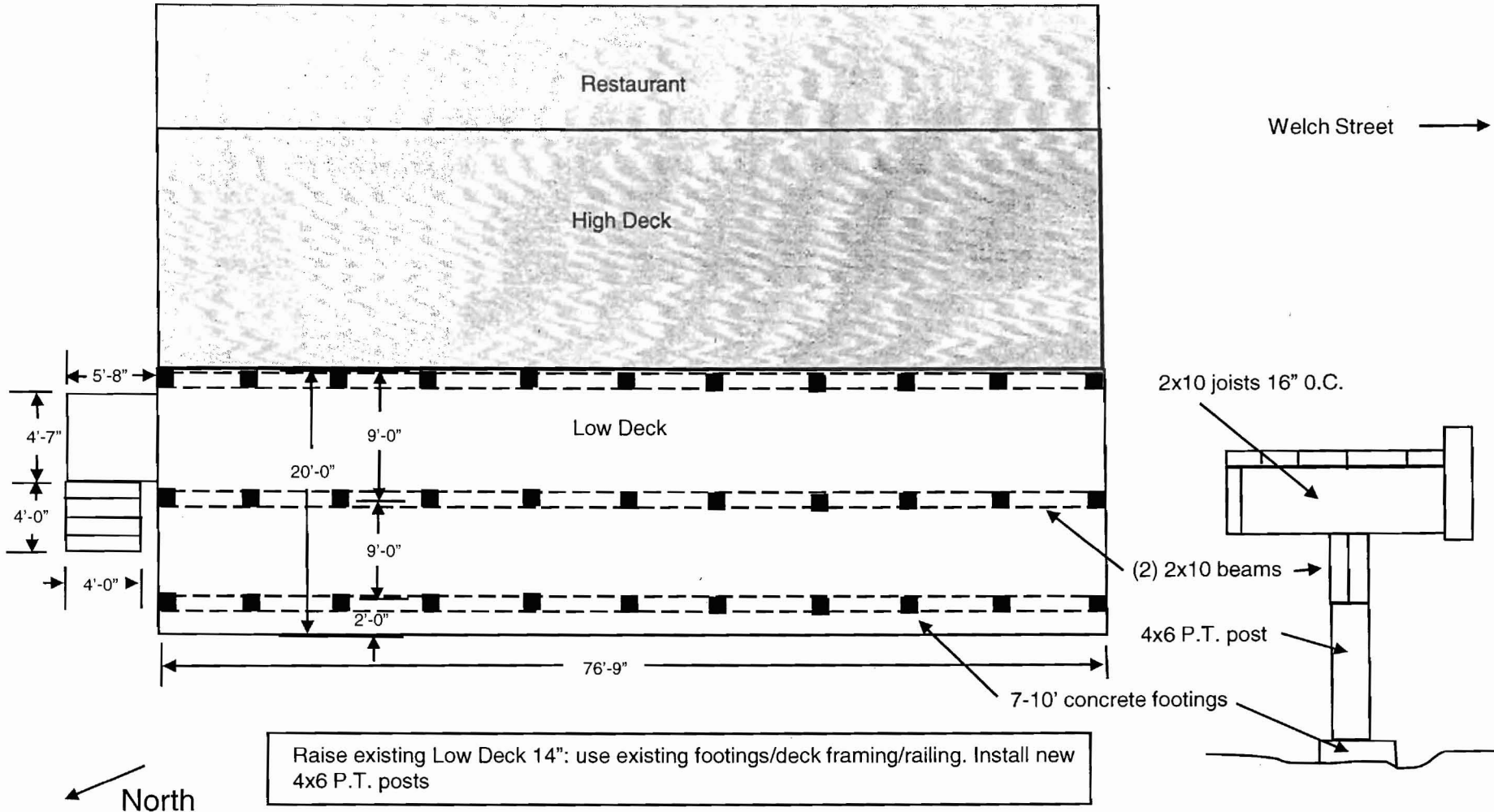
Raise existing
 Low deck 14"
 to match High
 deck

25 Mar 09

Pg 1 of 6

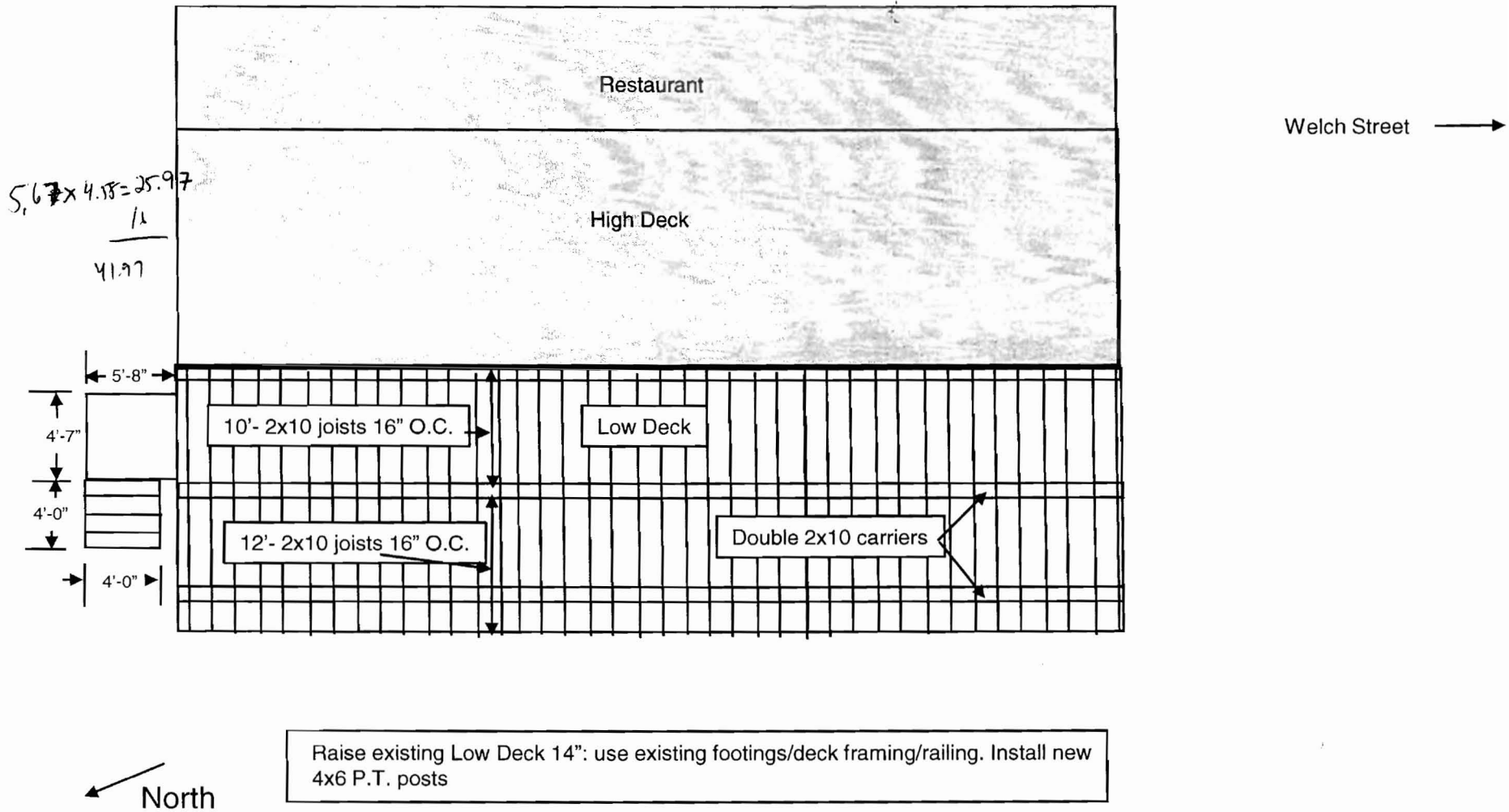
Parcel ID 084 Q003001
 Location 6 Welch St, Peaks Island, ME
 Land Use Retail & Personal Service
 Zoning IB
 Legal 84-Q-3, Welch St, Peaks Island, ME
 Lot Area 25,220 + 6,675 = 31,895 SF

+ 2700
 3120
 5820
 2910



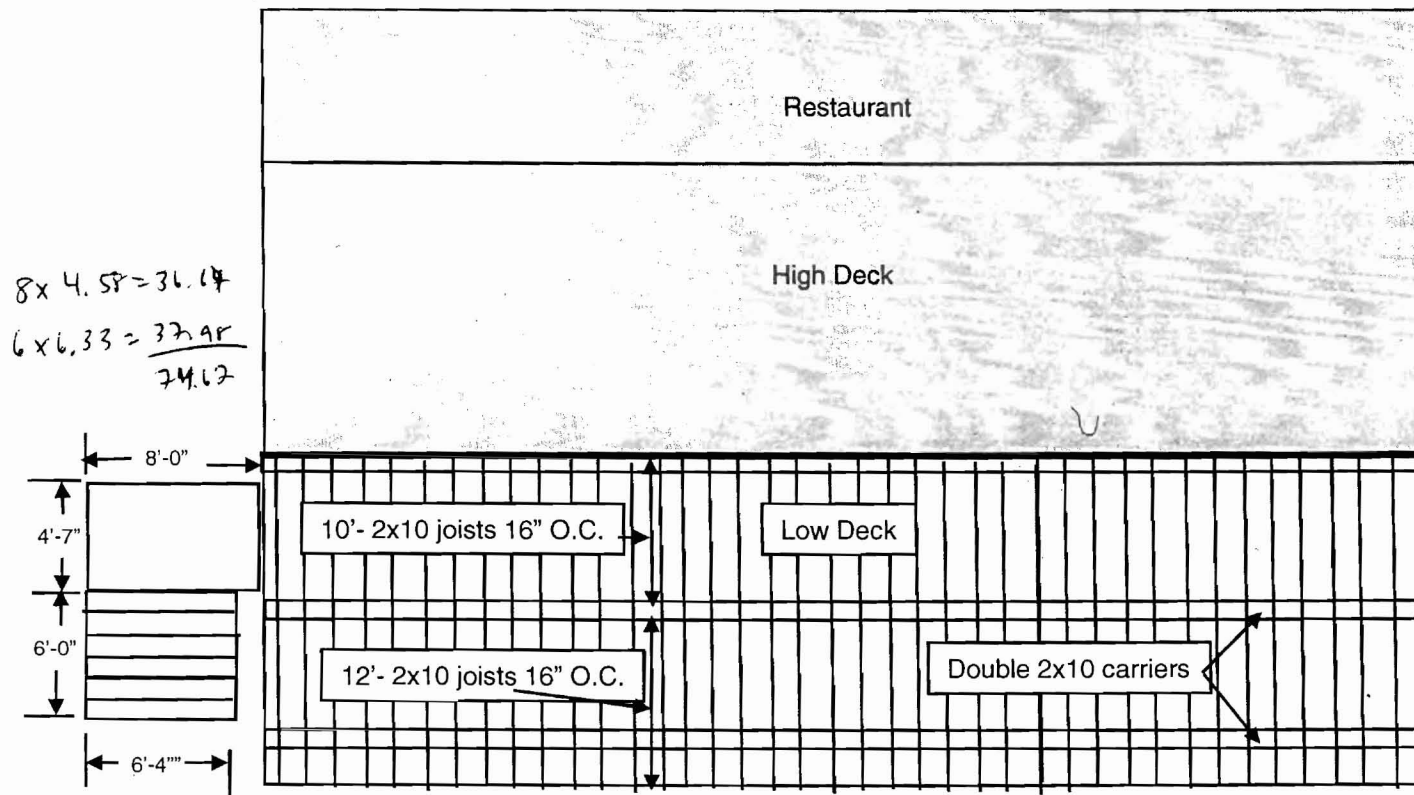
NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Existing Deck: Post layout	
	Raise existing Low deck 14" to match High deck	25 Mar 09 Pg 2 of 6



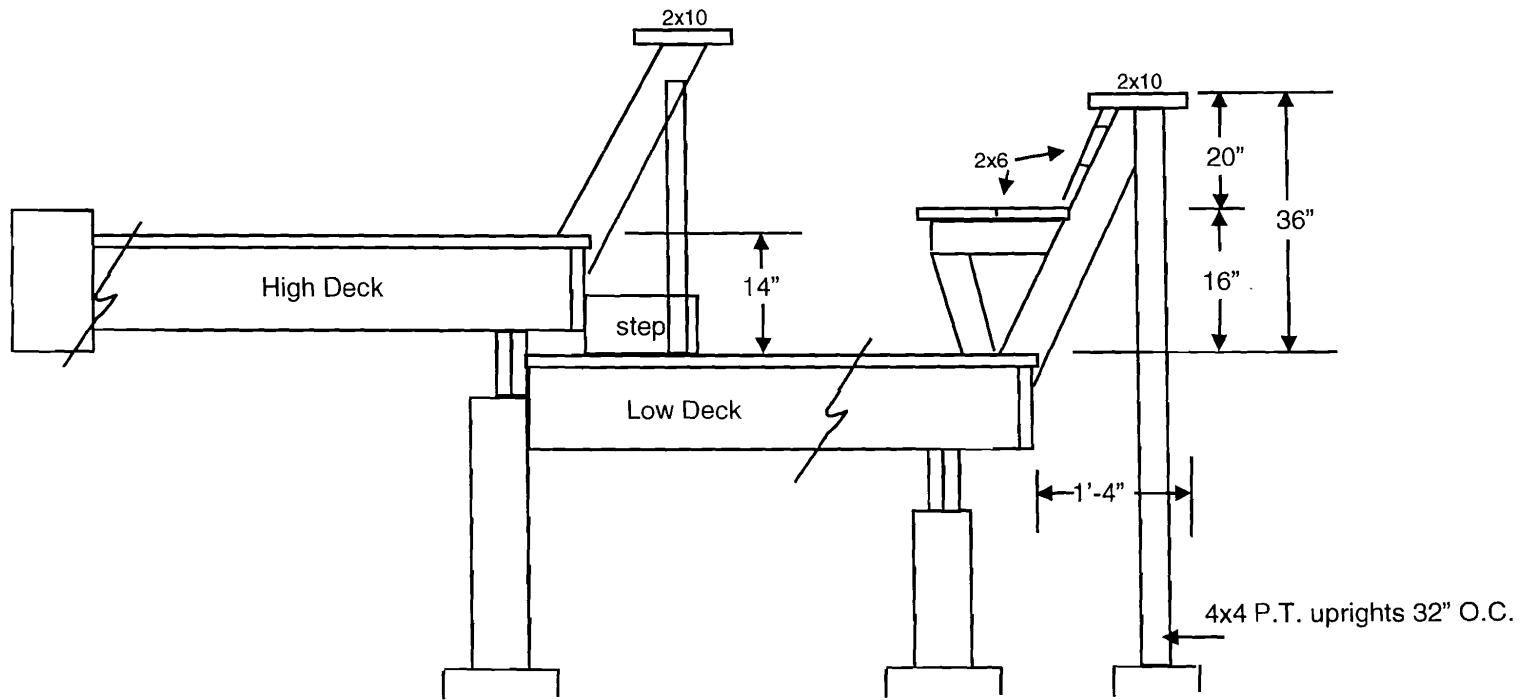
NOT TO SCALE

Parcel ID	084 Q003001	Existing Deck: Framing layout	
Location	6 Welch St, Peaks Island, ME	Raise existing Low deck 14" to match High deck	25 Mar 09
Land Use	Retail & Personal Service		
Zoning	IB	Pg 3 of 6	
Legal	84-Q-3, Welch St, Peaks Island, ME		
Lot Area	25,220 + 6,675 = 31,895 SF		



NOT TO SCALE

Parcel ID Location Land Use Zoning Legal Lot Area	084 Q003001 6 Welch St, Peaks Island, ME Retail & Personal Service IB 84-Q-3, Welch St, Peaks Island, ME 25,220 + 6,675 = 31,895 SF	Proposed Stairs to ground	
		Raise existing Low deck 14" to match High deck	25 Mar 09 Pg 4 of 6

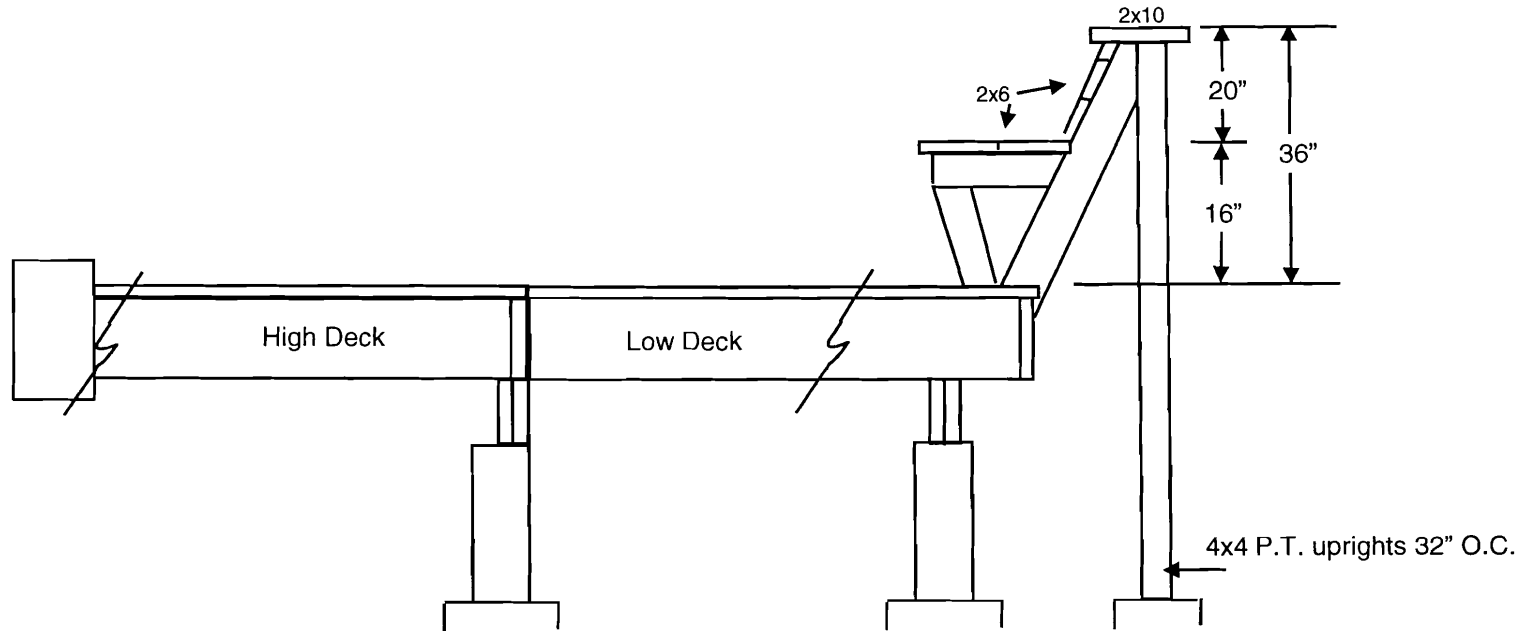


Deck height from ground varies from 0" to 5'

Raise existing Low Deck 14": use existing footings/deck framing/railing. Install new 4x4 P.T. posts

NOT TO SCALE

Parcel ID Location Land Use Zoning Legal Lot Area	084 Q003001 6 Welch St, Peaks Island, ME Retail & Personal Service IB 84-Q-3, Welch St, Peaks Island, ME 25,220 + 6,675 = 31,895 SF	Existing Deck: Levels & Railing	
		Raise existing Low deck 14" to match High deck	25 Mar 09 Pg 5 of 6



Raise existing Low Deck 14": use existing footings/deck framing/railing. Install new 4x4 P.T. posts

NOT TO SCALE

Parcel ID 084 Q003001 Location 6 Welch St, Peaks Island, ME Land Use Retail & Personal Service Zoning IB Legal 84-Q-3, Welch St, Peaks Island, ME Lot Area 25,220 + 6,675 = 31,895 SF	Proposed Deck: Levels & Railing	
	Raise existing Low deck 14" to match High deck	25 Mar 09 Pg 6 of 6