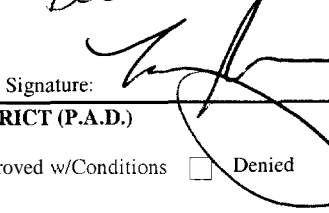
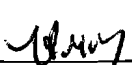
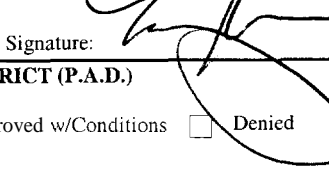


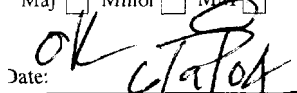

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0639	Issue Date:	CBL: 084 Q001001
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Location of Construction: 66 Island Ave	Owner Name: Feeney John E Sr	Owner Address: 7 Dunn Ests Dr	Phone:
Business Name:	Contractor Name: Boucher, Jean	Contractor Address: 488 Walker Road Lyman	Phone: 2073249069
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: I-B / SH

Past Use: Commercial Post-Office	Proposed Use: Post Office/ Add Roof 6/12 pitch roof over flat existing 25' x 26' rear of building	\$165.00	\$15,935.00	1
Proposed Project Description: Add Roof 6/12 pitch roof over flat existing 25' x 26' rear of building		FIREDEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: B Type: SB BOCA 1999 
		Signature: 		Signature: 
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 05/20/2004	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

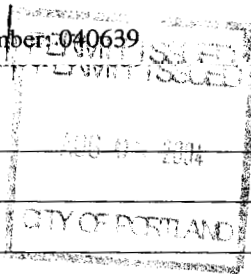
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040639



Please Read Application And Notes, If Any, Attached

This is to certify that Feeney John E Sr/Boucher, J

has permission to Add Roof 6/12 pitch roof over at existing rear of building

AT 66 Island Ave

084 Q001001

provided that the person or persons, firm or person accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported before this building or part thereof is occupied or otherwise used-in. HOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Health Dept.

Appeal Board

Other

Department Name

[Handwritten Signature]
01/14/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

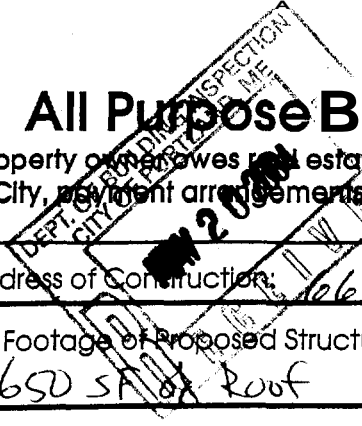
Permit Nbr	04-0639	Location of Construction	66 Island Ave	Constr Type	New	Num1	40639
Status	Hold	Permit Type	Alterations - Commercial	Appl. Date		Issue Date	05/20/2004
CBL	094 0001001	District Nbr	1	Estimated Cost	\$15,935.00	Date Closed	
Permit	12796	Text193					

Comment Date	Comment	Name	Follow Up Date	Completed
08/04/2004	ok to issue - met w/builder at counter and reviewed new submissions.	jmm		<input type="checkbox"/>
06/21/2004	Called the owner and contractor need more complete structural plans	mjn		<input type="checkbox"/>

CreatedBy	ldobson	CreateDate	05/20/2004	ModBy	mjn	ModDate	06/21/2004
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All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.



Location/Address of Construction: <u>Island Ave Peak Island</u>		
Total Square Footage of Proposed Structure <u>650 SF of Roof</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>84</u> Block# <u>Q</u> Lot# <u>1</u>	Owner: <u>JOHN FEENEY</u>	Telephone: <u>883-1262</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>JOHN F FEENEY SR</u> <u>7 DUNN ESTS</u> <u>Scarborough ME</u> <u>TEL 883-1262 04074</u>	cost Of Work: <u>\$ 15,935.00</u> Fee: \$
Current use: <u>post office</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Add roof 6/12 pitch roof over flat existing 25' x 26' rear of building</u>		
Project description:		
Contractor's name, address & telephone: <u>JEAN BOUCHER 488 WALKER RD LYMAN ME 04002</u> <u>TEL 324-9069</u>		
Who should we contact when the permit is ready: <u>JEAN BOUCHER</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>324-9069</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

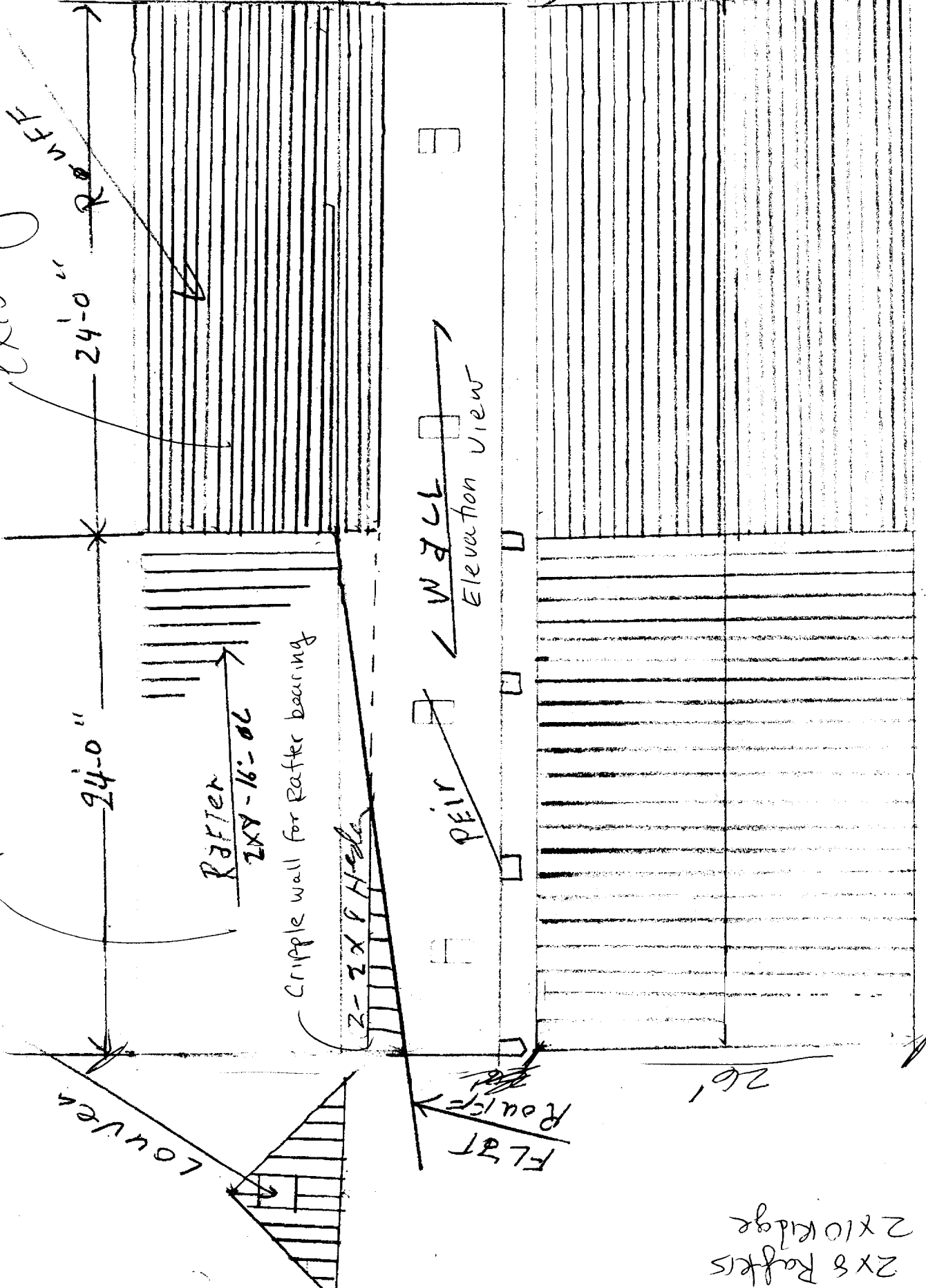
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>jean Boucher</u>	Date: <u>4-26-2004</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Island Ave

Existing



Plan View

2x8 Rafters
2x10 Ridge

New
N

24'-0"

24'-0"

EXISTING
RAFTER

RAFTER
2x8-16'-0"

Cripple wall for Rafter bearing

3-2x8 Headers

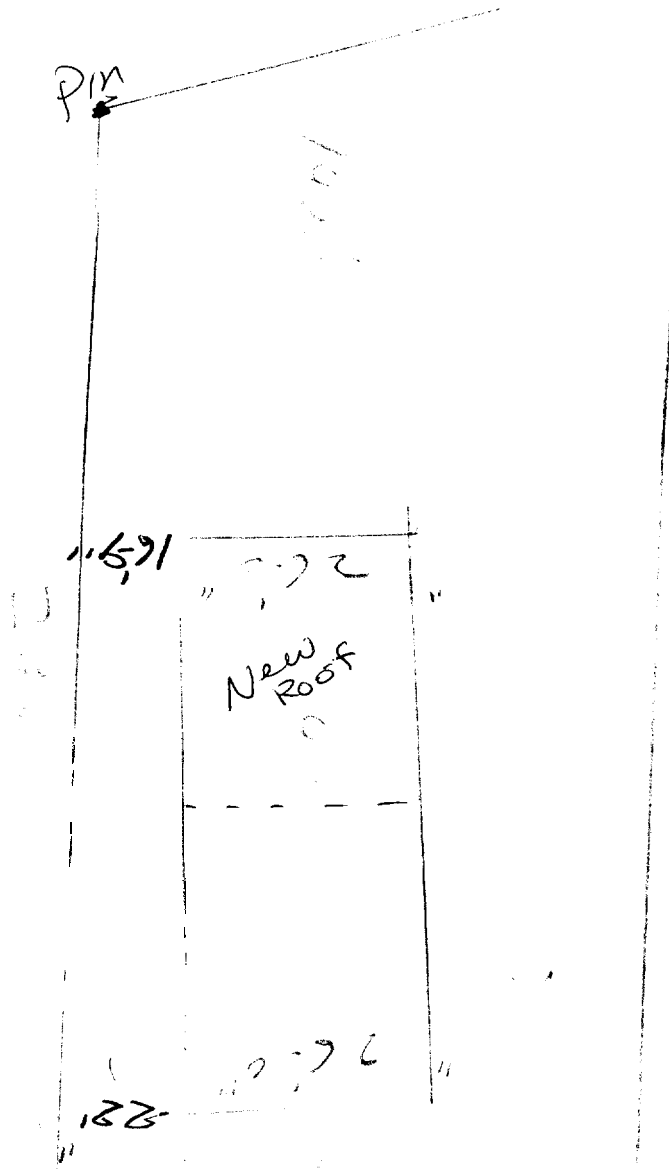
WALL
Elevation View

PEIR

FLRT
Rafter

26'

Lower



P12

Island Ave