

THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BU...TION

**PERMIT**

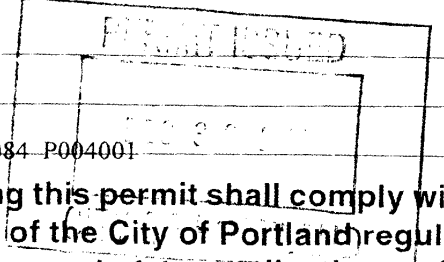
Permit Number: 081549

This is to certify that HANNIGAN ROBERT J /McL..., Cons...

has permission to interior renovations to residential only

AT 15 BOATHOUSE WAY Peaks Island

CE 084 P004001



provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other...ed-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

- Fire Dept. \_\_\_\_\_
- Health Dept. \_\_\_\_\_
- Appeal Board \_\_\_\_\_
- Other \_\_\_\_\_  
Department Name

*Thomas W. Malley* 12/29/02  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

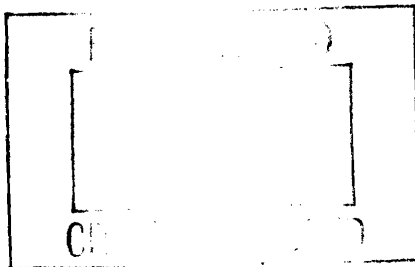
Permit No: 08-1549	Issue Date:	CBL: 084 P004001
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Location of Construction: 15 BOATHOUSE WAY Peaks Islan	Owner Name: HANNIGAN ROBERT J	Owner Address: 76 ISLAND AVE	Phone:
Business Name:	Contractor Name: McTigue, Construction	Contractor Address: 97 Brackett Ave, P.I. Portland	Phone: 2077662676
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: I-B

Past Use: Retail Grocery store w/ two residential	Proposed Use: Retail Grocery Store w/ One residential - change of use- interior renovations to residential only	Permit Fee: \$1,520.00	Cost of Work: \$150,000.00	CEO District: 1
Proposed Project Description: interior renovations to residential - new exterior roof over deck		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
		Signature: <i>Greg Cross</i>	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: Date:				

Permit Taken By: ldobson	Date Applied For: 12/12/2008	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>w/ 250' but bldg over 285' to stream</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>N/A</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>12/17/08</i>	Date: <i>12/17/08</i>	Date:



## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.

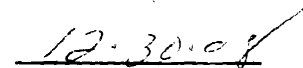
**NOTE: There is a \$75.00 fee per inspection at this point.**

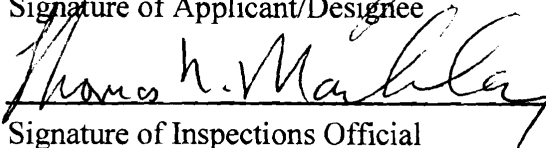
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

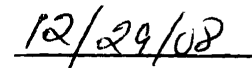
**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

  
\_\_\_\_\_  
Date



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>15 Boat House Way</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>10096 SF</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>84          P          4-5</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Robert Hannigan</u> Address <u>15 Boat House Way</u> City, State & Zip <u>Pearles Isl. Me 04108</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$150,000</u> <sup>4520</sup> C of O Fee: \$ <u>75</u> <sup>1025</sup> Total Fee: \$ <u>1520</u>
Current legal use (i.e. single family) <u>Single Family - Retail - Residential -</u> If vacant, what was the previous use? <u>w/interior renovations</u> Proposed Specific use: <u>same</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Previous approved use was Residential - all in a 2 unit - is changing to a single family and grocery store</u>		
Contractor's name: <u>McTigue Construction</u>		
Address: <u>97 Brackett Ave</u>		
City, State & Zip <u>Pearles Isl.</u>		Telephone: <u>730-1083</u>
Who should we contact when the permit is ready: <u>McTigue</u>		Telephone: _____
Mailing address: <u>97 Brackett Ave P.O. 04108</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov) or stop by the Inspections

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-1549	<b>Date Applied For:</b> 12/12/2008	<b>CBL:</b> 084 P004001
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<b>Location of Construction:</b> 15 BOATHOUSE WAY Peaks Islan	<b>Owner Name:</b> HANNIGAN ROBERT J	<b>Owner Address:</b> 76 ISLAND AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> McTigue, Construction	<b>Contractor Address:</b> 97 Brackett Ave, P.I. Portland	<b>Phone</b> (207) 766-2676
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Retail Grocery Store w/ One residential - change of use- interior renovations to residential only	<b>Proposed Project Description:</b> interior renovations to residential - new exterior roof over deck
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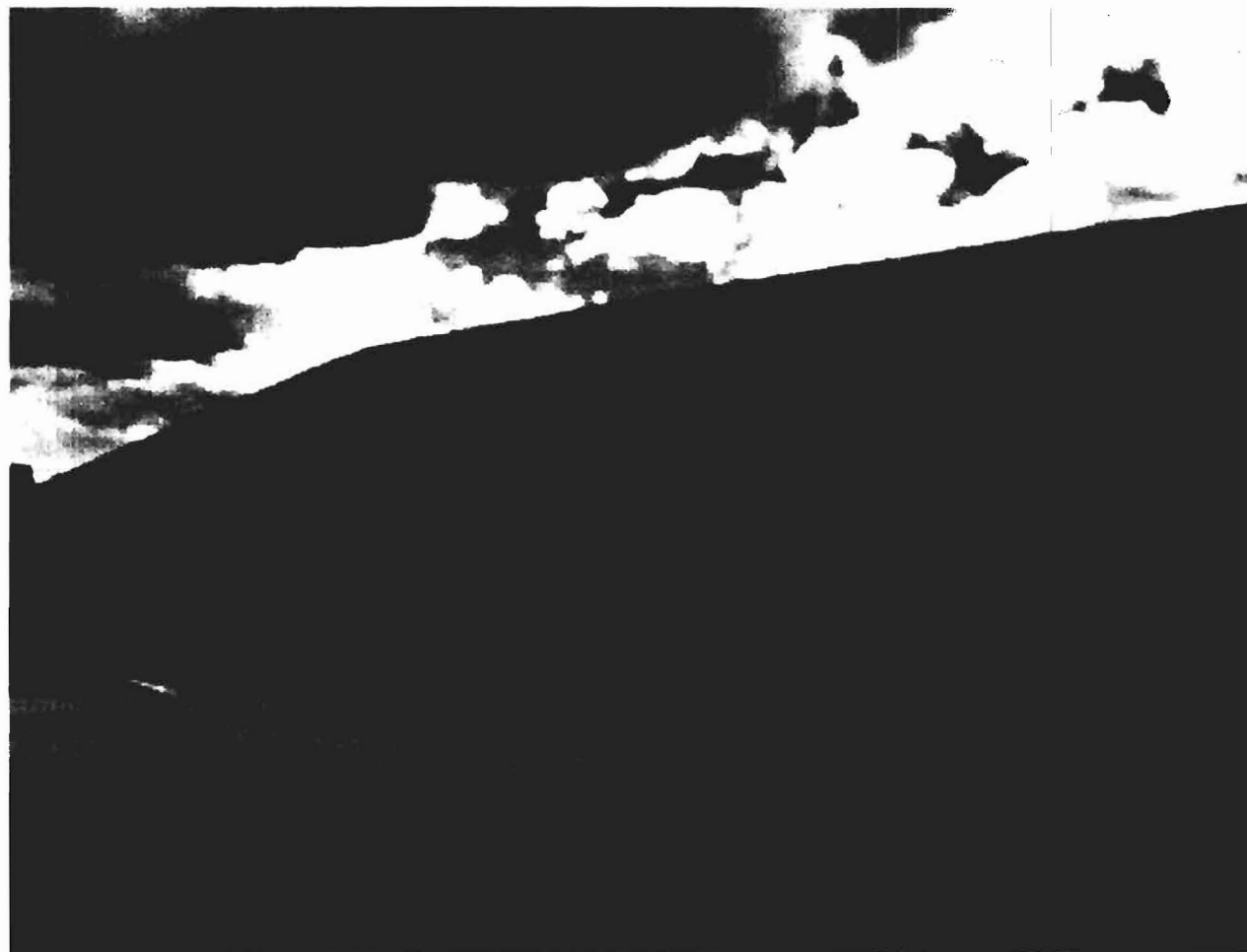
<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 12/17/2008
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Please note that the owner's decision to remove one approved dwelling unit will extinguish any "grandfathered" rights. Any future desire to add a dwelling unit will need to meet all the requirements of the underlying zone at that time.</li> <li>2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</li> <li>3) This property shall remain a retail grocery store with an attached single family dwelling on the rear. Any change of use shall require a separate permit application for review and approval.</li> <li>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 12/29/2008
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) 2 hour rated wall assembly req. between commercial and residential units.</li> <li>2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.</li> <li>3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.</li> <li>4) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.</li> <li>5) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.</li> <li>6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

<b>Location of Construction:</b> 15 BOATHOUSE WAY Peaks Islan	<b>Owner Name:</b> HANNIGAN ROBERT J	<b>Owner Address:</b> 76 ISLAND AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> McTigue, Construction	<b>Contractor Address:</b> 97 Brackett Ave, P.I. Portland	<b>Phone</b> (207) 766-2676
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

12/16/2008-mes: Got revised permit back from Lannie - I also called Bobby McTigue (voice mail) because it looks like there might be a change of use from 2 legal du to just a single family and there might be an addition? There is a new roof canopy over the door, but it the application implies an addition in the back where the du matches up to the grocery store.

12/17/2008-mes: Talked to Bobby McTigue - this is a change of use from two to one family - the only exterior work is the roof over the entry deck (on rear of property) - there is no other addition. There are other interior alterations.



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

**Card Number** 1 of 1  
**Parcel ID** 084 P004001  
**Location** 15 BOATHOUSE WAY  
**Land Use** RETAIL & PERSONAL SERVICE  
  
**Owner Address** HANNIGAN ROBERT J  
 76 ISLAND AVE  
 PEAKS ISLAND ME 04108  
  
**Book/Page** 12747/17  
**Legal** 84-P-4-5  
 BOATHOUSE WAY 15  
 PEAKS ISLAND  
 10096 SF

*Handwritten signature*  
 ↓

Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$218,100	\$501,300	\$719,400

Building Information

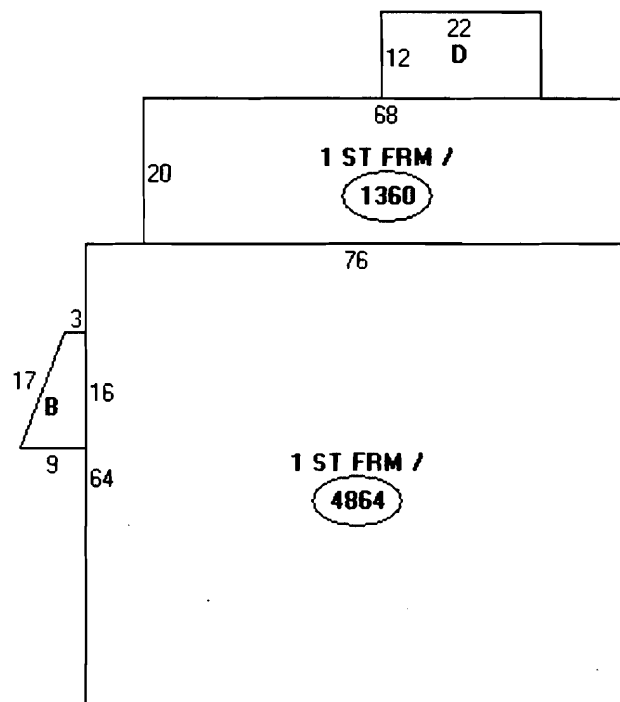
<b>Bldg #</b>	<b>Year Built</b>	<b># Units</b>	<b>Bldg Sq. Ft.</b>	<b>Identical Units</b>
1	1948	1	7584	1
<b>Total Acres</b>		<b>Total Buildings Sq. Ft.</b>	<b>Structure Type</b>	<b>Building Name</b>
0.232		7584	RETAIL - SINGLE OCCUPANCY	HANNIGANS ISLAND MKT

Exterior/Interior Information

<b>Section</b>	<b>Levels</b>	<b>Size</b>	<b>Use</b>
1	B1/B1	1360	APARTMENT
1	01/01	6224	RETAIL STORE

<b>Height</b>	<b>Walls</b>	<b>Heating</b>	<b>A/C</b>
8		ELECTRIC	NONE
12	FRAME	UNIT HEAT	UNIT
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE





Descriptor

A: 1 ST FRM  
4864 sqft

B: ENCL DO  
96 sqft

C: 1 ST FRM  
1360 sqft

D: WD DK  
264 sqft



# APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PORTLAND, MAINE, Nov. 27, 1980

PERMIT 10017  
NOV 16 1981  
41  
CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICE - PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 84-P-4-5 Island Ave. Peaks Island Fire District #1  #2

1. Owner's name and address John Peoney 4138 Ridgeland Ave. Telephone 767-2896  
So. Portland Telephone B 766-9701

2. Lessee's name and address

3. Contractor's name and address W. D. Crandall Inc. Luther St. Pks. Telephone 767-2857

4. Architect Specifications Plans No. of sheets

Proposed use of building grocery store & 2 apts. No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$10,000 Fee \$ 46.00

25.00-12-12 pd  
appeal for

## FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: (a 775-5451)

Dwelling Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

To construct 2 apartments on ground floor of building, already existing as per plans. 1 sheet of plans.

Stamp of Special Conditions

1-13-81

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4

Other: .....

## DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 84-P-4-5 Isl. Ave. Peaks Island  
Date of Issue NOV. 24, 1981

Issued to John Feeney

This is to certify that the building, premises, or part thereof, at the above location, built--altered--changed as to use under Building Permit No. 81/41, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Ground Floor

2 Apartments

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

11 23 81

(Date)

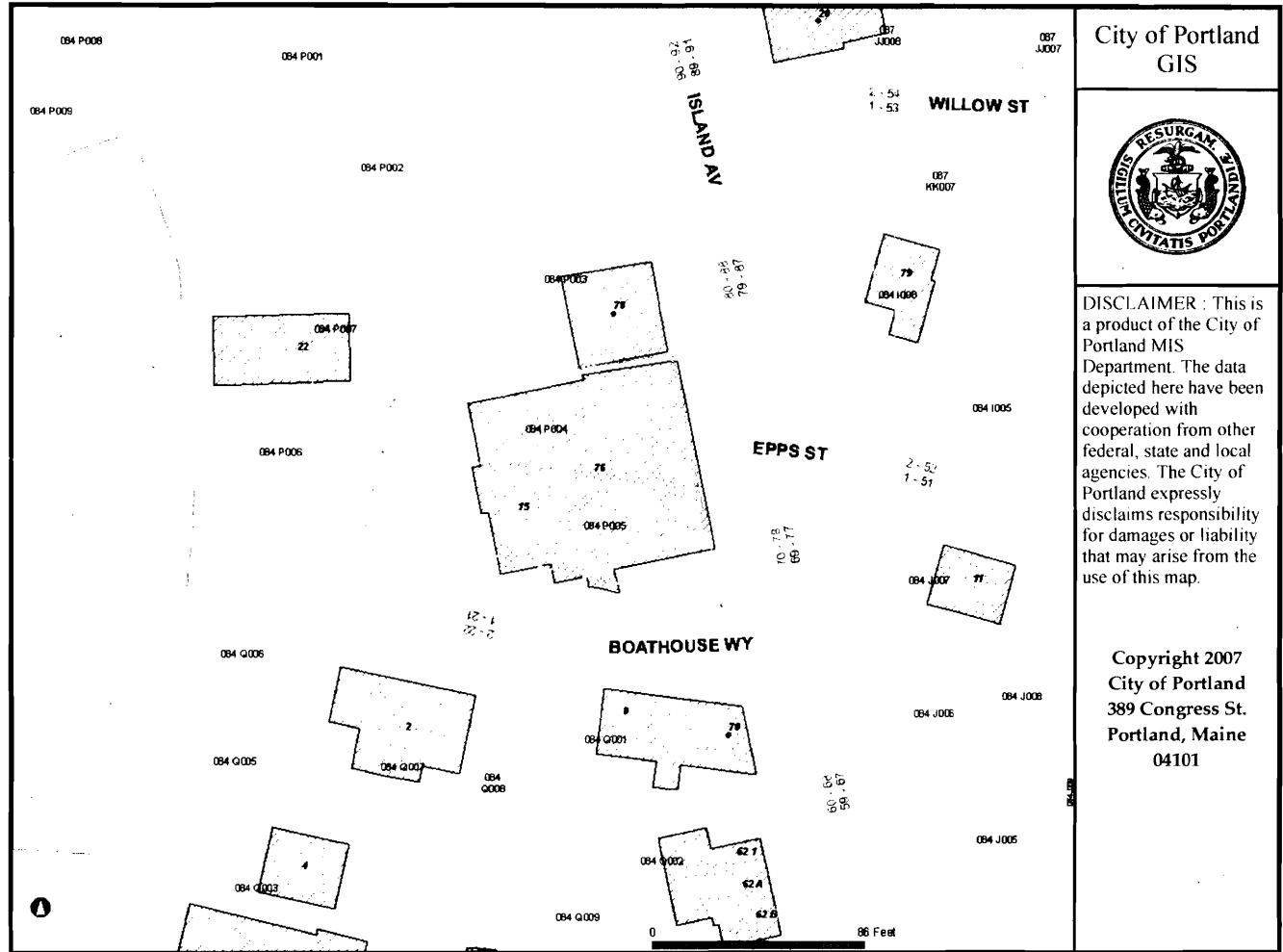
Inspector

*William P. ...*

*[Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

previous  
within microfiche



City of Portland  
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

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City of Portland  
389 Congress St.  
Portland, Maine  
04101

*I-B Zone*

**GENERAL NOTES:**

- The notes on the drawings are not intended to replace specifications. In addition to general notes. See specifications for requirements.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturers written instructions.
- The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

**DESIGN LOADS:**

- Building code: IBC (2003) International Building Code.
- Design Live Loads: (Ground Snow load = 50 psf)
  - Roof ..... 45 psf + drift as applicable
  - Residential Living areas ..... 40 psf
  - Common areas and corridors ..... 100 psf
  - Stairs & exit ways ..... 100 PSF
  - Storage areas ..... 125 PSF
- Design wind loads are based on exposure C using 100 mph basic wind speed.
- Seismic Design Utilizes a Bearing wall system: Light frame walls with shear panels - wood structure panels/sheet steel panels. Analysis Procedure shall be equivalent Lateral Force Procedure per IBC 2003.

**FOUNDATION NOTES:**

- Foundations have been designed with a presumptive soil bearing capacity of 2000 psf to be verified by the general contractor in the field.
- Interior spread footings and exterior strip footings shall be founded on undisturbed native soil or compacted structural fill.
- Exterior strip and spread footings shall be founded a minimum of 4'-0" below finished site grade.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
3 INCH	70-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5

**CONCRETE NOTES:**

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
  - a) 3000 psi for footings, frost walls & piers.
  - b) 4000 psi for retaining walls and retaining wall footings.
- All concrete shall be air entrained 4% to 6% per the specifications.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of the work. All accessories must be shown on the shop drawings. Submit (2) black line prints to the Engineer/Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6" minimum.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan. Anchor bolts at all bracing locations shall conform to ASTM A36.
- The general contractor shall be responsible for coordination of door bondout locations, slab depression & other required bondouts. Coordinate location of bondouts with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.

**STRUCTURAL STEEL NOTES:**

- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Ninth edition.
- Structural steel:
  - a) Structural steel shall conform to ASTM A-36.
  - b) Structural tubing shall conform to ASTM A-500 GR-B
  - c) Structural pipe shall conform to ASTM A-53, TYPE E OR S
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.
- Structural Steel Primer Paint. TNEPEC 10-99 Alkyd rust inhibitive primer, 2.0 to 3.5 mils dry thickness, or approved alternate.
- Structural Steel Top Coat for steel permanently exposed to view. TNEPEC series 2 TNEPEC-GLOSS Enamel, 3.0 to 5.0 mils dry thickness, or approved alternate.

**TIMBER FRAMING:**

- All Timber framing shall be in accordance with the ATC timber construction manual or the national design specification (NDS) - latest edition
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
- Timber shall be southern yellow pine treated with ACQ water borne preservative in accordance with AWPA treatment C1 with 0.40 PCF retainage for items in contact with roofing, masonry or concrete with 0.60 PCF retainage for items in contact with earth.
- Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Provide Simpson H2.5 hurricane anchors where timber framing and/or trusses bear on bearing wall and beams.
- Nailing not specified shall conform with IBC 2003.
- Provide 3/4" thick APA rated floor sheathing fastened w/ construction adhesive and 10d ring shank nails @ 6" o.c. at panel edges and intermediate.

**L & L STRUCTURAL ENGINEERING SERVICES, INC.**  
 100 W. BOSTON ST. SUITE 100  
 PORTLAND, MAINE 04108  
 PHONE: (207) 767-4830  
 FAX: (207) 799-5432



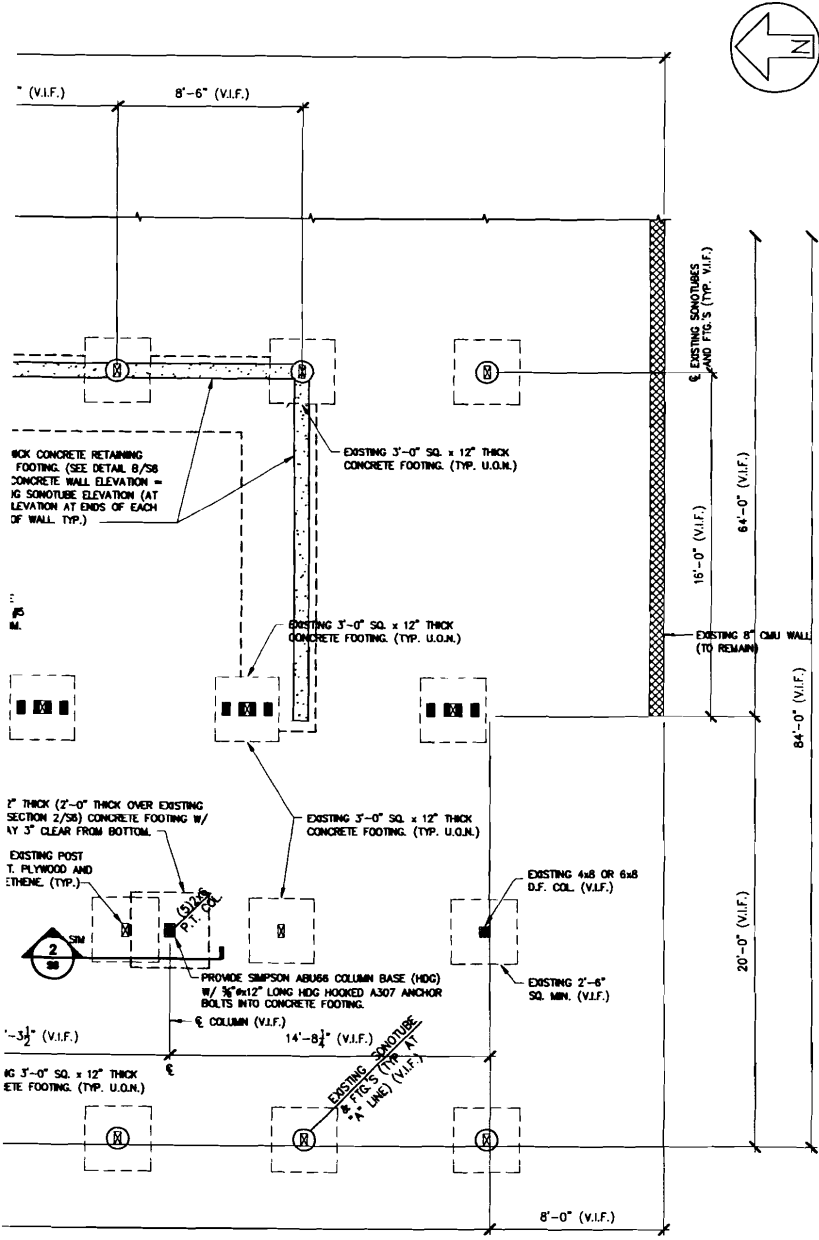
app'd	description	date	rev.

designed by: JHL	drawn by: KGP	checked by: JHL	scale: AS NOTED	date: 12/04/08	plot date: 12/04/08	project #: 28147
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**HANNIGAN RESIDENCE**  
 PEAKS ISLAND, MAINE  
 GENERAL NOTES

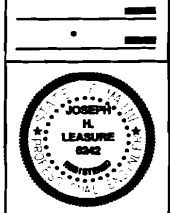
**S1**

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**HANNIGAN RESIDENCE**  
 PEAKS ISLAND, MAINE  
 FOUNDATION PLAN

**L & L STRUCTURAL**  
 ENGINEERING SERVICES, INC.  
 SIX O SURREY  
 SOUTH PORTLAND, MAINE 04105  
 PHONE: (207) 767-4830  
 FAX: (207) 799-5432



designed by:	checked by:	scale:	date:	plot date:	project #:
JHL	KSP, AKB	AS NOTED	12/04/08	12/04/08	28147

rev.	date	description	app'd

**S2**

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# HANNIGAN RESIDENCE PEAKS ISLAND, MAINE

## LOWER LEVEL FLOOR FRAMING PLAN

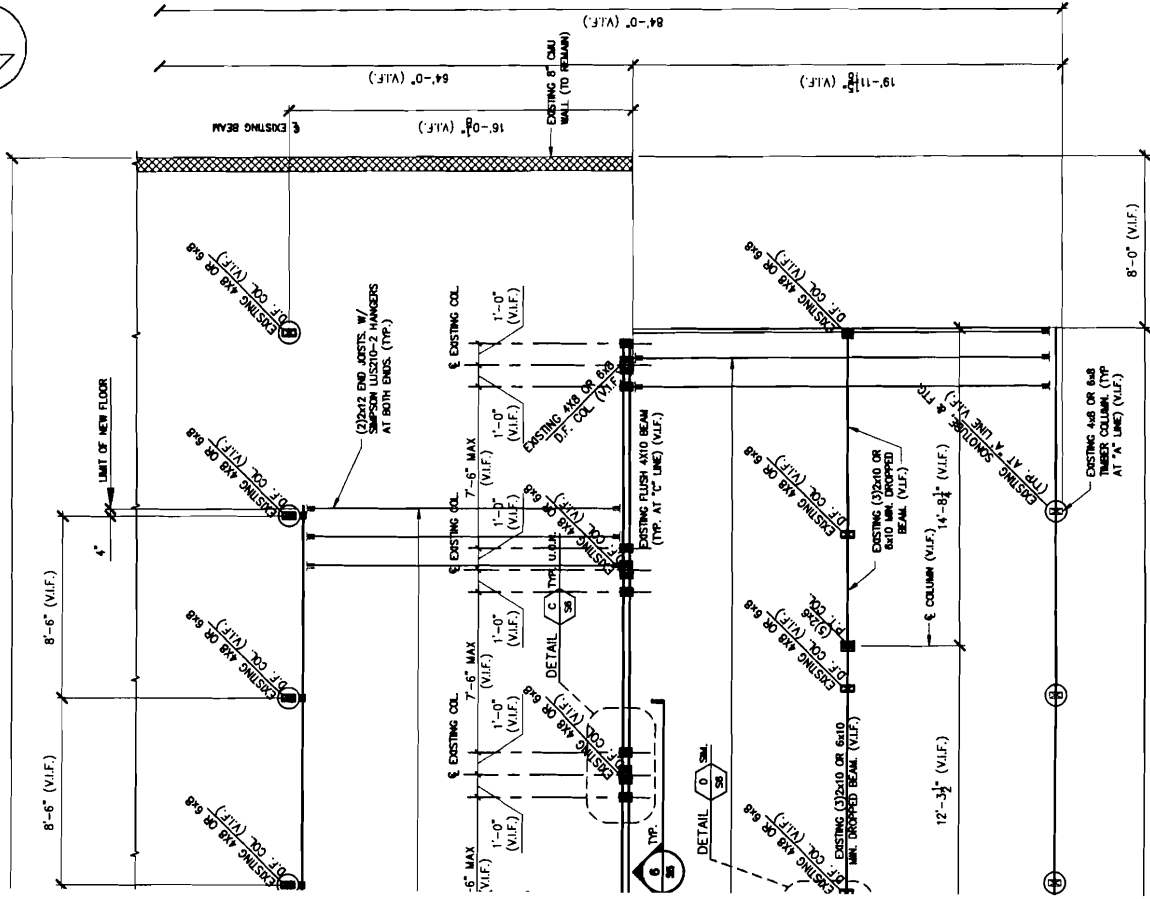
designed by: JHL
drawn by: KSP, AMB
checked by: JHL
scale: AS NOTED
date: 12/04/08
plot date: 12/04/08
project #: 28147

rev.	date	description	appr'd

PHONE: (207) 767-4830  
FAX: (207) 799-5432

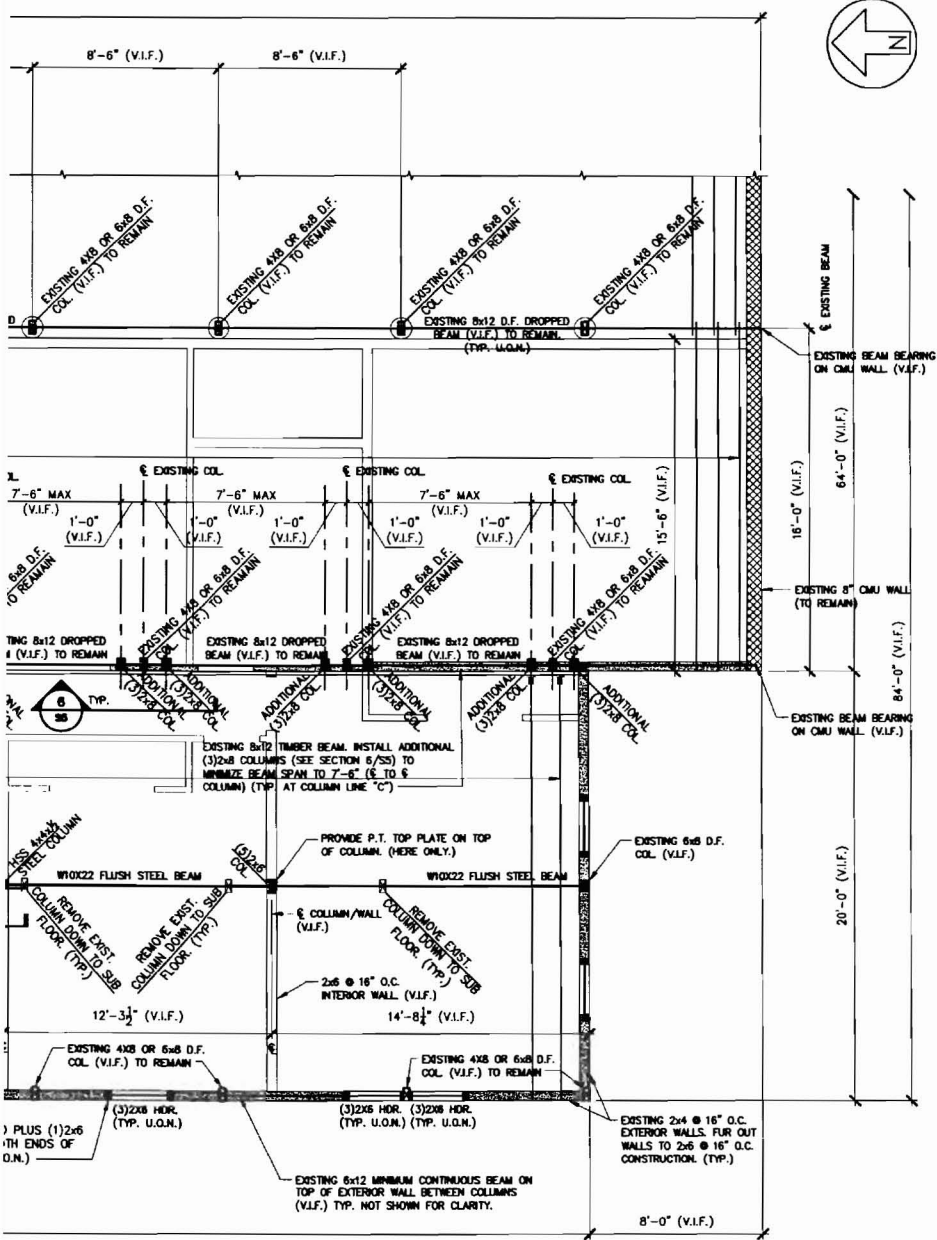


L & L STRUCTURAL  
ENGINEERING SERVICES, INC.  
SOUTH PORTLAND, MAINE 04106  
SIX O STREET



AN

STORE



FRONT OF RESIDENCE

OCEAN

L & L STRUCTURAL  
ENGINEERING SERVICES, INC.  
SIX O SPRING  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
FAX: (207) 799-5432



app'd	description	date	rev.
designed by: JHL			
drawn by: KSP, AKB			
checked by: JHL			
scale: AS NOTED			
date: 12/04/08			
plot date: 12/04/08			
project #: 23147			

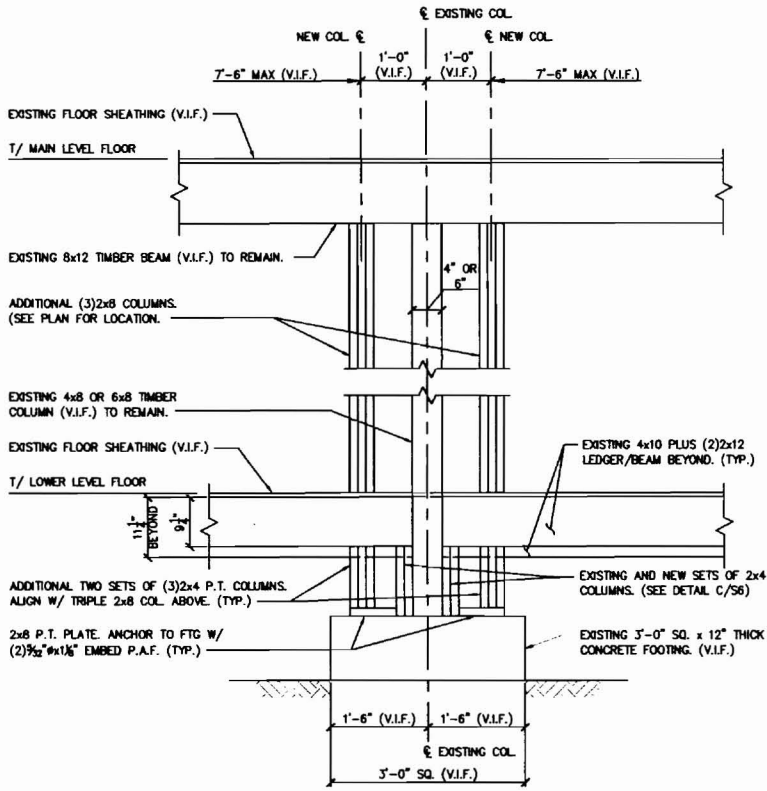
HANNIGAN RESIDENCE  
PEAKS ISLAND, MAINE

MAIN LEVEL FLOOR FRAMING PLAN

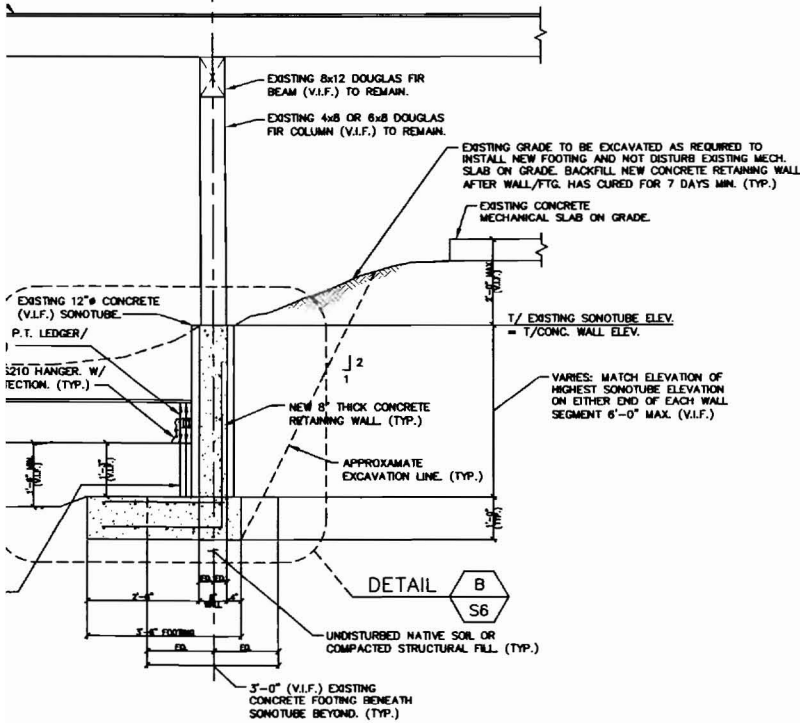
S4

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**SECTION 6**  
3/4" = 1'-0" S2.S3



**DETAIL B**  
S6

**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.  
SIX D STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
FAX: (207) 799-5432



app'd	description	date

rev.	date

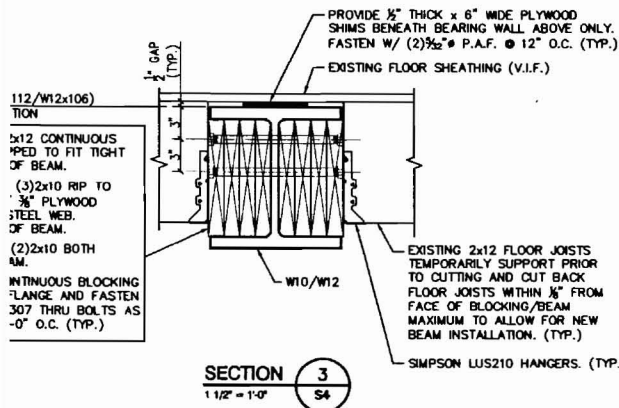
designed by: J.L.	drawn by: RSP, AMB
checked by: J.L.	scale: AS NOTED
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project # 28147	

DEC 11

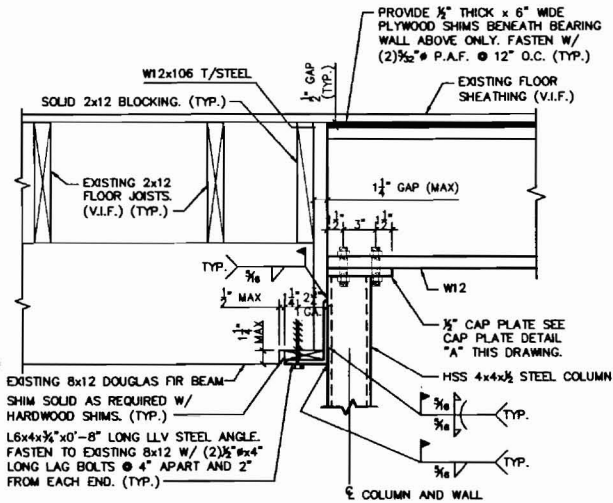
**HANNIGAN RESIDENCE**  
PEAKS ISLAND, MAINE  
SECTIONS AND DETAILS

**S5**

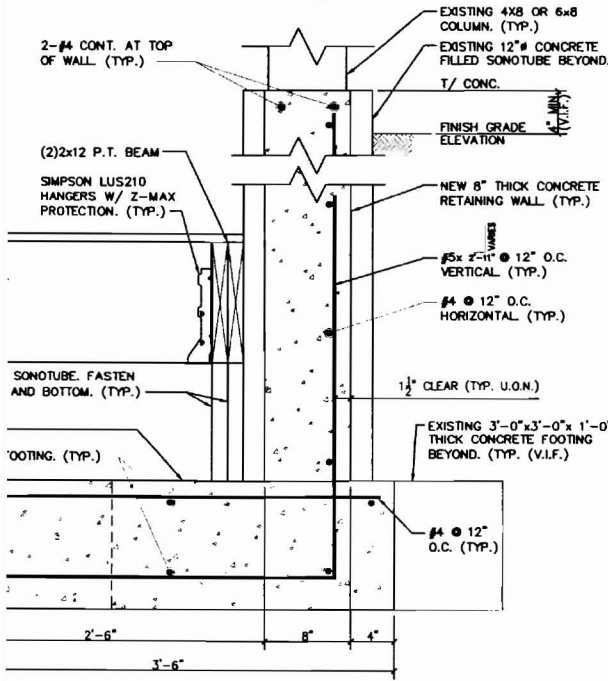
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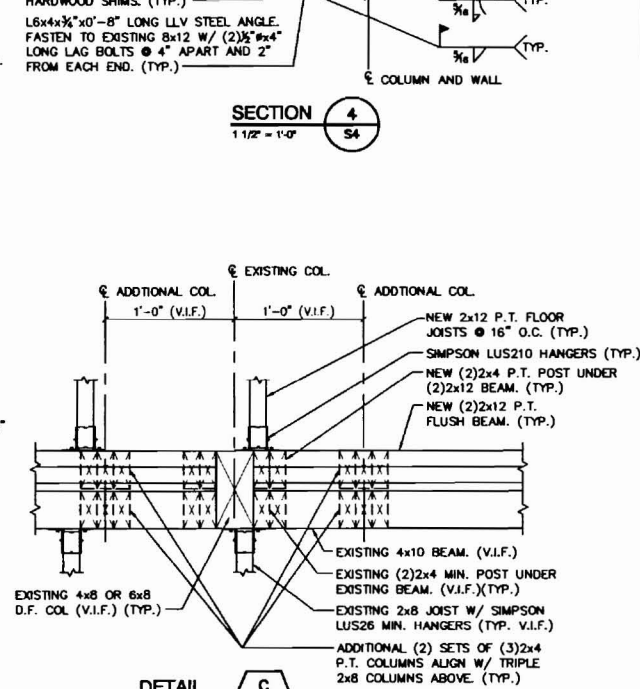
**SECTION 3**  
1 1/2" = 1'-0"



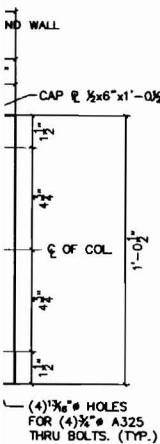
**SECTION 4**  
1 1/2" = 1'-0"



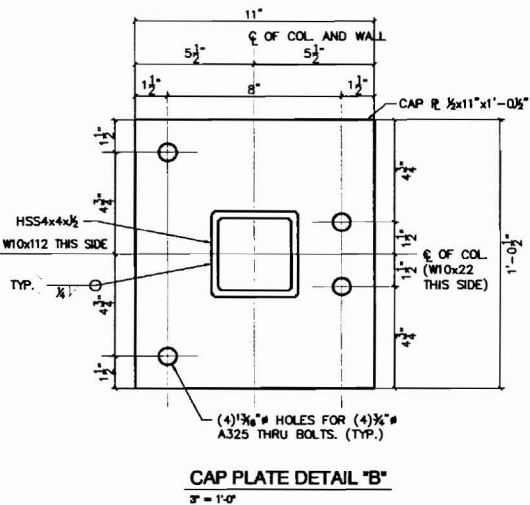
**DETAIL B**  
1 1/2" = 1'-0"



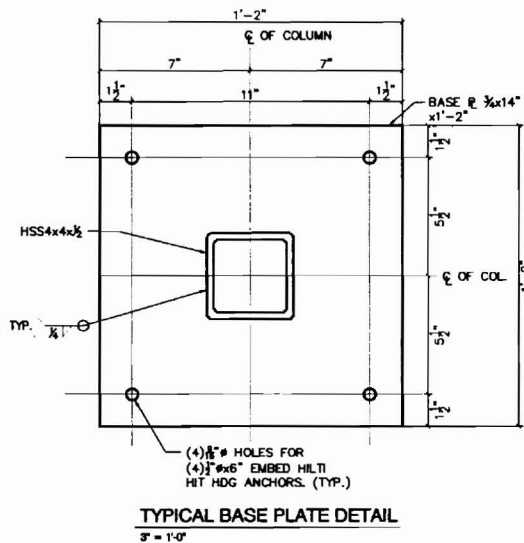
**DETAIL C**  
1 1/2" = 1'-0"



**AIL 'A'**



**CAP PLATE DETAIL 'B'**  
3" = 1'-0"



**TYPICAL BASE PLATE DETAIL**  
3" = 1'-0"

**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.  
518 O. STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
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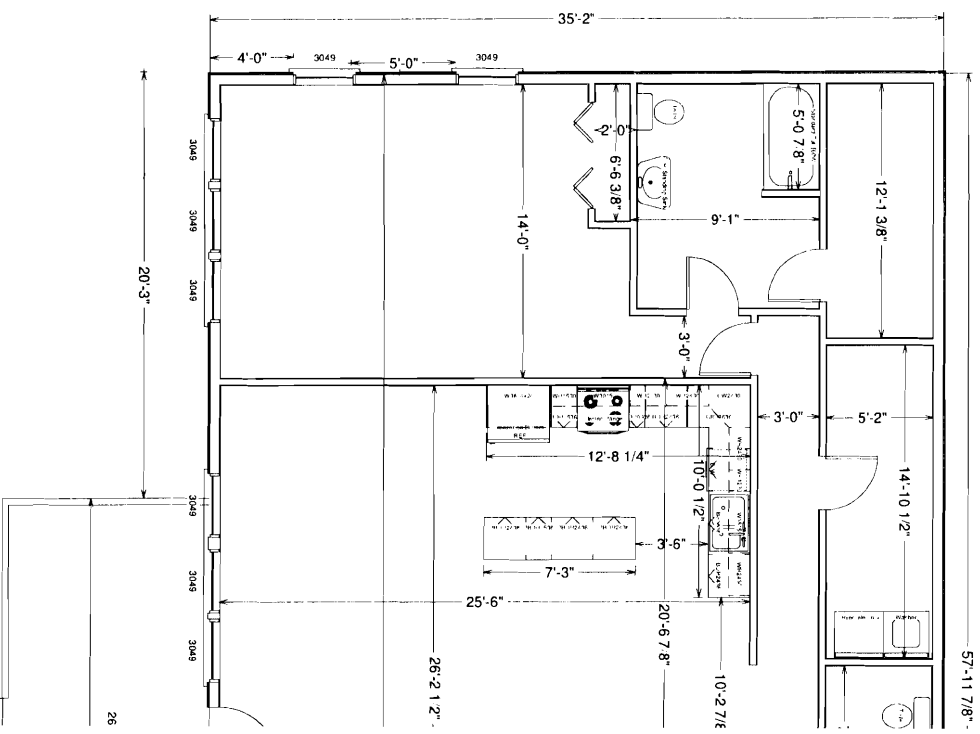
designed by	checked by	drawn by	date	description
JHL	AKB	MSB	12/04/08	

**HANNIGAN RESIDENCE**  
PEAKS ISLAND, MAINE  
SECTIONS AND DETAILS

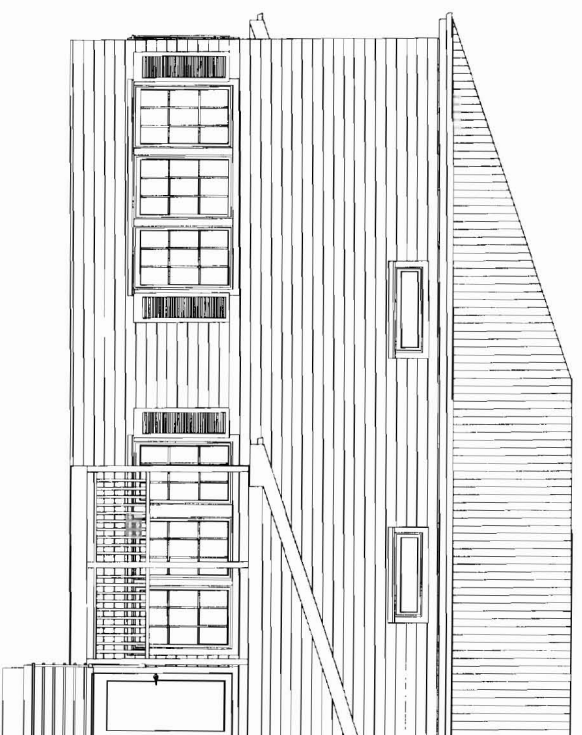
**S6**

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**Proposed New**



*Handwritten signature and initials*



***McTigue Construction***

**Existi**

Existing Main Building Foot Print

*(Grocery)*

*12/17/08  
No Addition outside  
of the existing shell*

Proposed Addition

*per Bobby  
McTigue  
All work will  
be done in this area*

Existing Residents 15 Boat House Way

16'-0"

20'-4"

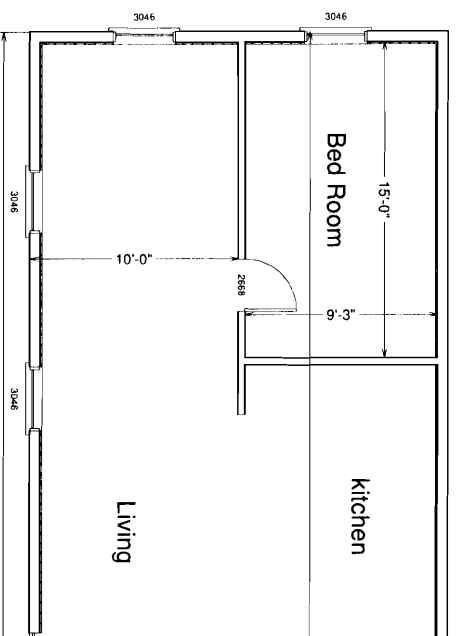
Existing Deck

Proposed New Roof Over Deck

**McTigue Construction**

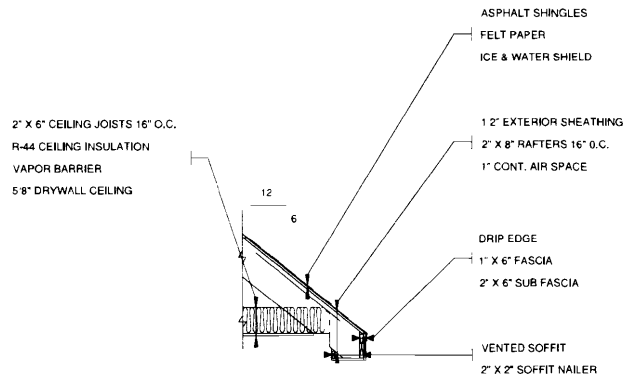
*only 10*

*Existing Layout*



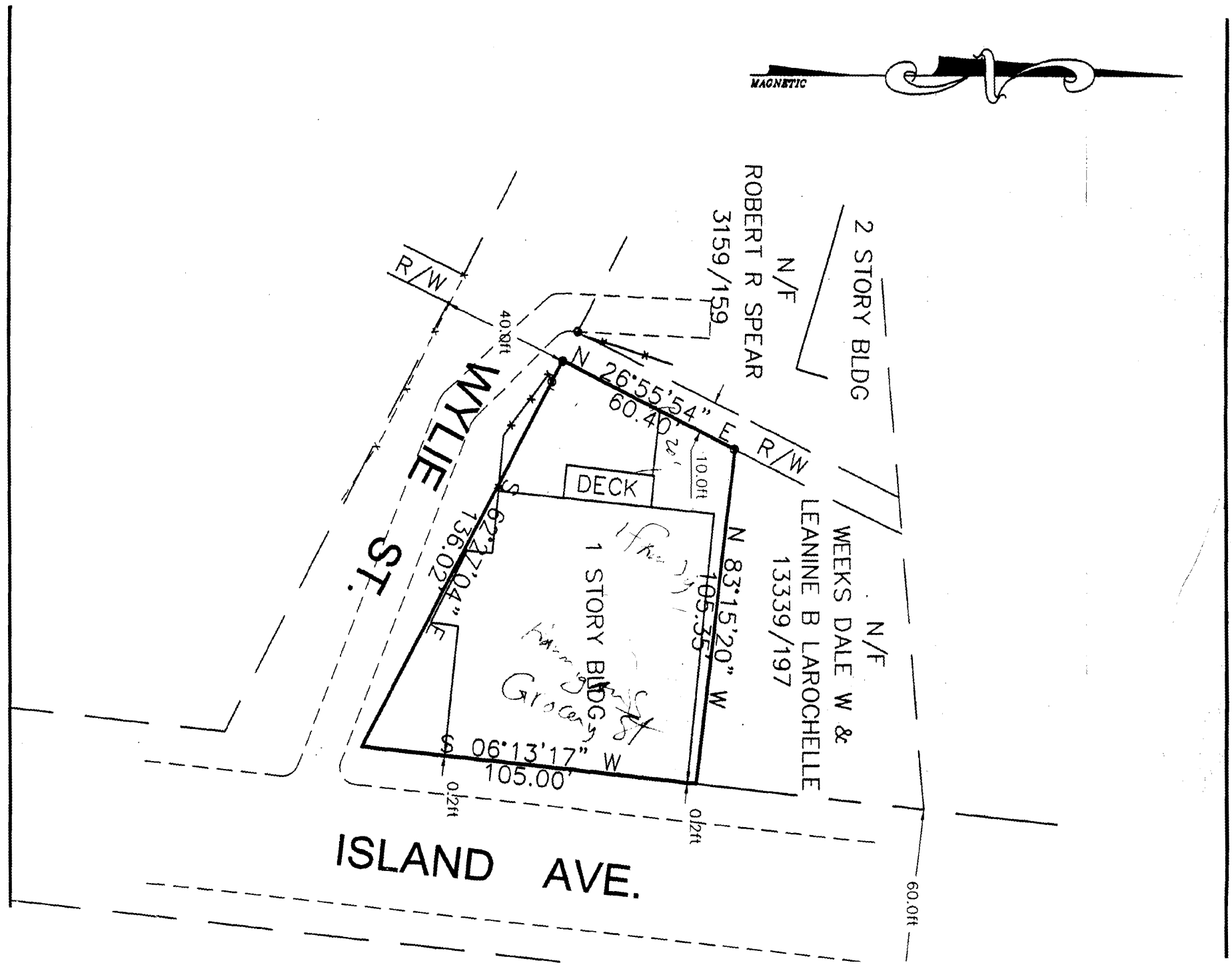
*McTigue Construction*

**Framing**



ROOF SYSTEMS - 2" X 8" RAFTER, 6/12 PITCH, 12" OVERHANG

RHF 08 06P 12



2 STORY BLDG

N/F  
ROBERT R SPEAR  
3159/159

N/F  
WEEKS DALE W &  
LEANINE B LAROCHELLE  
13339/197

DECK

1 STORY BLDG

*Family Groceries*  
*Main St*

WYLIE ST.

ISLAND AVE.

60.0ft

40.0ft

10.0ft

0.2ft

0.2ft

N 26°55'54" E  
60.40'

N 83°15'20" W  
105.35'

06°13'17" W  
105.00'

R/W

R/W