

01-0645

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

### All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 78 Island Avenue, Peaks Island ME 04108

Total Square Footage of Proposed Structure 544	Square Footage of Lot 7,192
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Tax Assessor's Chart, Block & Lot Number Chart# 84 Block# P Lot# 3	Owner: Jeannine LaRoche Dale Weeks 182 Two Lights Road Cape Elizabeth, ME 04107	Telephone#: 774-3550
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Lessee/Buyer's Name (If Applicable) Happy Cooking, Inc.	Owner's/Purchaser/Lessee Address: PO Box 2, Peaks Island ME	Cost Of Work: \$2478 Fee: \$42.00
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Current use:

If the location is currently vacant, what was prior use: Restaurant  
Approximately how long has it been vacant: 3 yrs

Proposed use: Restaurant

Project description: Deck Rebuild and renovation

Contractor's Name, Address & Telephone:  
John Kiely, Island Avenue, Peaks Island 04108 766-2026

Applicants Name, Address & Telephone:  
Chris Moore 5 Ocean View Terrace, Peaks Island, ME 04108 766-0045

Who should we contact when the permit is ready: Chris Moore  
Telephone: 766-0045 / 766-5578

If you would like the permit mailed, what mailing address should we use:

CH  
Rec'd By: CH



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspection**

6/4 20 01

Received from Chris Moore a fee

of Forty two <sup>xv</sup> /100 Dollars \$ 42.00

for permit to Rebuild existing deck

at 78 Island Ave Est. Cost \$ 2,478.00

CBL# 84-P-3  
 CK# 1015

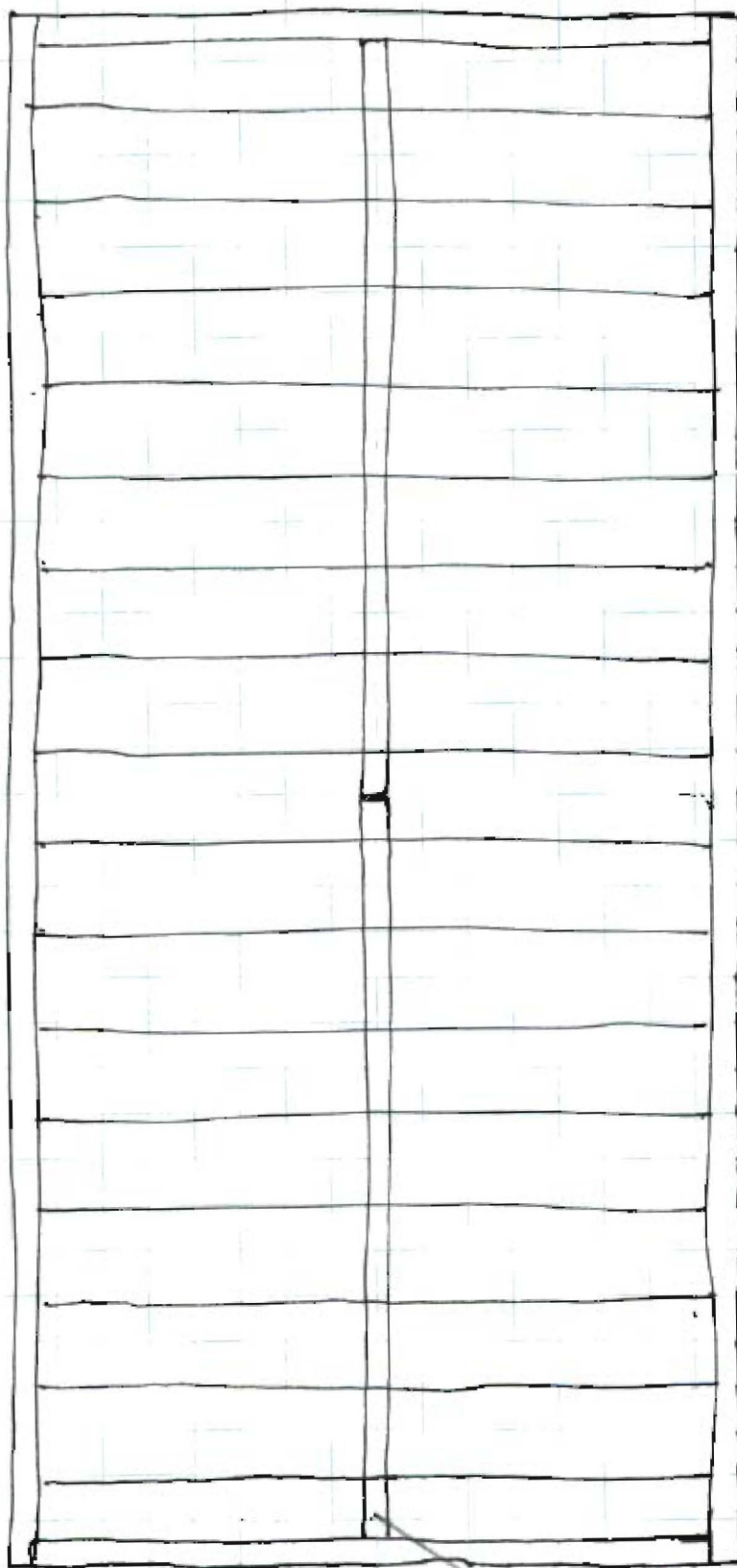
\_\_\_\_\_  
 Inspector of buildings

Per CH N

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
 YELLOW - Office Copy  
 PINK - Auditors Copy



34'

Deck will be  
replaced at  
exact size  
as before.

16'

self-closing doors and the equivalent of  $\frac{1}{4}$ -inch-thick wired glass in steel frames.

**1020.4 Exit discharge lobby:** Where an *exit stairway* discharges into an interior exit discharge lobby located at the level of exit discharge, the story containing the exit discharge lobby shall be equipped throughout with an automatic sprinkler system installed in accordance with Section 906.2.1 or 906.2.2. Opening protectives shall be required in accordance with Table 717.1 where an enclosed *exit stairway* discharges into an exit discharge lobby.

**Exception:** An automatic sprinkler system is not required in portions of the story that are separated from the exit discharge lobby by fire separation assemblies (see Section 709.0) having a fire-resistance rating of not less than that required for the *exit stairways* that discharge into the exit discharge lobby.

**1020.5 Width and height:** The clear width of exit passageways, exit discharge vestibules and exit discharge lobbies shall not be less than the width required for the capacity of the *exit stairway* leading thereto and all required *exit* doorways opening into the exit passageway, exit discharge vestibule or exit discharge lobby. Exit passageways, exit discharge vestibules, and exit discharge lobbies shall have a minimum width of 44 inches (1118 mm) and a minimum clear ceiling height of 8 feet (2438 mm).

**1020.6 Limitations:** Not more than 50 percent of the required number of *exits*, nor more than 50 percent of the required exit capacity, shall discharge through areas on the level of exit discharge.

## SECTION 1021.0 GUARDS

**1021.1 Design and construction:** Where required by the provisions of Sections 406.5, 408.3.2, 1005.5, 1014.7, 1016.5 and 1825.5, guards shall be designed and constructed in accordance with the requirements of this section and Section 1606.4.

**1021.2 Height:** The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the tread or adjacent walking surface.

**Exception:** Guards along open-sided floor areas and along stairs located less than 30 inches (762 mm) above the floor or grade below shall not be less than 36 inches (914 mm) in height.

**1021.3 Opening limitations:** In occupancies in Use Groups A, B, E, H-4, I-1, I-2, M and R, and in *public garages* and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4 inches (102 mm) cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

### Exceptions

1. The triangular openings formed by the riser, tread and bottom rail at the open side of a *stairway* shall be of a maximum size such that a sphere 6 inches (152 mm) in diameter cannot pass through the opening.
2. At elevated walking surfaces for access to and utilization of electrical, mechanical, or plumbing systems or equipment, guards shall have balusters or be of solid

materials such that a sphere with a diameter of 21 inches (533 mm) cannot pass through any opening.

In occupancies in Use Groups I-3, F, H-1, H-2, H-3, S (other than *public garages* and open parking structures), and along open-sided floor areas located less than 30 inches (762 mm) above the floor or grade below, balusters, horizontal intermediate rails or other construction shall not permit a sphere with a diameter of 21 inches (533 mm) to pass through any opening.

**1021.4 Railings:** Metal or other approved noncombustible railings shall be provided on balconies and galleries as prescribed in Sections 1021.4.1 through 1021.4.3.

**1021.4.1 At fascia:** Railings shall be provided at the fascia of boxes, balconies and galleries and shall not be less than 26 inches (660 mm) in height; at the end of aisles extending to the fascia for the full width of the aisle and shall not be less than 36 inches (914 mm) in height; and at the foot of steps for the full width of the steps and shall not be less than 42 inches (1067 mm) in height.

**1021.4.2 At cross aisles:** Railings shall be provided along cross aisles, and shall not be less than 26 inches (660 mm) in height except that railings are not required where the backs of the seats along the front of the aisles project 24 inches (610 mm) or more above the floor of the aisle.

**1021.4.3 Successive tiers:** Where seatings are arranged in successive tiers, and where the height of rise between *platforms* exceeds 18 inches (457 mm), railings not less than 26 inches (660 mm) in height shall be provided along the entire row of seats at the edge of the *platform*.

## SECTION 1022.0 HANDRAILS

**1022.1 General:** Where required by the provisions of Sections 1012.5, 1013.0, 1014.6.6.1, 1014.7 and 1016.5, handrails shall be designed and constructed in accordance with this section and Section 1606.4.

**1022.2 Handrail details:** Handrails shall be continuous, without interruption by newel posts, other structure elements or obstructions. A handrail and any wall or other surface adjacent to the handrail shall be free of any sharp or abrasive elements. The clear space between the handrail and the adjacent wall or surface shall not be less than  $1\frac{1}{2}$  inches (38 mm), except that the clear space shall not be less than  $2\frac{1}{4}$  inches (57 mm) for *stairways*. Edges shall have a minimum radius of  $\frac{1}{8}$  inch (3 mm).

**Exception:** Handrail brackets or balusters attached to the bottom surface of the handrail and which do not project horizontally beyond the sides of the handrail within 1 inch (25 mm) of the bottom of the handrail shall not be considered to be obstructions.

**1022.2.1 Projection:** Handrails shall not project more than  $3\frac{1}{2}$  inches (89 mm) into the required passageway, aisle, *corridor* or ramp width, and not more than  $4\frac{1}{2}$  inches (114 mm) into the required *stairway* width. Handrails shall not reduce the clear width of a ramp to less than 36 inches (914 mm).

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**PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

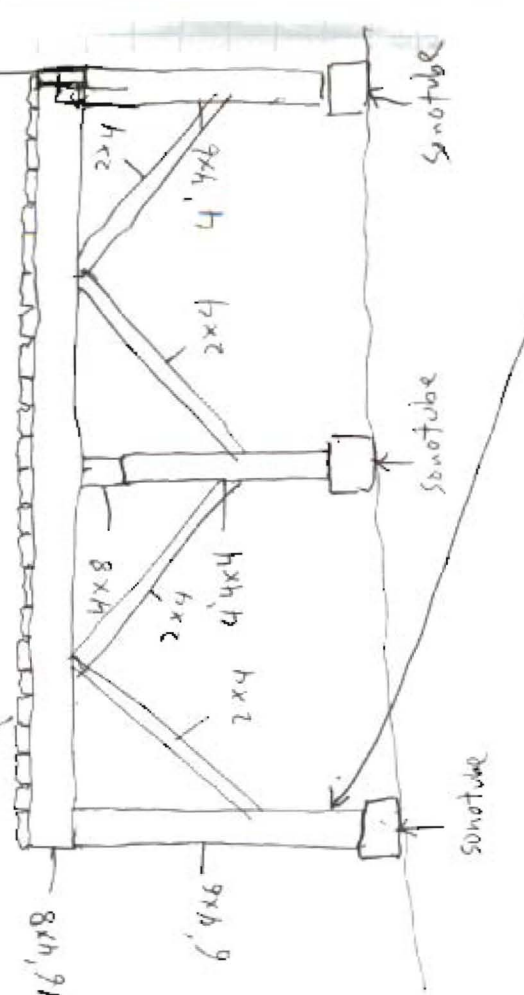
Signature of applicant:



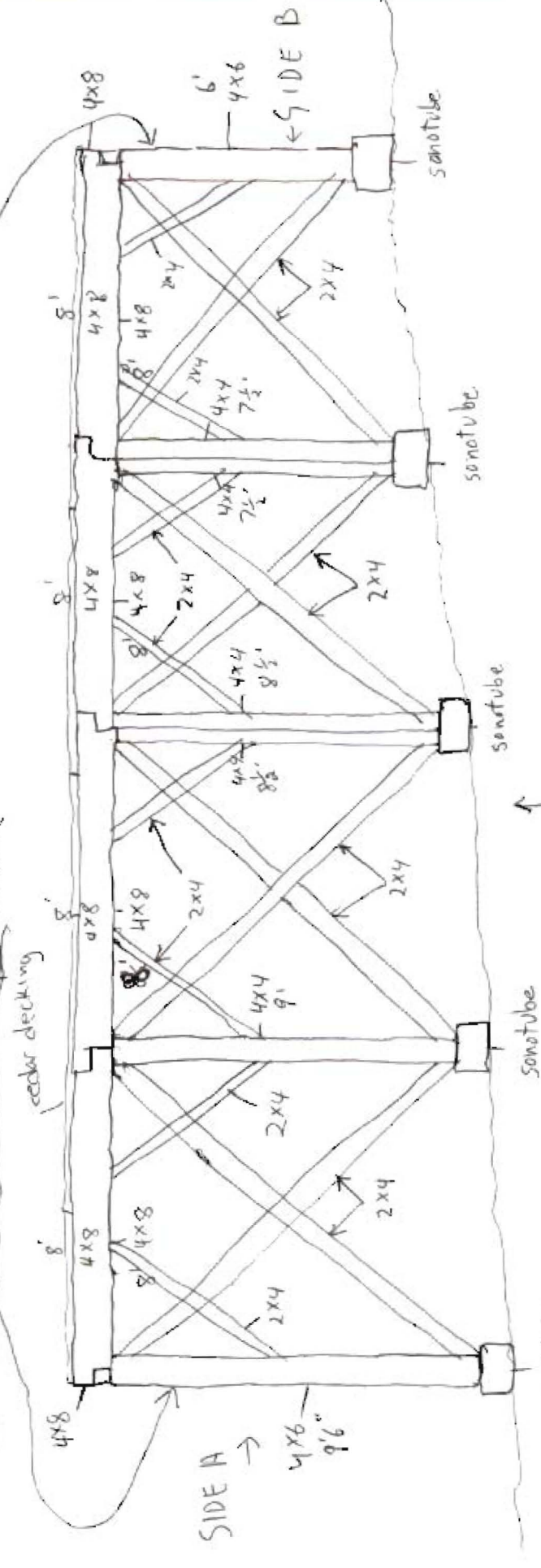
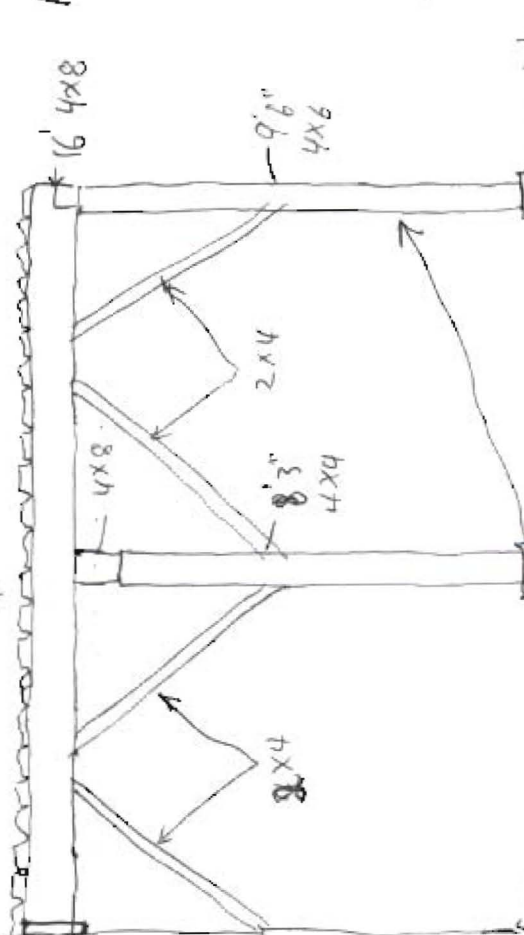
Date: June 4, 2001

Bldg

cedar decking SIDE VIEW 'B'



SIDE VIEW 'A' cedar decking



SIDE A → 4x6 9' 6"

This repeats at center 4x8 (same framing structure)

HAPPY COOKING DECK FRAMING FRONT VIEW

Happy Cooking, Inc.  
 78 Island Avenue  
 Peaks Island, ME  
 766-5578  
 Chris Moore

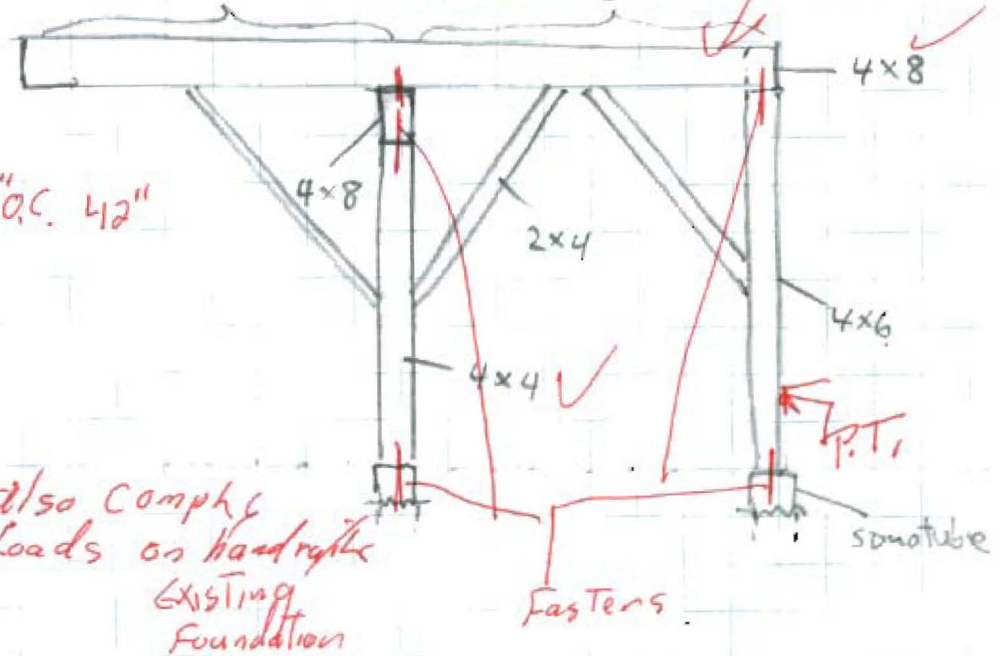
Handrail at 42" ✓  
 with balusters  
 6" on center

Handrails  
 sec. 1021.0  
 side view  
 4" o.c. 42"

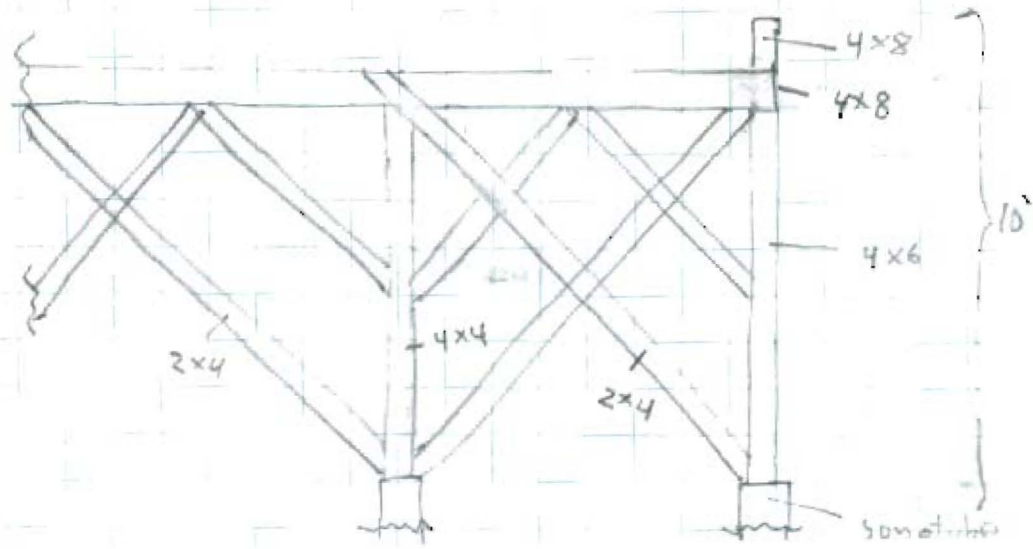
Guard rails - shall also comply  
 with section 1606.4 Loads on handrails  
 guards, grab bars -  
 Existing Foundation

### Deck Construction

shall comply with  
 Table 1601. For Loads  
 decks same as occupancy  
 60 PSF. Fix seats  
 100 PSF, Dance floor  
 60 PSF on  
 100 PSF.



Front view



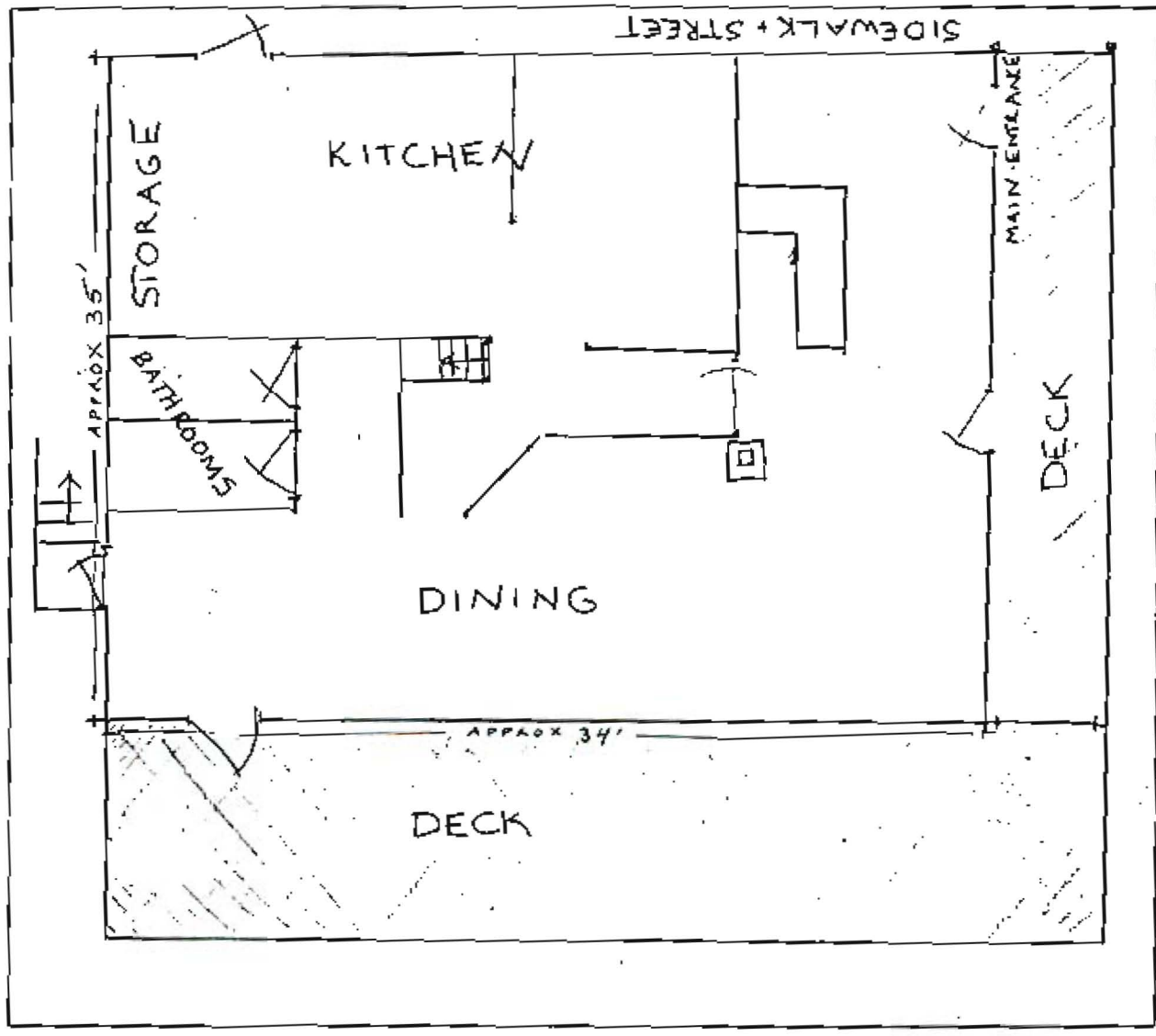
Red = Same



## SUPPLEMENTAL APPLICATION FORM ON-PREMISE DIAGRAM

In an effort to clearly define your licensed premise and the areas that consumption and storage of liquor is allowed, The Bureau of Liquor Enforcement is requiring all applicants to submit a diagram of the premise to be licensed in addition to a completed license application.

Diagrams should be submitted on this form and should be as accurate as possible. Be sure to label the areas of your diagram including entrances, office area, kitchen, storage areas, dining rooms, lounges, function rooms, decks and all areas that you are requesting approval from the Bureau for liquor consumption.



OFFICES LOCATED AT: 397 WATER STREET GARDINER, MAINE 03345

(207) 624-8745 (Voice)

(207) 624-4478 (TDD)

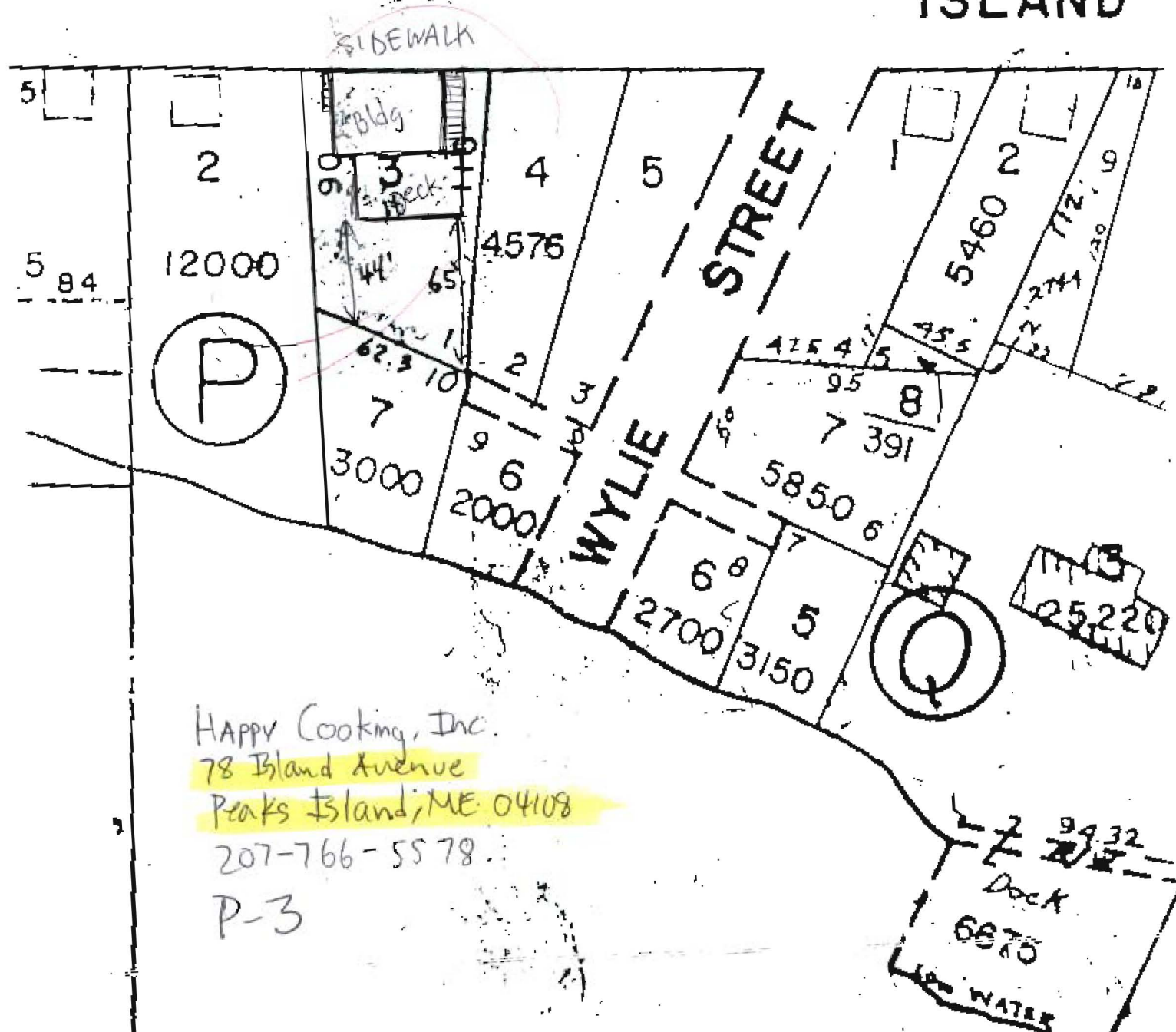
(207) 624-8767 (Fax)



SHEET 87

EPPS

ISLAND



Happy Cooking, Inc.  
 78 Island Avenue  
 Peaks Island, ME 04108  
 207-766-5578

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