

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 040043

This is to certify that Casey Paul J &/Thompson & Johnson Woodworkers

has permission to Finish basement to create a family room install a spiral stair

AT 47 New Island Ave 084 N032001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in.
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Jeanie Burke 1/27/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0043	Issue Date: JAN 28 2004	CEL: 084 N032001
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Location of Construction: 47 New Island Ave	Owner Name: Casey Paul J &	Owner Address: 47 New Island Ave	Phone: 766-5921
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: IK-2

Past Use: Single Family	Proposed Use: Single Family w/amendment to permit # 03-0218 to finish basement	Permit Fee: \$111.00	Cost of Work: \$10,000.00	CEO District: 1
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Proposed Project Description: Finish basement to create a family room, install a spiral stair	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB 602A 1999
	Signature:	Signature: JMB 1/27/04

Permit Taken By: jmb	Date Applied For: 01/15/2004	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: JMB 1/27/04</p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date:</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: JMB</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0043	Date Applied For: 01/15/2004	CBL: 084 N032001
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Location of Construction: 47 New Island Ave	Owner Name: Casey Paul J &	Owner Address: 47 New Island Ave	Phone: () 766-5921
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family w/amendment to permit # 03-0218 to finish basement	Proposed Project Description: Finish basement to create a family room, install a spiral stair
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 01/27/2004
Note: **Ok to Issue:**
 1) All conditions apply from original permit # 03-0218

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 01/27/2004
Note: 1/26/04 received revised plan due to head room issues in the basement - ok to issue **Ok to Issue:**
 1) Separate permits are required for any electrical or plumbing work.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>47 NEW ISLAND AVE</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot <u>4450 SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>84</u> Block# <u>N</u> Lot# <u>32</u>	Owner: <u>CASEY PAUL J & DENISE GAIL</u>	Telephone: <u>207-766-5921</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>T THOMPSON JOHNSON WOODWORKS</u>	Cost Of Work: \$ <u>10,000</u> Fee: \$ <u>111.00</u>
Current use: <u>SINGLE FAMILY</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>SFH</u>		
Project description: <u>AMENDMENT TO PERMIT 03-0218 TO FINISH BASEMENT</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>RACHEL COWLEY</u>		
Mailing address: <u>THOMPSON JOHNSON WOODWORKS 115 ISLAND AVE. PEAKS ISLAND, ME 04108</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Paul J. Casey</u>	Date: <u>1-15-04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**

Metal BOCA / UBC Code Conforming Spiral Stair Kits

Please Note: Be sure to check your local building codes for any special stair requirements. If your local building code requires 1999 BOCA National Building Code, 1997 UBC (Uniform Building Code), or 1995 CABO Building Code specifications for spiral stairs, we offer conforming Spiral Stair Kits in 5'0", 5'6", & 6'0" diameters. (Attention California Residents: L.A. Fabricator License #1150, L.A. City Standard Plan #111)

BOCA / UBC Code Conforming Metal Spiral Stair Kits Contain:

Center pole, round base plate, appropriate number of 30° treads (closed tread ends on 5'6" & 6'0" diameter Kits), one 90° landing, landing railing, one railing spindle per riser (plus starting spindle base plate), triple in-between spindles per tread, 1½" round aluminum tube handrail coil (1½" round aluminum tube handrail coil on UBC models), vinyl center pole cap, all hardware required for assembly, installation manual, and installation video featuring "The Furniture Guys". Steel components primed black.

Thompson Johnson Woodworks

115 Island Avenue
Peaks Island, ME 04108

ADDENDUM
SUBMISSION

Layouts for BOCA / UBC Code Conforming Metal Spiral Stair Kits

The 5'0", 5'6", & 6'0" diameter BOCA / UBC Conforming Metal Spiral Stair Kits utilize 30° treads.

Stair Diameter	Minimum Finished Well Opening	Clear Walk Space Between Pole and Rail	Square Landing Size
5'0"	5'2" x 5'2"	2'2½"	2'7" x 2'7"
5'6"	5'8" x 5'8"	2'5½"	2'10" x 2'10"
6'0"	6'2" x 6'2"	2'8½"	3'1" x 3'1"

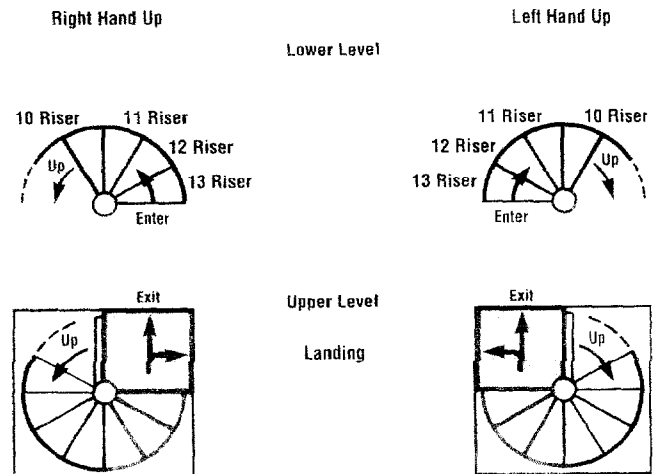
BOCA / UBC Conforming Kits can be ordered with a 90° square landing (see diagram at right) for the following floor-to-floor heights:

10 Riser Kit	7'5" to 7'11"
11 Riser Kit	8'0" to 8'8½"
12 Riser Kit	8'9" to 9'6"
13 Riser Kit	9'6½" to 10'3½"

Or you can order a BOCA / UBC Conforming Kit with a 60° landing (see diagrams below) for the following floor-to-floor heights:

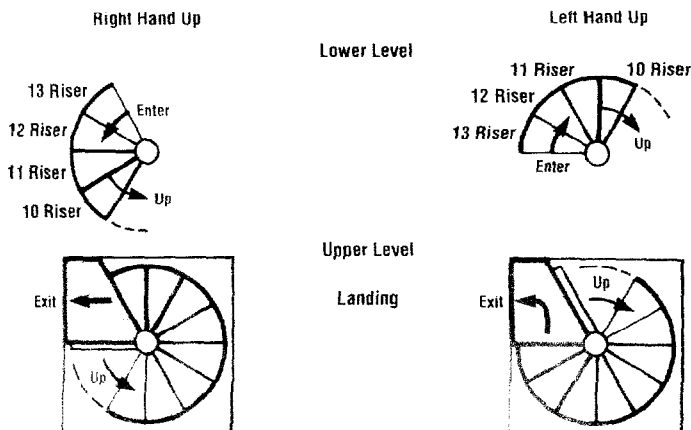
10 Riser Kit	6'8" to 7'5"
11 Riser Kit	7'4" to 8'1"
12 Riser Kit	8'0" to 8'9½"
13 Riser Kit	8'8" to 9'6½"

Layout for 90° Square Landing



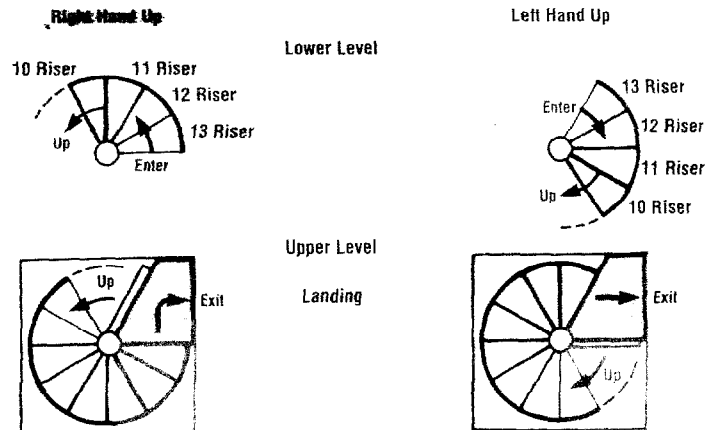
10 riser Kits contain 9 treads and 1 landing rotating 270°.
11 riser Kits contain 10 treads and 1 landing rotating 300°.
12 riser Kits contain 11 treads and 1 landing rotating 330°.
13 riser Kits contain 12 treads and 1 landing rotating 360°.

Layout for 60° #1 Landing



10 riser Kits contain 9 treads and 1 landing rotating 270°.
11 riser Kits contain 10 treads and 1 landing rotating 300°.
12 riser Kits contain 11 treads and 1 landing rotating 330°.
13 riser Kits contain 12 treads and 1 landing rotating 360°.

Layout for 60° #2 Landing



10 riser Kits contain 9 treads and 1 landing rotating 270°.
11 riser Kits contain 10 treads and 1 landing rotating 300°.
12 riser Kits contain 11 treads and 1 landing rotating 330°.
13 riser Kits contain 12 treads and 1 landing rotating 360°.

Metal Spiral Stair Kits

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, ME 04108

Please Note: Be sure to check your local code for any spiral stair requirements. See page 2 for BOCA / UBC Code conforming spiral information. **6" to 6'0" Standard Metal Spiral Stair Kits Contain:** center pole, round base plate, appropriate number of 30° treads (22½° treads on the 5'0", 5'6", & 6'0" diameter Kits), one 90° landing, landing railing, one railing spindle per riser (plus starting spindle base plate), 1¼" round polyethylene tube handrail coil, vinyl center pole cap, all hardware required for assembly, installation manual, and installation video featuring "The Furniture Guys". Steel components primed black.

6" & 7'0" Diameter Standard Metal Spiral Stair Kits Contain: center pole, round base plate, appropriate number of 22½° treads with closed tread ends, one 90° landing, landing railing, one railing spindle per riser (plus starting spindle base plate), triple in-between spindles per tread, 1¼" round aluminum tube handrail coil, vinyl center pole cap, all hardware required for assembly, installation manual, and installation video featuring "The Furniture Guys". Steel components primed black.

Standard Metal Spiral Stair Kit Dimensions

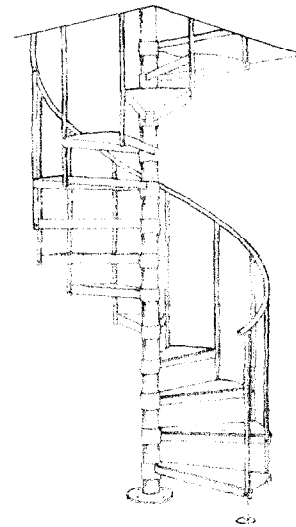
Stair Diameter	Minimum Finished Well Opening	Clear Walk Space Between Pole and Rail	Square Landing Size
3'6"	3'8" x 3'8"	1'6"	1'10" x 1'10"
4'0"	4'2" x 4'2"	1'9"	2'1" x 2'1"
4'6"	4'8" x 4'8"	2'0"	2'4" x 2'4"
5'0"	5'2" x 5'2"	2'2½"	2'7" x 2'7"
5'6"	5'8" x 5'8"	2'5½"	2'10" x 2'10"
6'0"	6'2" x 6'2"	2'8½"	3'1" x 3'1"
6'6"	6'8" x 6'8"	2'11½"	3'4" x 3'4"
7'0"	7'2" x 7'2"	3'2½"	3'7" x 3'7"

Stair Kits for Restricted Openings Dimensions

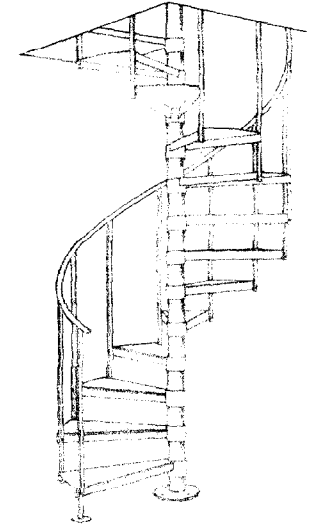
Stair Kit	Minimum Finished Well Opening	Clear Walk Space Between Pole and Rail
One-Half Turn	3'0" x 5'8"	2'5½"
Combination-4	3'0" x 6'0"	2'5½"
Combination-5	3'0" x 6'9"	2'5½"

Kits Can Be Assembled Right or Left Hand Up

Right Hand Up
Handrail is to your right from lower level.

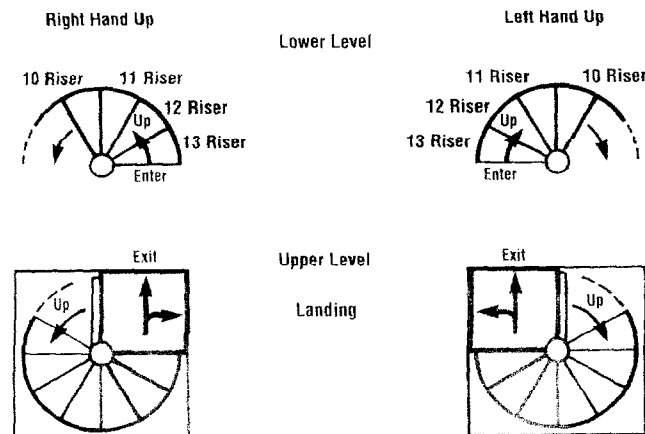


Left Hand Up
Handrail is to your left from lower level.



Layouts for 30° Tread Metal Spiral Stair Kits

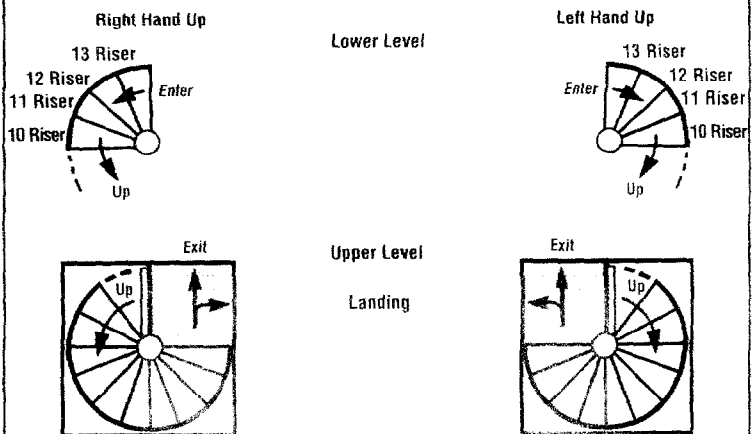
The 3'6", 4'0", & 4'6" diameter Standard Metal Spiral Stair Kits utilize 30° treads.



10 riser Kits contain 9 treads and 1 landing rotating 270°.

Layouts for 22½° Tread Metal Spiral Stair Kits

The 5'0", 5'6", 6'0", 6'6", & 7'0" diameter Standard Metal Spiral Stair Kits utilize 22½° treads.



10 riser Kits contain 9 treads and 1 landing rotating 202½°.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Rachel
315
04-43

Current Owner Information

Card Number 1 of 1
Parcel ID 084 N032001
Location 47 NEW ISLAND AVE
Land Use SINGLE FAMILY

Owner Address CASEY PAUL J & DENISE L GAAL JTS
 47 NEW ISLAND AVE
 PEAKS ISLAND ME 04108

Book/Page 12545/14
Legal 84-N-32
 ISLAND AVE
 PEAKS ISLAND
 4450 SF

Valuation Information

Land	Building	Total
\$57,650	\$66,990	\$124,640

Property Information

Year Built 1890	Style Old Style	Story Height 1.5	Sq. Ft. 1270	Total Acres 0.102		
Bedrooms 3	Full Baths 2	Half Baths	Total Rooms 5	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
06/01/1996	LAND + BLDING	\$110,000	12545-014
08/14/1992	LAND + BLDING	\$110,000	10226-328

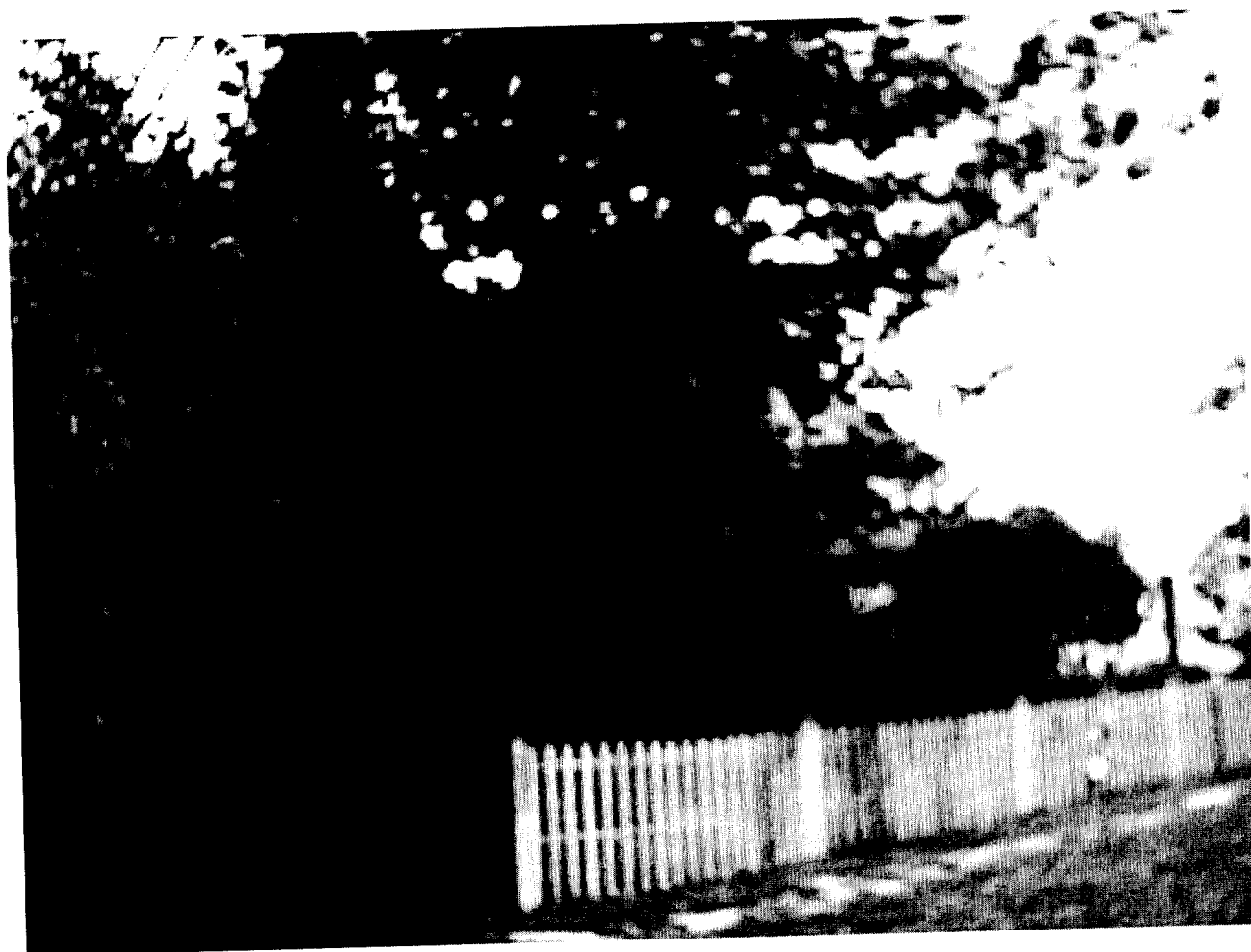
Picture and Sketch

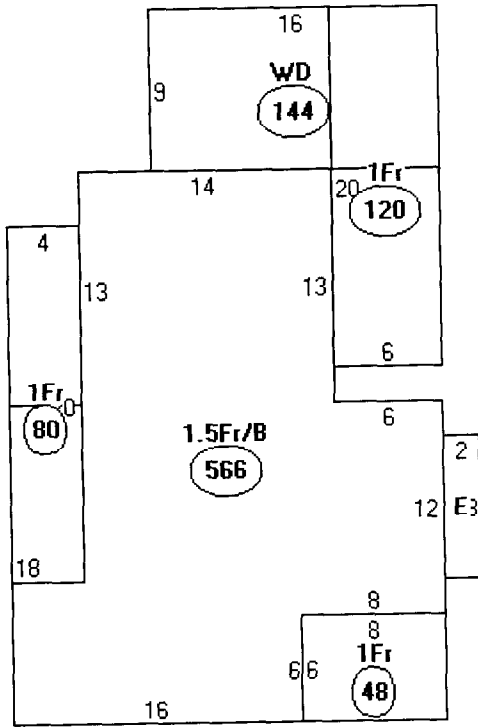
Picture Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!





Descriptor/Area

- A: 1.5Fr/B
566 sqft
- B: 1Fr
80 sqft
- C: WD
144 sqft
- D: 1Fr
120 sqft
- E: N/A
16 sqft
- F: 1Fr
48 sqft

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
207-766-5919
htmiso@maine.rr.com

facsimile transmittal

To: JEANNIE BURKE Fax: 874.8714

From: RACHEL CONLY Date: 1.26.04

Re: Pages: 3

CC:

Urgent For Review Please Comment Please Reply Please Recycle

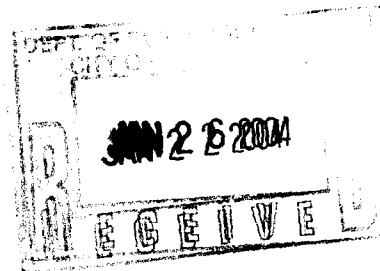
Hi JEANNIE.

I HAVE BUBBLED AREAS OF CHANGE.
PLEASE LET ME KNOW IF YOU NEED
ANYTHING ELSE.

THANK YOU.

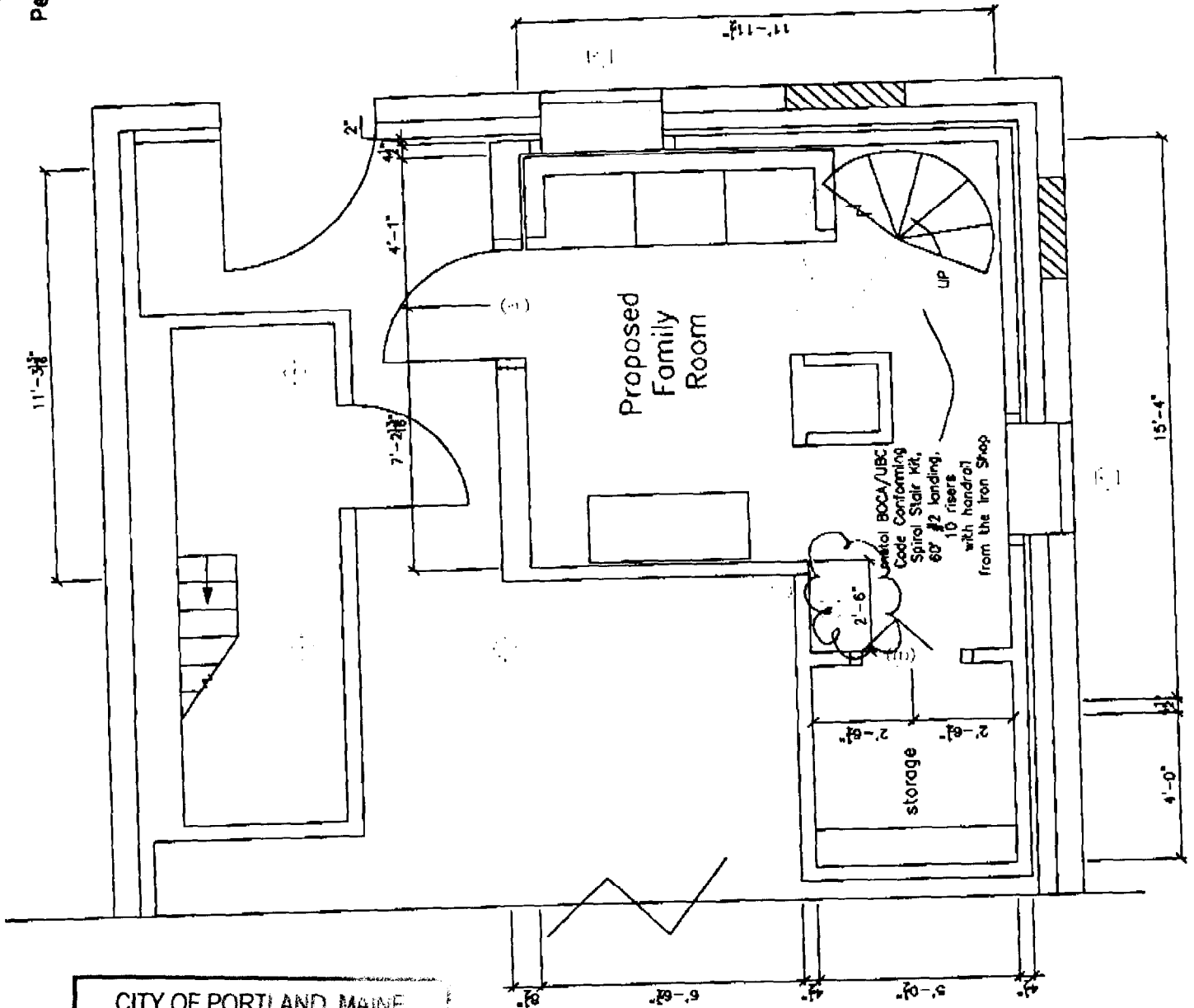
RACHEL.

JAN 26 2004



CONFIDENTIALITY NOTICE
THIS E-MAIL, INCLUDING ANY ATTACHMENTS IS THE INTELLECTUAL PROPERTY THOMPSON JOHNSON WOODWORKS. THIS EMAIL CONTAINS INFORMATION INTENDED FOR THE ORIGINAL DESIGNATED RECIPIENT(S) ONLY. THE UNAUTHORIZED USE, DISTRIBUTION, ADAPTATION, OR REPRODUCTION OF THE ENCLOSED OR ATTACHED INFORMATION IS PROHIBITED UNLESS OTHERWISE NOTED. IF YOU ARE NOT AN INTENDED RECIPIENT OR HAVE RECEIVED THIS IN ERROR, PLEASE DELETE THIS E-MAIL INCLUDING ANY ASSOCIATED ATTACHMENTS. NOTIFY THE SENDER VIA RETURN EMAIL, OR AT THE CONTACT INFORMATION ABOVE.

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, ME 04108



CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JAN 26 2004

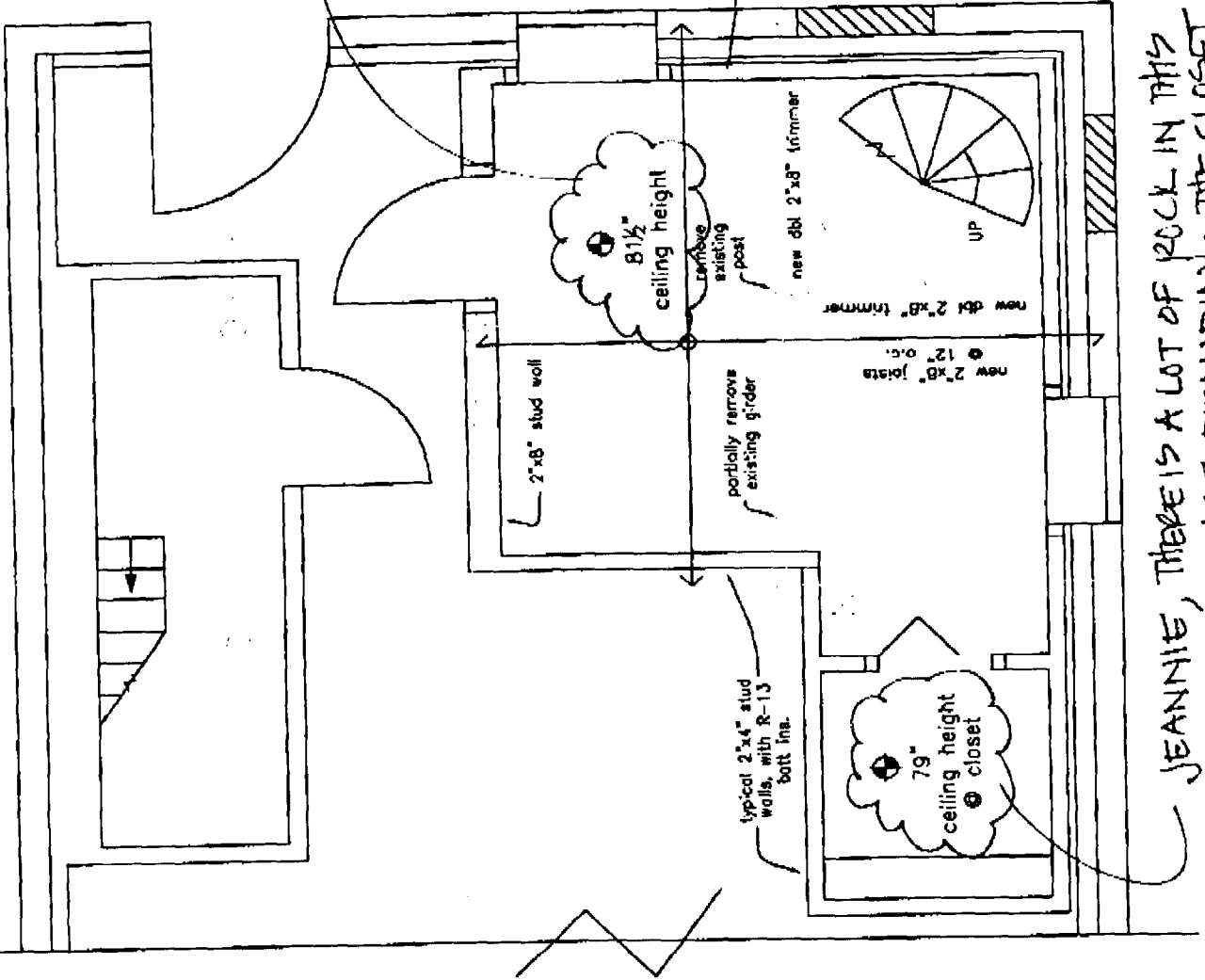
SUPERSEDES ALL
PRIOR DATED PLANS

JAN 26 2004

RECEIVED

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, ME 04108

HARVEY
CORRECTED ME.
WE CAN DIG TO
83 1/2 AND WILL
ASSUME A 2" SUB.



JEANNIE, THERE IS A LOT OF ROCK IN THIS AREA SO WE ARE EXPANDING THE CLOSET WHERE WE ARE UNABLE TO DIG DEEPER.

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JAN 26 2004

SUPERSEDES ALL
PRIOR DATED PLANS

PLUMBING INSPECTION

JAN 26 2004