

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0218	Issue Date: <b>MAR 21 2003</b>	CBL: 084 N032001
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Location of Construction: 47 New Island Ave	Owner Name: Casey Paul J &	Owner Address: 47 New Island Ave	Phone: 207-766-5921
Business Name:	Contractor Name: Thompson Johnson	Contractor Address: 9 Adams Street Peaks Island	Phone: 2077665919
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <b>IR-2</b>

Past Use: single family	Proposed Use: single family - 2nd floor expansion	Permit Fee: \$604.00	Cost of Work: \$82,900.00	CEO District: 3	<b>4450 SF</b>
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Proposed Project Description: expand 2nd floor living space	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>NA</i>	INSPECTION: Use Group: <b>R-3</b> Type: <b>SB</b> <b>BOCA 99</b>
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: tm	Date Applied For: 03/21/2003	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>3/21/03</b>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>3/21/03</b>
	<i>OK under 4-436 A</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING INSPECTION PERMIT

Permit Number: 030218

This is to certify that Casey Paul J &/Thompson Johnson  
has permission to expand 2nd floor living space  
AT 47 New Island Ave 084 N032001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIREMENTS APPROVED  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board MAR 21 2003  
Other \_\_\_\_\_

**PERMIT ISSUED**

*[Signature]*  
Director - Building & Inspection Services

Department Name

**CITY OF PORTLAND**

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0218	<b>Date Applied For:</b> 03/21/2003	<b>CBL:</b> 084 N032001
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<b>Location of Construction:</b> 47 New Island Ave	<b>Owner Name:</b> Casey Paul J &	<b>Owner Address:</b> 47 New Island Ave	<b>Phone:</b> 207-766-5921
<b>Business Name:</b>	<b>Contractor Name:</b> Thompson Johnson	<b>Contractor Address:</b> 9 Adams Street Peaks Island	<b>Phone:</b> (207) 766-5919
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> single family - 2nd floor expansion	<b>Proposed Project Description:</b> expand 2nd floor living space
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 03/21/2003

**Note:** **Ok to Issue:**

- 1) The lot coverage MUST be decreased by 84square feet as discussed prior to issuance of this permit. As discussed, a 9'-6" x 9'-0" area will be rmoved from your deck by May 1, 2003.

**Dept:** Building      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 03/21/2003

**Note:** **Ok to Issue:**

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

44150 SF  
IR-2

Location/Address of Construction: <u>47 New Island Ave - Peaks Island</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>34</u> Block# <u>N</u> Lot# <u>32</u>	Owner: <u>Paul J. Casey</u> <u>Denise L GAAL</u>	Telephone: <u>207-766-5921</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Same - 771-2004</u>	Cost Of Work: \$ <u>82,900</u> Fee: \$ <u>604</u>
Current use: <u>residence</u> <span style="float: right;"><u>X246</u></span>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: _____		
Contractor's name, address & telephone: <u>Thompson Johnson 9 Adams St. Peaks Island ME</u>		
Who should we contact when the permit is ready: <u>Denise Gaal 766-5919</u>		
Mailing address: <u>47 New Island Ave PI ME</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b> <u>766-5921</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Denise L Gaal</u>	Date: <u>2/25/2007</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
 If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

**INSPECTION OF PREMISES**

I HEREBY CERTIFY TO GRANITE  
TITLE SERVICES M N I AND  
ITS TITLE INSURER

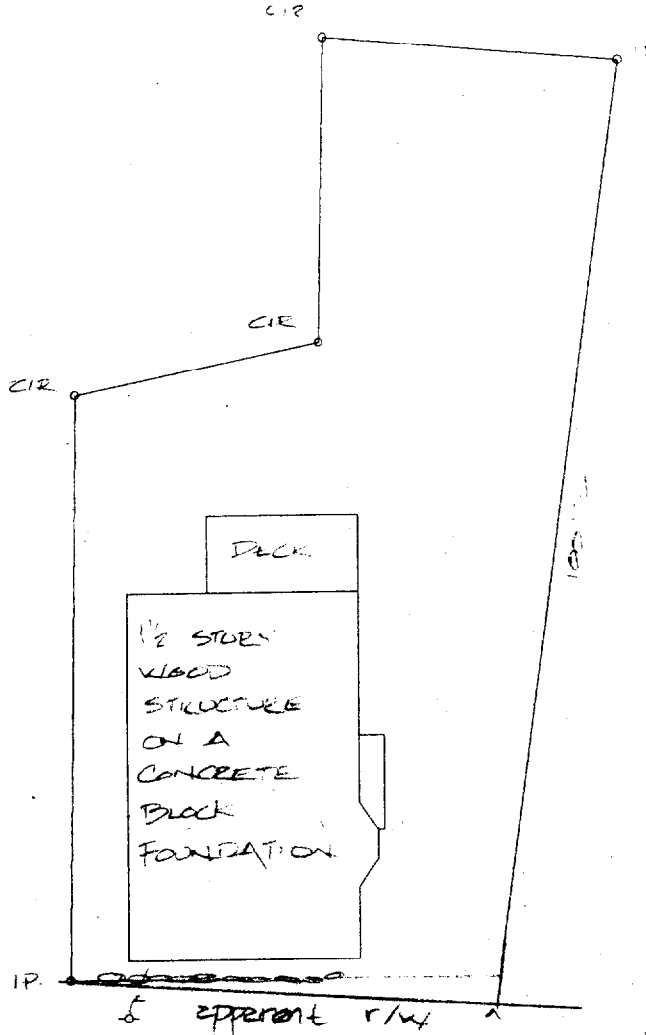
47 NEW ISLAND AVE  
PEAKS ISLAND  
PORTLAND, ME

Job Number: 275-18  
Inspection Date: 05-13-96  
Scale: 1" = 20'

The monumentation is ~~not~~ in harmony with current deed description.  
The building setbacks are ~~not~~ in conformity with town zoning requirements.  
The dwelling does not appear to fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.  
The land does not appear to fall within the special flood hazard zone as indicated on community-panel # 230051 003B.

BUYER: CASEY & GAAL

SELLER: CHARLES TASH MA



NEW ISLAND AVE  
(BITUMINOUS)  
TO WHITEHEAD ST

THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ABUTTING DEEDS.

**BRUCE R. BOWMAN, INC.**  
P.O. Box 12 A  
Cumberland, Maine 04021  
Phone: (207) 829-3959  
Fax: (207) 829-3522



PLAN BOOK 9 PAGE 35 LOT PAGE 40  
DEED BOOK 4419 PAGE 322 COUNTY CUMBERLAND

**THIS PLAN IS NOT FOR RECORDING** Drawn by: [Signature]

**INSPECTION OF PREMISES**

I HEREBY CERTIFY TO GRANITE TITLE SERVICES, M N I AND ITS TITLE INSURER

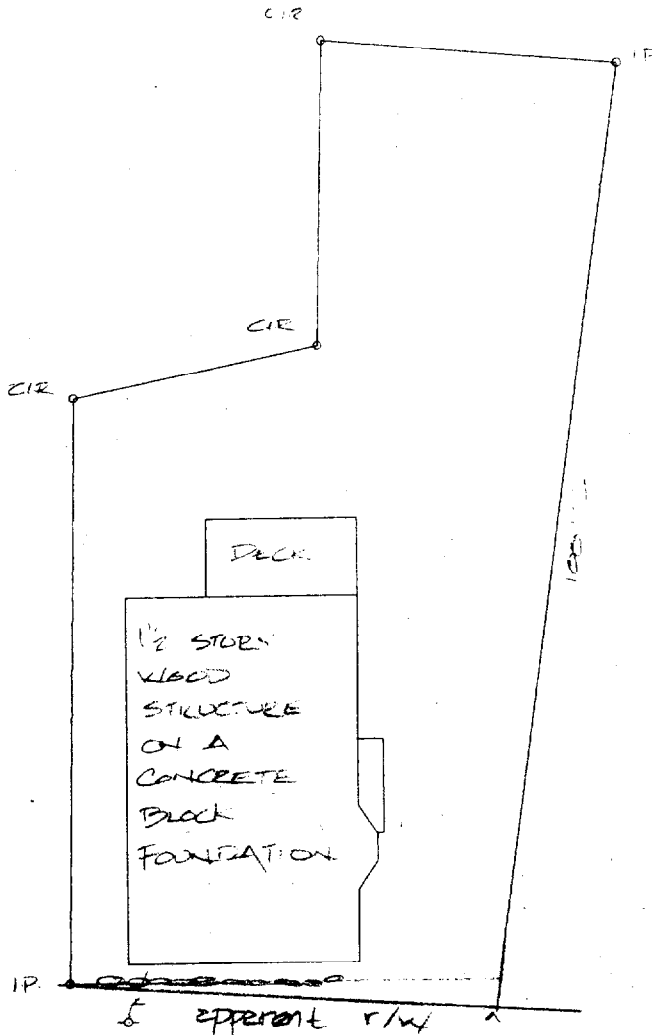
47 NEW ISLAND AVE  
PEAKS ISLAND  
PORTLAND, ME

Job Number: 275-19  
Inspection Date: 05-13-96  
Scale: 1" = 20'

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The land does not ~~appear~~ to fall within the special flood hazard zone as indicated on community-panel # 230051 003B.

BRUCE CASEY & GAAL

SELLER: CHARLES TASH MA



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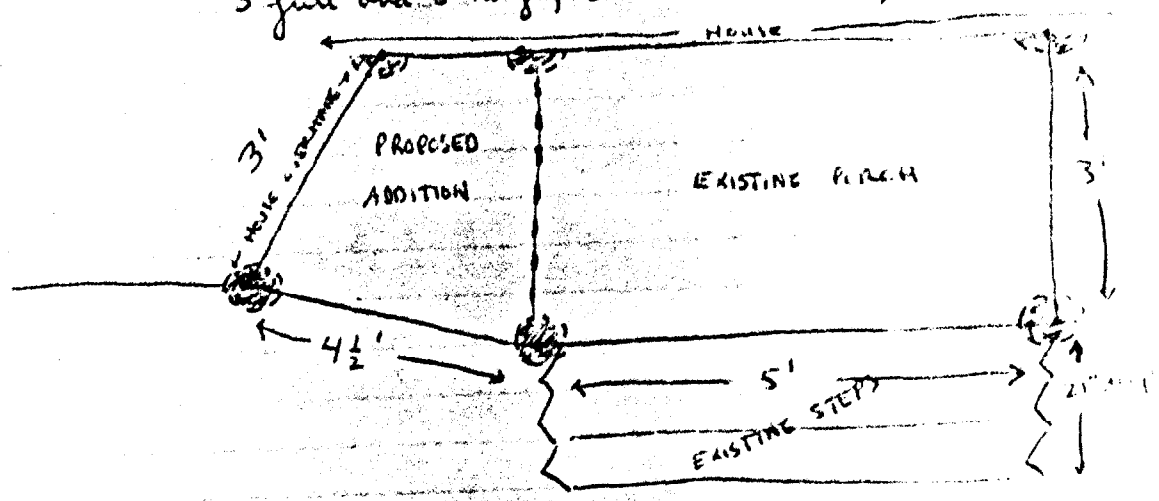
PLAN BOOK 9 PAGE 25 LOT PAGE 40  
DEED BOOK 4419 PAGE 32 COUNTY CUMBERLAND

**THIS PLAN IS NOT FOR RECORDING** Drawn by: SM

Porch repair sketch  
for Ellen Zimmermann,  
Peak's Island, Me.

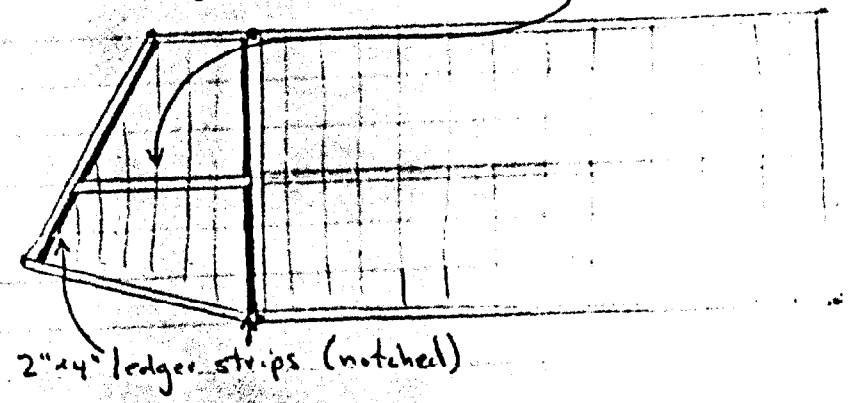
### FOUNDATION:

3 full and 3 half, 6-inch sawn-tubes, 4 feet deep



### FRAME:

2" x 6" on end with 1" x 6" decking.  
2" x 4" ledger strips to support crosspiece on addition



RECEIVED  
NOV 14 1979  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

00103

ZONING LOCATION 2-3 PORTLAND, MAINE, 11-14-79

PERMIT ISSUED

NOV 10 1979

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 84-N-32 New Island Ave., Peaks Island, Me. ... Fire District #1  #2

1. Owner's name and address Ellen Zimmerman, same Telephone 766-5044.

2. Lessee's name and address Telephone

3. Contractor's name and address Edwin Finn, Whitehead St., Peaks Island Telephone 766-5545.

4. Architect Specifications Plans No. of sheets

Proposed use of building .. Increasing size of exit porch 3'x4 1/2' No. families ... 1

Last use ... porch, single fam. No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$... 50.00 Fee \$... 5.50

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for:

@ 775-5451  
Ext. 234

- Dwelling
- Garage
- Masonry Bldg.
- Metal Bldg.
- Alterations
- Demolitions
- Change of Use
- Other

To increase size of existing porch, 3'x4 1/2', as per plan.

2"x6" on end with 1"x6" decking.

2"x4" ledger strips to support cross-piece on addition.

2"x4" ledger strips (notched)

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4

Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? .....

Is connection to be made to public sewer? .....

Has septic tank notice been sent? .....

Height average grade to top of plate .....

Size, front .. 4 1/2' depth .. 3' No. stories ..

Material of foundation .. sona tubes Thickness, top .. bottom .. cellar ..

Kind of roof .. Rise per foot .. Roof covering ..

No. of chimneys .. Material of chimneys .. of aring .. Kind of heat .. fuel ..

Framing Lumber—Kind .. Dressed or full size? .. Corner posts .. Sills ..

Size Girder .. Columns under girders .. Size .. Max. on centers ..

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor .. 2nd .. 3rd .. roof ..

On centers: 1st floor .. 2nd .. 3rd .. roof ..

Maximum span: 1st floor .. 2nd .. 3rd .. roof ..

If one story building with ..



THIS IS NOT A BOUNDARY SURVEY

**INSPECTION OF PREMISES**

I HEREBY CERTIFY TO Granite Title Services

47 New Island Avenue  
Peaks Island  
Portland, Maine

Job Number: 275-18 R

Inspection Date: 8-11-97

Scale: 1" = 20'

First Financial and its Title Insurer

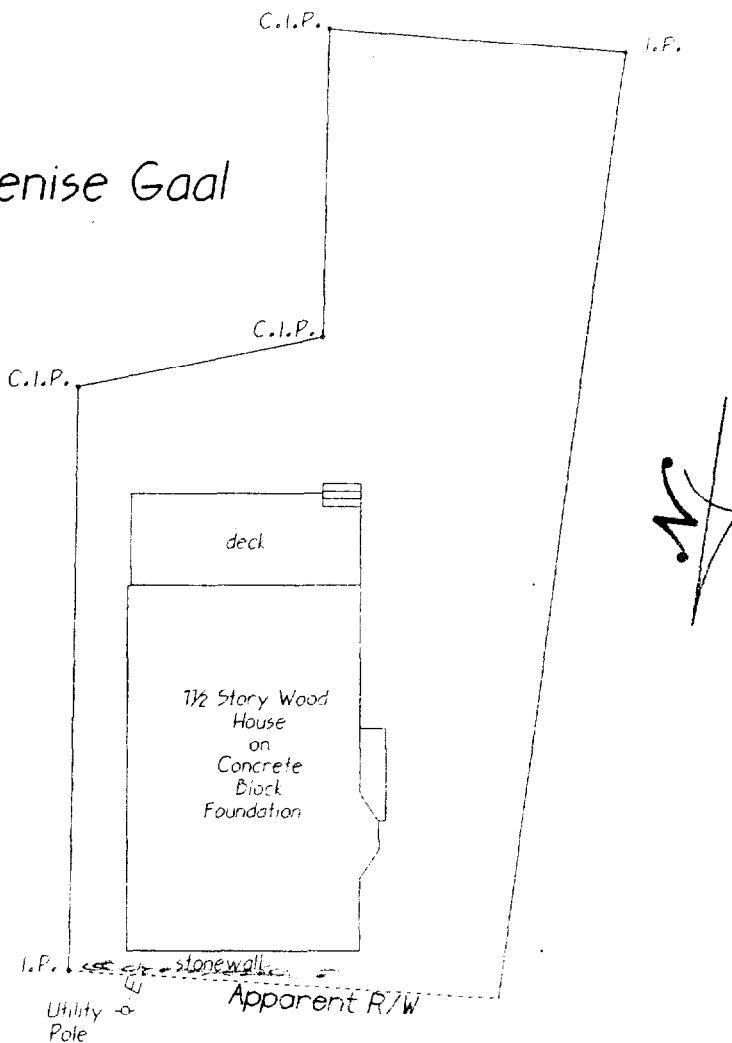
The monumentation is **not** in harmony with current deed description. *Deed is Vague; No Distances Given*

The building setbacks are not in conformity with town zoning requirements. *no permit found for deck*

The dwelling does not ~~appear to~~ fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not ~~appear to~~ fall within the special flood hazard zone as indicated on community-panel # 230051 0013 B

OWNER: Paul Casey & Denise Gaal



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THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ABUTTING DEEDS.

**BRUCE R. BOWMAN, INC.**  
 P.O. Box 12 A  
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 Phone: (207) 829-3959  
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PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ LOT \_\_\_\_\_  
 DEED BOOK 12545 PAGE 14 COUNTY Cumberland

**THIS PLAN IS NOT FOR RECORDING** Drawn by: PLB

Applicant:

Date:

Address:

C-B-I:

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work -

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25

Rear Yard - 25

Side Yard - 20

Projections -

Width of Lot -

Height -

Lot Area - 20,000 SF Reg.

Lot Coverage/Impervious Surface - 20% of 200

4450 SF

890 SF Allowed.

Area per Family -

Off-street Parking -

974 currently

Loading Bays -

436 A  
50%

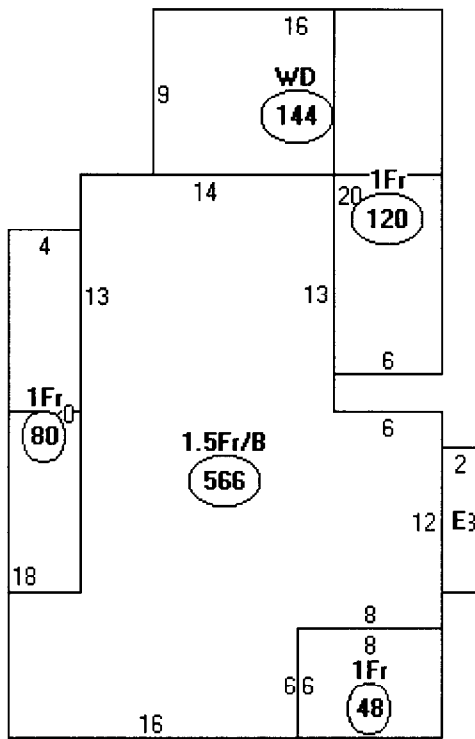
Site Plan -

445 SF Allowed  
50% expansion

Shoreland Zoning/Stream Protection -

Flood Plains -

140 SF shown for  
expansion.



Descriptor/Area

- A: 1.5Fr/B  
566 sqft
- B: 1Fr  
80 sqft
- C: WD  
144 sqft
- D: 1Fr  
120 sqft
- E: N/A  
16 sqft
- F: 1Fr  
48 sqft

2/27/03

w/in 3' at shower, tempered  
or higher than 60"

Thompson Johnson Woodworks  
9 Adams St.  
Peaks Island, ME 04101  
766-5919

Paul and Denise New Island Ave. 766-5921

Replace 1st Floor Posts with Beam	Est. Materials	Est. Labor	Est. Total
permit	\$2,000	\$8,900	\$10,900
new footings and support posts in basement			
seal off work area (and clean up upon completion)			
strip ceiling of living room as necessary			
size and install beam and 1st floor posts			
sister joists as necessary, re-drywall ceiling/ walls as necessary			
take refuse to dump			
trim as necessary (posts, beam, replace baseboard trim as necessary)			
prime and paint			

Rear Wall: Move/Change Door to Slider, Replace Window	Est. Materials	Est. Labor	Est. Total
permit (in conjunction with beam)	\$2,600	\$3,400	\$6,000
open wall for new door, move wiring if necessary			
frame-out, sheath, re-shingle and trim opening			
install slider (budgeted at \$1000)			
remove old door, frame-in hole, sheath, shingle, insulate			
repair drywall, trim-out inside ( install / replace vapor barrier?)			
take refuse to dump			
prime and paint			
remove and replace widow (\$1000 budgeted)			
replace trim (if not supplied with window), touch-up finish			

Bathroom Dormer, Estimated as per Drawings	Est. Materials	Est. Labor	Est. Total
draw/ detail	\$5,000	\$19,000	\$24,000
permit/s			
strip/ open roof			
frame, sheath, roof dormer			
trim exterior, seal/paint ext.			
move/ reframe existing closet and/or exterior walls, add support as necessary			
insulate, install vapor barrier			
install interior door/ pocket door			
wire and plumb bathroom, under supervision of Master Electrician/ Plumber			
tile floor (\$6/sq. ft. budgeted)			
→ install fiberglass shower ( <del>custom tile shower, add \$5000</del> )			
install bathroom fan/ lights			
drywall /repair walls			
install toilet, vanity and mirror cabinet			
interior trim			
take refuse to dump			
caulk, prime, and paint			
glass block window - over toilet, 60" high ↑			

Note: Fixtures not included (vanity/sink, toilet, shower, faucets, mirror cabinet)

Bedroom Addition, Estimated as per Drawings	Est. Materials	Est. Labor	Est. Total
	\$15,000	\$27,000	\$42,000
design, drawings for permit			
protect carpet, seal off bedroom (included in bathroom dormer price)			
cut / remove section of existing building			
frame and sheath floor, walls and roof			
add supports in first floor walls, reframe where needed			
repair drywall, bead board			
26'X7"X18" ridge beam			
collar ties, connecting posts (ridge to beam)			
insulate floor (sound only)			
roof dormer and valleys			
ridge and soffit vents			
trim out soffits and eaves			
flash, drip edge			
tar paper all			
ice/snow shield valleys, eaves			
install 13 windows (windows budgeted at \$6500) - one egress window			
dip shingles? (stain or water sealer)			
tar paper walls, apply exterior trim, flashing, and shingles			
wire four outlets, and two switched overhead lights, smoke detector			
plumb in baseboard heat			
insulate walls and roof, install vapor barrier			
drywall walls			
interior trim			
box-out or putty ridge beam			
lamine flooring, hardwood threshold (flooring budgeted at \$500)			
paint walls, poly or paint trim			
clean -up, dispose of all debris			

**Job Totals**

<b>Est. Materials</b>	<b>Est. Labor</b>	<b>Est. Total</b>
<b>\$24,600</b>	<b>\$58,300</b>	<b>\$82,900</b>

Note: Estimates are based on concurrent execution.

Terms: This is an estimate only. It is based on our preliminary evaluation and does not include any extra materials or additional labor that may be required. Every two weeks, a cost update (including labor and materials) and a job status report will be reviewed with the customer/s. These updates and reports can be compared to the original job estimates. If necessary, work changes and design modifications may be made to remain within budget.

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

**Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

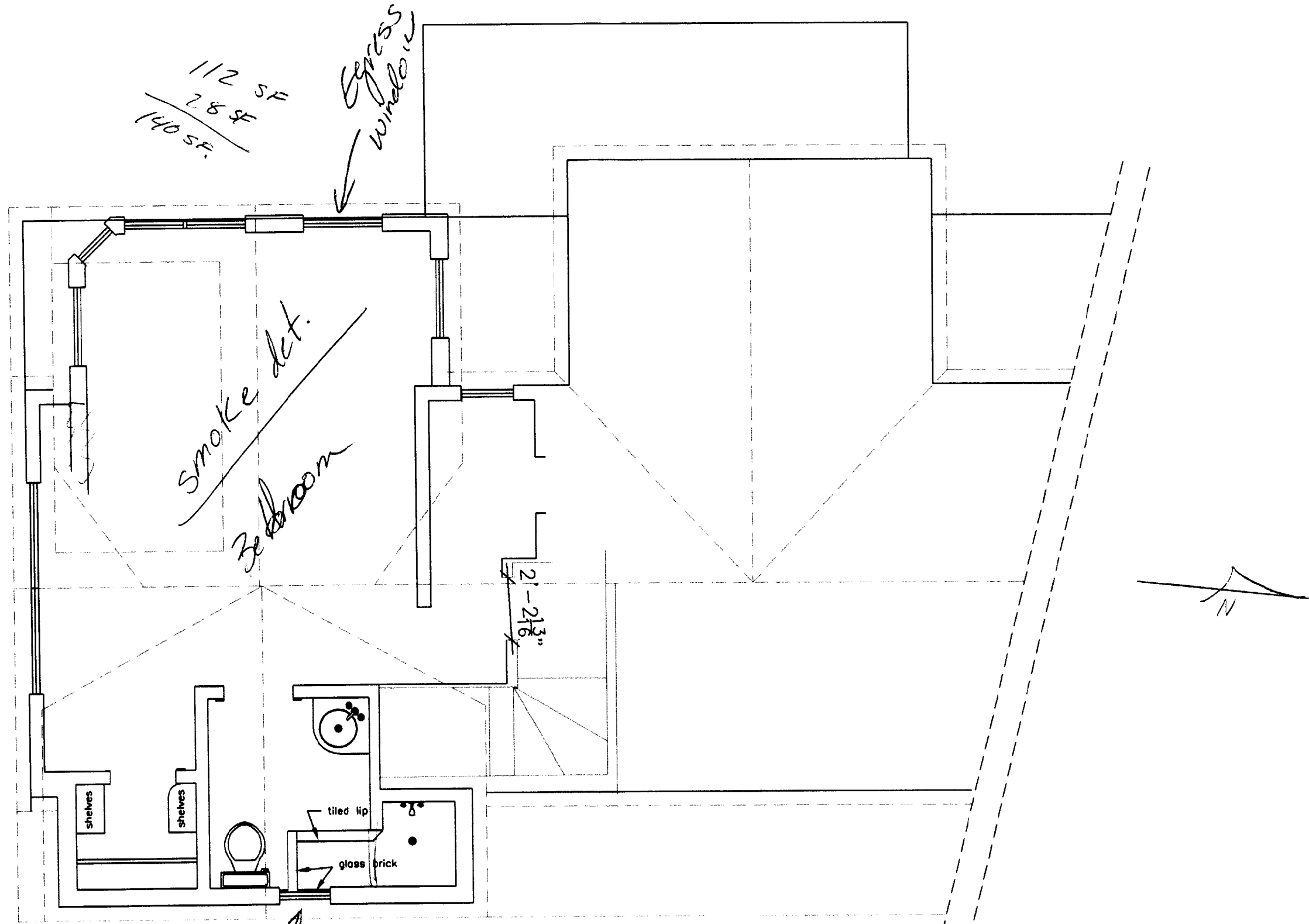
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X Denise Coel 3/21/03  
Signature of applicant/designee Date  
[Signature] 3/21/03  
Signature of Inspections Official Date

CBL: 84-N-32 Building Permit #: 03-0218



$$\begin{array}{r} 112 \text{ SF} \\ 28 \text{ SF} \\ \hline 140 \text{ SF} \end{array}$$

Egress window

smoke det.  
Bedroom

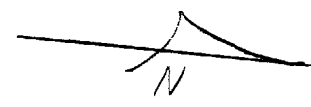
2'-2 1/2"

shelves

shelves

tiled lip

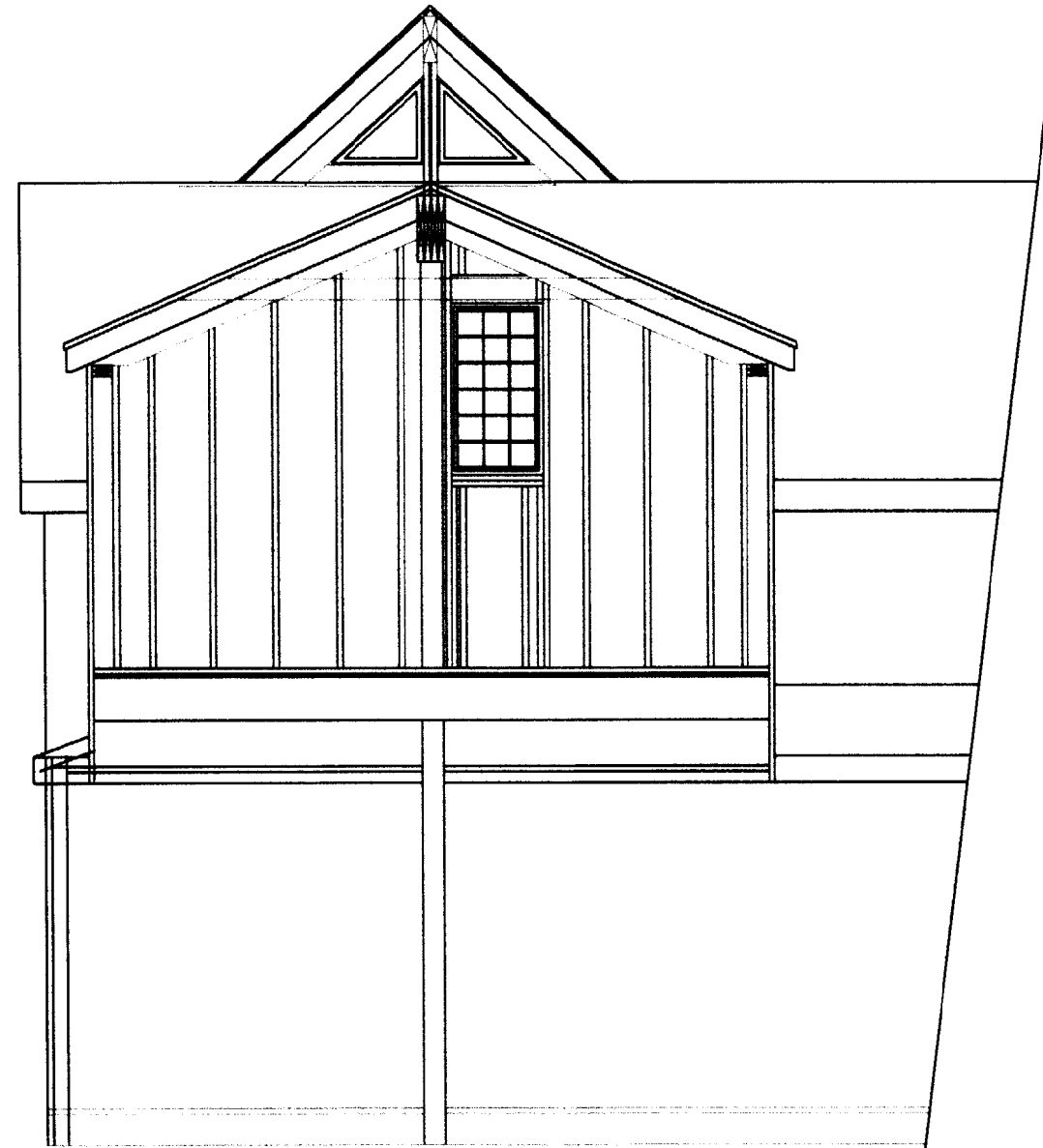
glass brick



Scale: 1/4" = 1'

Will be  
 60" Above floor.  
 will have vent fan.

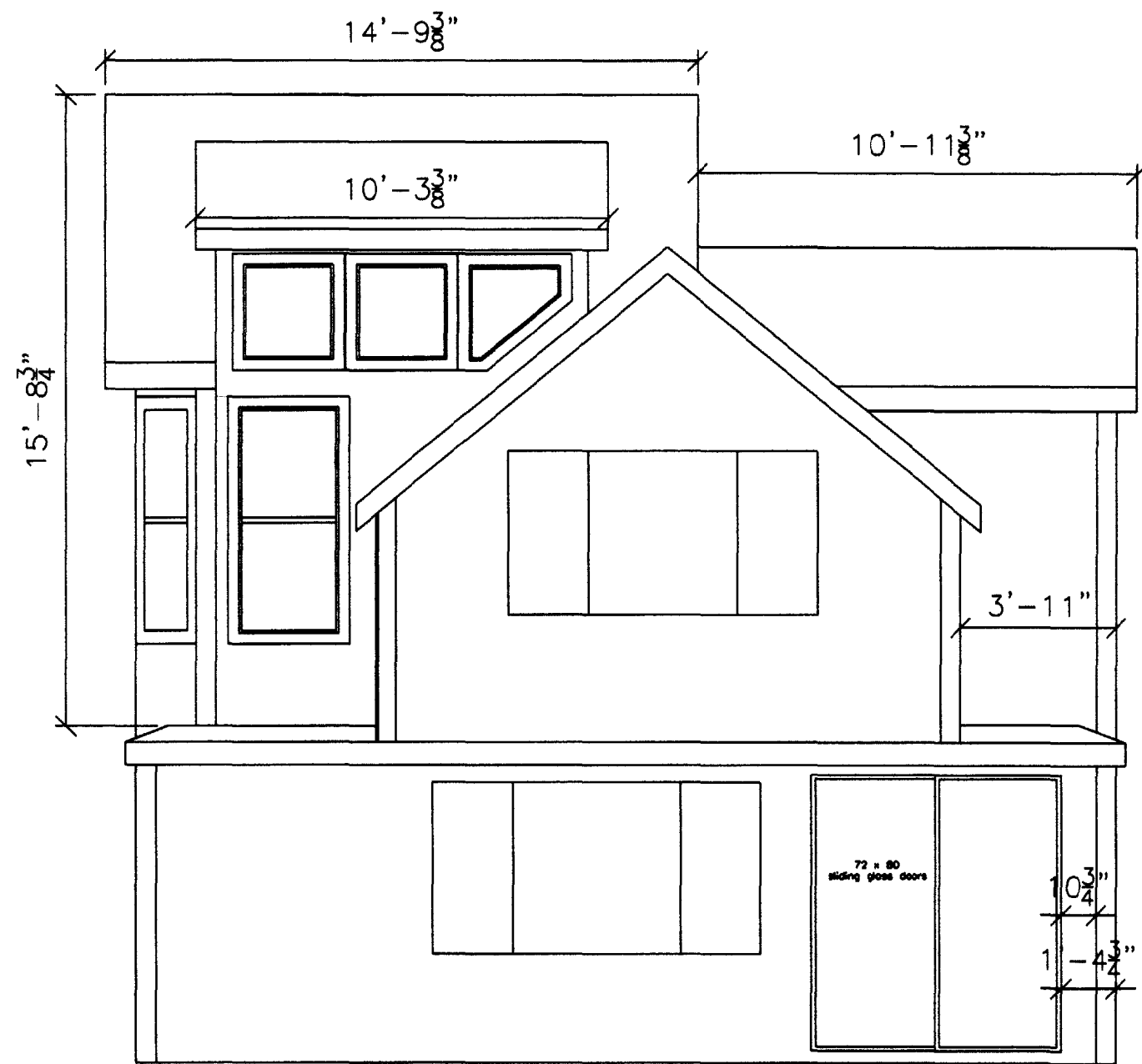
Roof and Second Floor Wall Plan



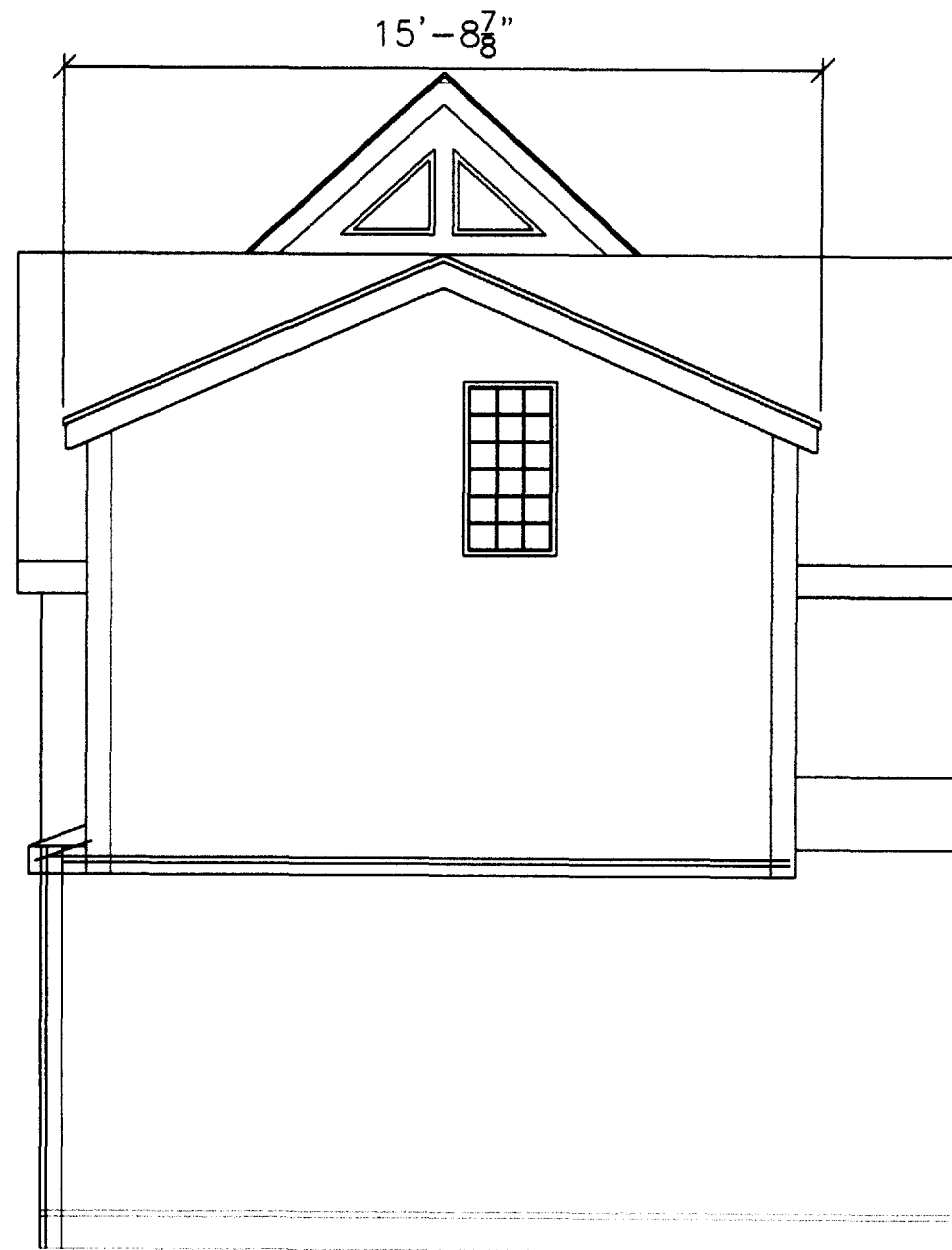
East Framing Elevation

scale:  $\frac{1}{4}'' = 1'$



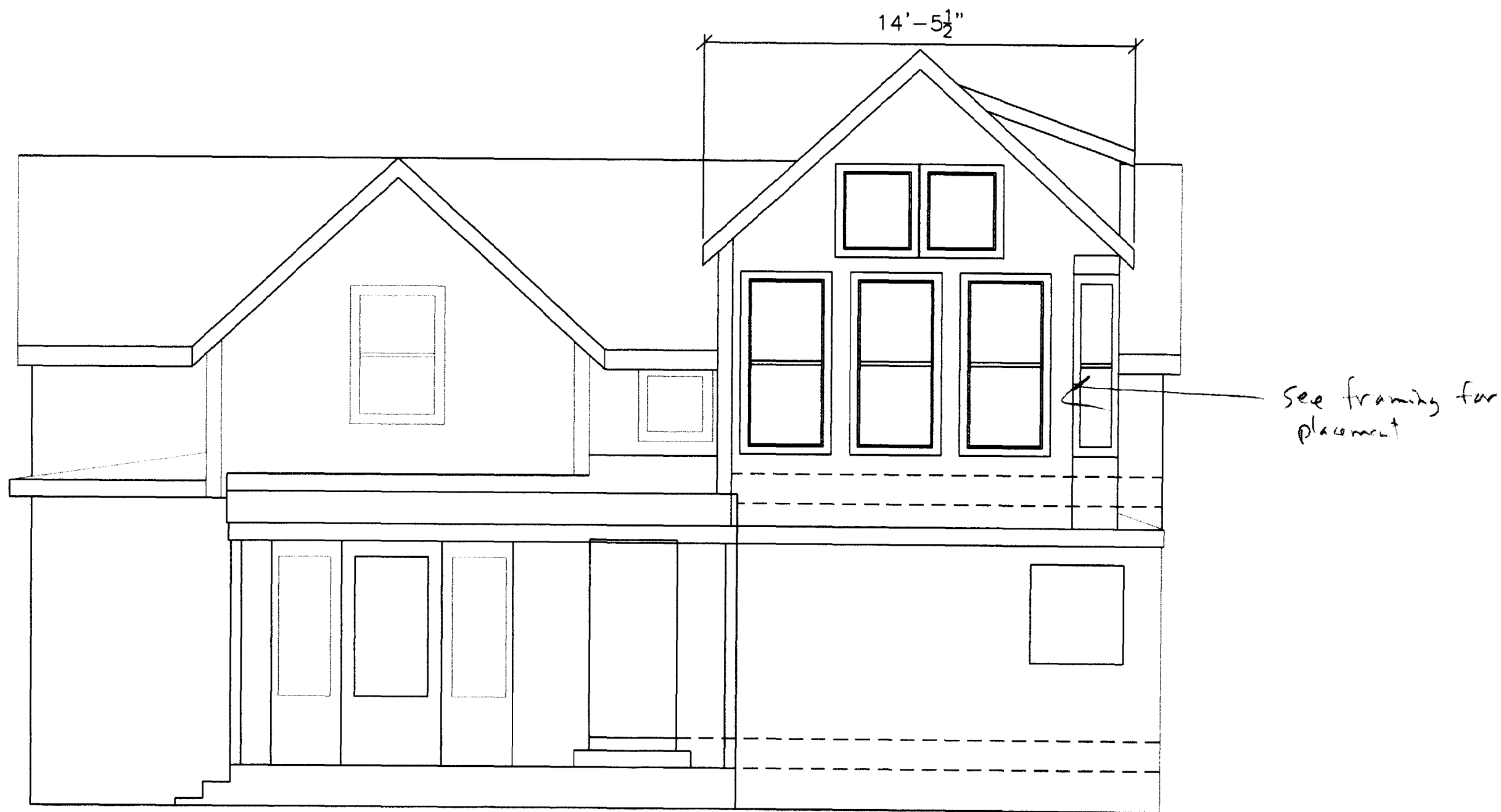


South Elevation



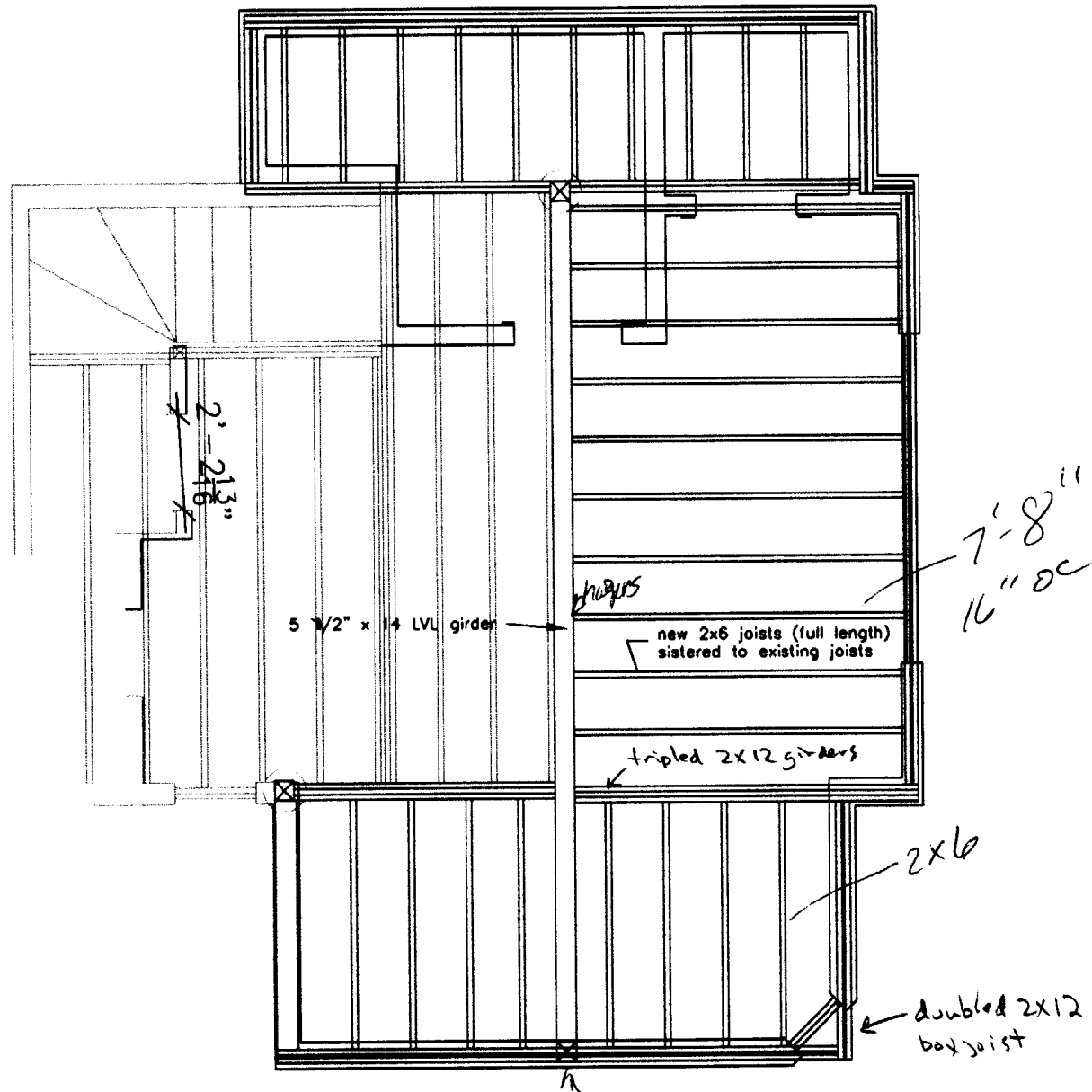
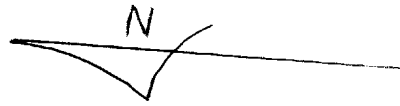
East Elevation

scale: 1/4" = 1'



West Elevation

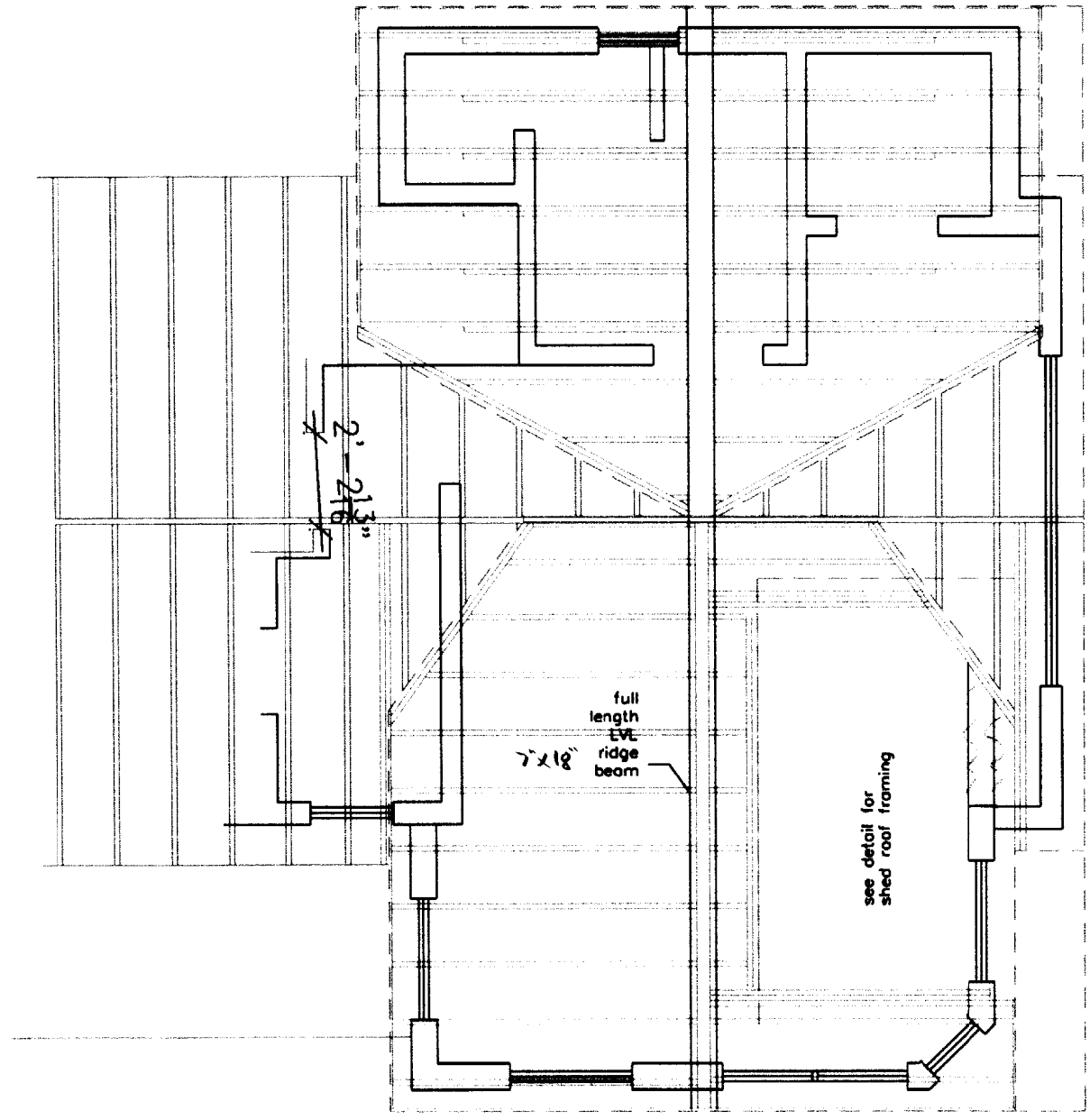
Scale:  $\frac{1}{4}'' = 1'$



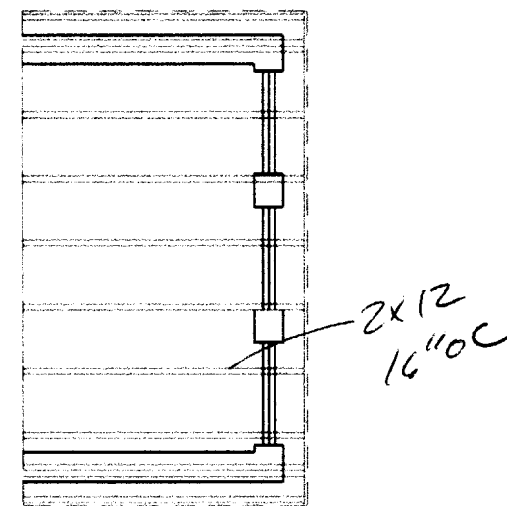
Second Floor Joist and Girder Plan

sets on foundation

scale: 1/4" = 1'



Roof Structures Plan  
- 2x12 rafters - 8' span



2x12  
16"OC