

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 10 New Island Avenue Peaks, Island ME		Owner: Arthur Fink & Ann Foster		Phone: 766-5022		Permit No: 990681	
Owner Address: 10 New Island Ave. P.I., ME		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Leddly Hanson Assoc. Houser Assoc.		Address:		Phone: ***871-8083		Permit Issued: JUN 28 1999	
Past Use: 1-Family		Proposed Use: Same		COST OF WORK: \$ 120,000		PERMIT FEE: \$ 620.00	
Proposed Project Description: 1-B Zone Demolish existing structure. Rebuild - new windows and deck.		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type: 2009/1		CITY OF PORTLAND	
		Signature:		Signature: JH		Zone: CBL: 084-M-009	
Permit Taken By: SP		Date Applied For: June 24, 1999		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Approval: OK - 3 with conditions	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Special Zone or Reviews: <input type="checkbox"/> Shoreland NA <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone 6/25/99 <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**** Please Call: Leddly Houser for PICK-UP
871-8083

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

June 23, 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: 9

CEO DISTRICT 2

COMMENTS

7-28-99 Inspected Footing had ledgy wash of some ledge and through in some Re Bar. at a couple of thin spots. (TR)
11/10/99 spoke with Paul Leddy's Allowed an 8" square H of Re front - Allowed under Sec. 14-425 permit.
in req. yard areas re: The entry door right off Post end of house - B
3/14/00 Close in OK DC
3/30/00 Routine stop, Progress ongoing. AR

	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____



APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

ERPT
JAN 3 1 2001
CITY OF PORTLAND
000058

084-M-009

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Peaks Island Use of Building Res Date 1-27-00

Name and address of owner of appliance 10 West Island Ave Ann Tebot

Installer's name and address Phil Meuse 12 E. Elm St
Berlin MO. 64038 Telephone 839-2417

Location of appliance:

- Basement
- Attic
- Floor
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name:

Burnham

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain:

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # _____
- Oil # MS-20005135
- Gas # _____
- Other _____

Type of Chimney:

- Masonry Lined
Factory built _____
- Metal
Factory Built U.L. Listing # _____
- Direct Vent
Type _____ UL# _____

Type of Fuel Tank

- Oil
- Gas

Size of Tank 275

Number of Tanks 1

Distance from Tank to Center of Flame 10 feet.

Fee \$30.00

Approved

Fire: _____
Ele.: _____
Bldg.: _____

Approved with Conditions

See attached letter or requirement

Signature of Installer

Phil V. Meuse



CITY OF PORTLAND, MAINE
Department of Building Inspection

Feb. 26 2001

Received from Anthony Fink a fee

of twenty boxes /100 Dollars \$ 30.00

for permit to install
 erect
 alter shed

at 10 New Island Ave Est. Cost \$ 450.00
books

check # 7000
CBL 24 11 09

Inspector of buildings
Per [Signature]

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Auditors Copy

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>10 New Island Ave. Trask Island ME</u>		
Tax Assessor's Chart, Block & Lot Number Chart# <u>84</u> Block# <u>M</u> Lot# <u>9</u>	Owner <u>Avathrus Fink + Ann Foster</u>	Telephone: <u>766-5022</u>
Owner's Address: <u>10 New Island Ave.</u>	Lessee/Buyer's Name (If Applicable)	Cost of Work: <u>\$120,000</u> Fee: <u>\$600</u>
Proposed Project Description (Please be as specific as possible) <u>Dem existing structure/Rebuild/new windows + Deck</u>		<u>I-B Zone</u>
Contractor's Name, Address & Telephone <u>Leddy Housen Assoc. 871-8083</u>		Rec'd By: <u>SP</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

• All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.

• All plumbing must be conducted in compliance with the State of Maine Plumbing Code.

• All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.

• HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with your application.

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as swimming pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/ Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

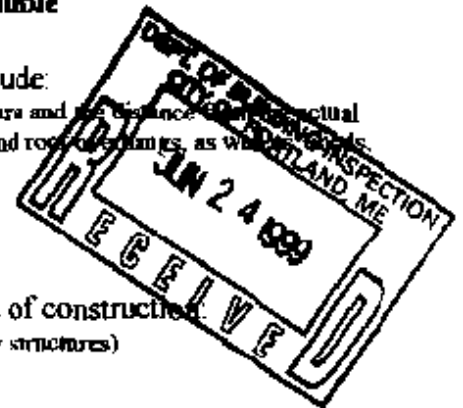
Signature of applicant: [Signature]

Date: 6/23/88

Building Permit Fee: \$25.00 for the 1st \$1000 cost plus \$5.00 per \$1,000.00 construction cost thereafter.

0:\INS\PCORRESP\MINT\MINT\APADSF.D\WPD

** Call for Plan 871-8083*



BUILDING PERMIT REPORT

DATE: 24 June 99 ADDRESS: 10 New Island RI. cor. 684-M-609
 REASON FOR PERMIT: Demo- ~~Part~~ of building to build - on same footprint
 BUILDING OWNER: Fink & Foster
 PERMIT APPLICANT: Loddy House Assoc.
 USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *11, *13, *15, *19, *26, *27, *30, *32, *33, *31

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations, anchors shall be a minimum of 1/4" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent appl-1 to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1995). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 36" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 78". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" risers. All other Use Group minimum 11" tread, 7" maximum ris. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (68") 1014.4
- *15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1015.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self-closers. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be

installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the first of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993) (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *shall rebuild on EXISTING footprint, Abi to be enlarged to fit with separate review,*
32. Boring, cutting and notching shall be done in accordance with Sections 2303.4.4, 2303.5.1 and 2303.5.3 of the City's Building Code.
33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
34. _____
35. _____
36. _____

[Signature]
Building Inspector

[Signature]
Lt. McDougall, PFD

Marc Schmeckel, Zoning Administrator

Page 12-14-98

*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

Inspection Services
Michael J. Nugent
Manager



Department of Urban Development
Joseph E. Gray, Jr.
Director

**CITY OF PORTLAND
NOTICE OF VIOLATION**

February 1, 2001

Ann Foster Tabbutt
Arthur J. Fink
10 New Island Avenue
Peaks Island, Me 04108

RE: 10 New Island Avenue (084-M-009)

Certified Mail Receipt # 7099 3400 0019 5716 5293

Dear Ann Tabbutt & Arthur Fink:

An evaluation of your property at New Island Avenue on January 19, 2001 revealed that the structure fails to comply with Section 14-52 of the Zoning Ordinance of the City of Portland, The Land Use Code and 107.1 of the BOCA Building Code.

Section 14-51 - front corner - large blue storage container trailer
107.1 - Permit Application - no applications have been submitted to this office

This is a notice of violation pursuant to Section 14-56 of the Code. Section 14-52 of the zoning ordinance states "no building or structure shall be erected, altered, rebuilt, enlarged, moved, or used, and no premises shall be used unless in conformity with the provisions of this ordinance. The above referenced container must be removed within 30 days of this notice. A reinspection of the premises will occur on March 2, 2001 at which time compliance will be required. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code.

Section 14-472 of the Land Use Code does allow for an interpretation appeal. I have enclosed an application package for a building permit.

Please contact me at 874- 8706 if you wish to discuss the matter or have any questions.

Sincerely,

Tammy M. Munson
Code Enforcement Officer/ Field Supv.

Sincerely,

Marge Schruock
Zoning Administrator

ELECTRICAL PERMIT

City of Portland, Me.

AREA #1
DOVE/JON



Handwritten initials

To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 2/29/00
Permit # 152
CBL# 84-M-009

SITE LOCATION: 10 NEW ISLAND AVENUE (PT)
ANN/FOSTER TABBUTT
OWNER ARTHUR FAX TENANT Owner

						TOTAL	EACH FEE	
OUTLETS	Receptacles	48	Switches	38	Smoke Detectors	10	.20	19.20
FIXTURES	incandescent	48	fluorescent	4	Strips	1	.20	10.60
SERVICES	Overhead		Underground		TTL AMPS	<800	15.00	
	Overhead		Underground			>800	25.00	
Temporary Service	Overhead		Underground		TTL AMPS		25.00	
							25.00	
METERS	(number of)						1.00	
MOTORS	(number of)						2.00	
RESID/COM	Electric units						1.00	
HEATING	oil/gas units		Interior		Exterior		5.00	
APPLIANCES	Ranges		Cook Tops		Wall Ovens		2.00	
	Insta-Hot		Water heaters		Fans		2.00	
	Dryers	1	Disposals	1	Dishwasher	1	2.00	6.00
	Compactors		Spa		Washing Machine	1	2.00	2.00
	Others (denote)						2.00	
MISC. (number of)	Air Cond/win						3.00	
	Air Cond/cent				Pools		10.00	
	HVAC		EMS		Thermostat		5.00	
	Signs						10.00	
	Alarms/res	3					5.00	
	Alarms/com						15.00	
	Heavy Duty(CRKT)						2.00	
	Circus/Carnv						25.00	
	Alterations	X					5.00	5.00
	Fire Repairs						15.00	
	E Lights						1.00	
	E Generators						20.00	
PANELS	Service	X	Remote		Main		4.00	4.00
TRANSFORMER	0-25 Kva						5.00	
	25-200 Kva						8.00	
	Over 200 Kva						10.00	
TOTAL AMOUNT DUE								46.80
MINIMUM FEE/COMMERCIAL						35.00		
MINIMUM FEE							25.00	

INSPECTION: Will be ready will call or will call

CONTRACTORS NAME SEACOAST ELECTRIC CO
ADDRESS 74 GREENWOOD LANE-PORTLAND
TELEPHONE 797-4452

MASTER LIC. # MS 03088
LIMITED LIC. # _____

SIGNATURE OF CONTRACTOR Danny G Papke

ELECTRICAL INSTALLATIONS

Permit Number _____
Location _____
Owner _____
Date of Permit _____
Final Inspection _____
By Inspector _____

INSPECTION: Service _____ by _____
Service called in _____
Closing-in 3/14 by D. Codelet

PROGRESS INSPECTIONS: _____ / _____ / _____
_____ / _____ / _____
_____ / _____ / _____
_____ / _____ / _____
_____ / _____ / _____
_____ / _____ / _____

DATE:

REMARKS:

3/14 Request Nail Plates OK DC

x

x

ELECTRICAL PERMIT

City of Portland, Me.



712

To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 8/6/99
 Permit # _____
 CBL# 084-M-009

SITE LOCATION: 10 New Island Ave (PT)

OWNER Foster TENANT BRENNAN/PARRIS TOTAL EACH FEE

OUTLETS	Receptacles	Switches	Smoke Detectors						
								.20	
FIXTURES	incandescent	fluorescent	Strips					.20	
SERVICES	Overhead	TS Underground	TTL AMPS	<800				15.00	
	Overhead	Underground		>800				25.00	
Temporary Service	Overhead	<input checked="" type="checkbox"/> Underground	TTL AMPS	<u>90</u>				25.00	
								25.00	
METERS	(number of)							1.00	
MOTORS	(number of)							2.00	
RESID/COM	Electric units							1.00	
HEATING	oil/gas units	Interior	Exterior					5.00	
APPLIANCES	Ranges	Cook Tops	Wall Ovens					2.00	
	Insta-Hot	Water heaters	Fans					2.00	
	Dryers	Disposals	Dishwasher					2.00	
	Compactors	Spa	Washing Machine					2.00	
	Others (denote)							2.00	
	MISC. (number of)	Air Cond/win							3.00
		Air Cond/cent			Pools				10.00
HVAC		EMS	Thermostat					5.00	
Signs								10.00	
Alarms/res								5.00	
Alarms/com								15.00	
Heavy Duty(CRKT)								2.00	
Circus/Carnv							25.00		
Alterations							5.00		
Fire Repairs							15.00		
E Lights							1.00		
E Generators							20.00		
PANELS	Service	Remote	Main					4.00	
	TRANSFORMER	0-25 Kva						5.00	
		25-200 Kva						8.00	
	Over 200 Kva						10.00		
				TOTAL AMOUNT DUE					
MINIMUM FEE/COMMERCIAL 35.00				MINIMUM FEE		25.00		<u>25.00</u>	

INSPECTION: Will be ready _____ or will call _____

CONTRACTORS NAME SEACREST ELECTRIC MASTER LIC. # 03081
 ADDRESS 14 GREENWOOD LAKE LIMITED LIC. # _____
 TELEPHONE 797-4452 Page 870-6179
 SIGNATURE OF CONTRACTOR H. G. Pash

ELECTRICAL PERMIT

City of Portland, Me.



72

To the Chief Electrical Inspector, Portland Maine:
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 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 2/25/00
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 CBL# 84-11-009

SITE LOCATION: 10 NEW ISLAND AVENUE

ANN/FOSTER TABBUTT

OWNER ARTHUR FAH TENANT owner

						TOTAL EACH FEE		
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							25.00	
METERS	(number of)						1.00	
MOTORS	(number of)						2.00	
RESID/COM	Electric units						1.00	
HEATING	oil/gas units		Interior		Exterior		5.00	
APPLIANCES	Ranges		Cook Tops		Wall Ovens		2.00	
	Insta-Hot		Water heaters		Fans		2.00	
	Dryers	1	Disposals	1	Dishwasher	1	2.00	6.00
	Compactors		Spa		Washing Machine	1	2.00	2.00
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MISC. (number of)	Air Cond/win						3.00	
	Air Cond/cent				Pools		10.00	
	HVAC		EMS		Thermostat		5.00	
	Signs						10.00	
	Alarms/res	3					5.00	
	Alarms/com						15.00	
	Heavy Duty(CRKT)						2.00	
	Circus/Carnv						25.00	
	Alterations	X					5.00	5.00
	Fire Repairs						15.00	
	E Lights						1.00	
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TRANSFORMER	0-25 Kva						5.00	
	25-200 Kva						8.00	
	Over 200 Kva						10.00	
TOTAL AMOUNT DUE								46.80
MINIMUM FEE/COMMERCIAL 35.00						MINIMUM FEE	25.00	

INSPECTION: Will be ready will call or will call

CONTRACTORS NAME SEACAST ELECTRIC CO MASTER LIC. # MS 030PP
 ADDRESS 74 GREENWOOD LANE - PORTLAND LIMITED LIC. # _____
 TELEPHONE 797-4452

SIGNATURE OF CONTRACTOR Danny G Payne

ELECTRICAL PERMIT

City of Portland, Me.



NW

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 Permit # _____
 OBL# 084-M-009

SITE LOCATION: 10 New Island Ave P.I.D
OWNER: Foster Brennan | **TENANT:** parris - Seacoast called in correction 8/6

TOTAL EACH FEE

OUTLETS	Receptacles		Switches		Smoke Detectors			.20
FIXTURES	incandescent		fluorescent		Strips			.20
SERVICES	Overhead	<input checked="" type="checkbox"/>	Underground		TTL AMPS	<800		15.00
	Overhead		Underground			>800		25.00
Temporary Service	Overhead	<input checked="" type="checkbox"/>	Underground		TTL AMPS	<u>90</u>		25.00
								25.00
METERS	(number of)							1.00
MOTORS	(number of)							2.00
RESID/COM	Electric units							1.00
HEATING	oil/gas units		Interior		Exterior			5.00
APPLIANCES	Ranges		Cook Tops		Wall Ovens			2.00
	Insta-Hot		Water heaters		Fans			2.00
	Dryers		Disposals		Dishwasher			2.00
	Compactors		Spa		Washing Machine			2.00
	Others (denote)							2.00
	MISC. (number of)	Air Cond/win						3.00
		Air Cond/cent				Pools		10.00
	HVAC		EMS		Thermostat		5.00	
	Signs						10.00	
	Alarms/res						5.00	
	Alarms/com						15.00	
	Heavy Duty(CRKT)						2.00	
	Circus/Carnv						25.00	
	Alterations						5.00	
	Fire Repairs						15.00	
	E Lights						1.00	
	E Generators						20.00	
PANELS	Service		Remote		Main			4.00
TRANSFORMER	0-25 Kva							5.00
	25-200 Kva							8.00
	Over 200 Kva							10.00
TOTAL AMOUNT DUE								
MINIMUM FEE/COMMERCIAL 35.00						MINIMUM FEE	25.00	25.00

INSPECTION: Will be ready _____ or will call _____

CONTRACTORS NAME: SEACOAST ELECTRIC
ADDRESS: 19 GREENWOOD LANE
TELEPHONE: 797-4452

MASTER LIC. #: 03084
LIMITED LIC. #: _____

SIGNATURE OF CONTRACTOR: H. G. Paine

PLUMBING APPLICATION

084-07-009

Department of Human Sciences
Division of Health Engineering

WP

PROPERTY ADDRESS

Town or Plantation	Peaks Island
Street	10 New Island Ave
Subdivision Lot #	

PROPERTY OWNERS NAME

Last: <u>Finck</u>	First: <u>Ann</u>
Applicant Name:	<u>DIANE HARTFORD</u>
Mailing Address of Owner/Applicant (If Different)	<u>454 GREEN ST SO. PORTLAND, ME</u>

PORTLAND 7145 TOWN COPY

Date Permit Issued: 1 26 00 \$ 48 Double Fee Charged

L.P.I. # 01104

Local Plumbing Inspector Signature: [Signature]

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 01/10/00

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

<p>This Application is for</p> <p>1. <input checked="" type="checkbox"/> NEW PLUMBING</p> <p>2. <input type="checkbox"/> RELOCATED PLUMBING</p>	<p>Type of Structure To Be Served:</p> <p>1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER - SPECIFY _____</p>	<p>Plumbing To Be Installed By:</p> <p>1. <input checked="" type="checkbox"/> MASTER PLUMBER</p> <p>2. <input type="checkbox"/> OIL BURNERMAN</p> <p>3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC</p> <p>4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE</p> <p>5. <input type="checkbox"/> PROPERTY OWNER</p> <p>LICENSE # <u>P.2,754</u></p>
--	---	---

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p>	0	Hosebibb / Sillcock	0	Bathtub (and Shower)
		Floor Drain		Shower (Separate)
<p>OR</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p>		Urinal	0	Sink
		Drinking Fountain	0	Wash Basin
<p>OR</p> <p>TRANSFER FEE [\$6.00]</p>		Indirect Waste	0	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	0	Clothes Washer
<p>OR</p> <p>SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE</p>		Grease / Oil Separator	0	Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2	7	Fixtures (Subtotal) Column 1
			1	Fixtures (Subtotal) Column 2
			8	Total Fixtures
			48	Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
			48	Permit Fee (Total)

TOWN COPY

1350
11.25
1045
301.

*schematic design*schematic design*schematic design*schematic design*schematic design*schematic design*schematic design*schematic design*schematic design*schematic design*

The FINK•FOSTER•TABBUTT RESIDENCE



Marilyn Levison, Architect
 84 Best Street
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 Phone 207-774-9368
 M.L.A. 84BEST@AOL.COM

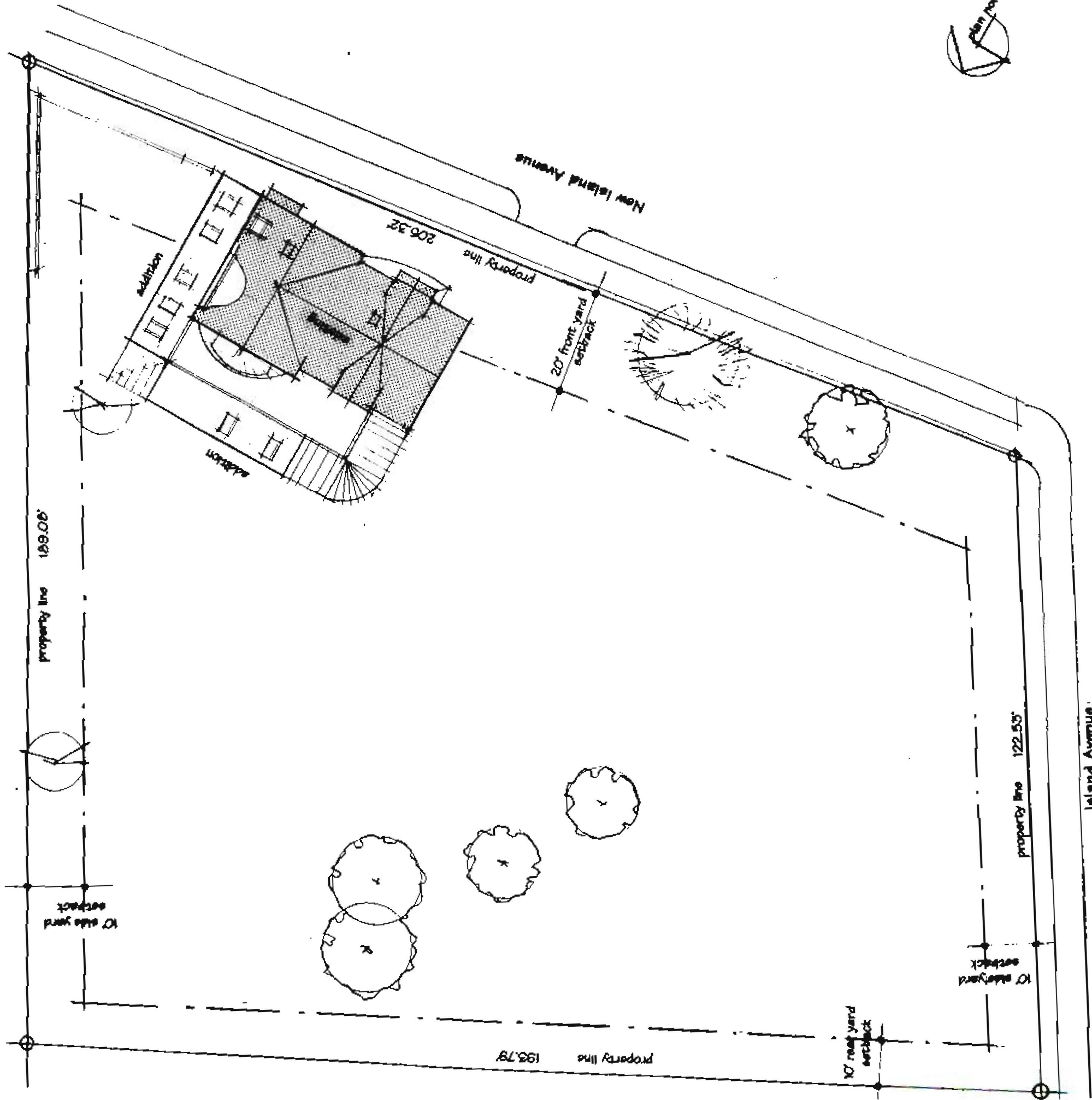
FINK-FOSTER-FARBUTT RESIDENCE
 Peaks Island • Maine

06.10.99

10 New Island Avenue
 Site Plan • Schematic Design
 1" = 20'-0"

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 1 of 15

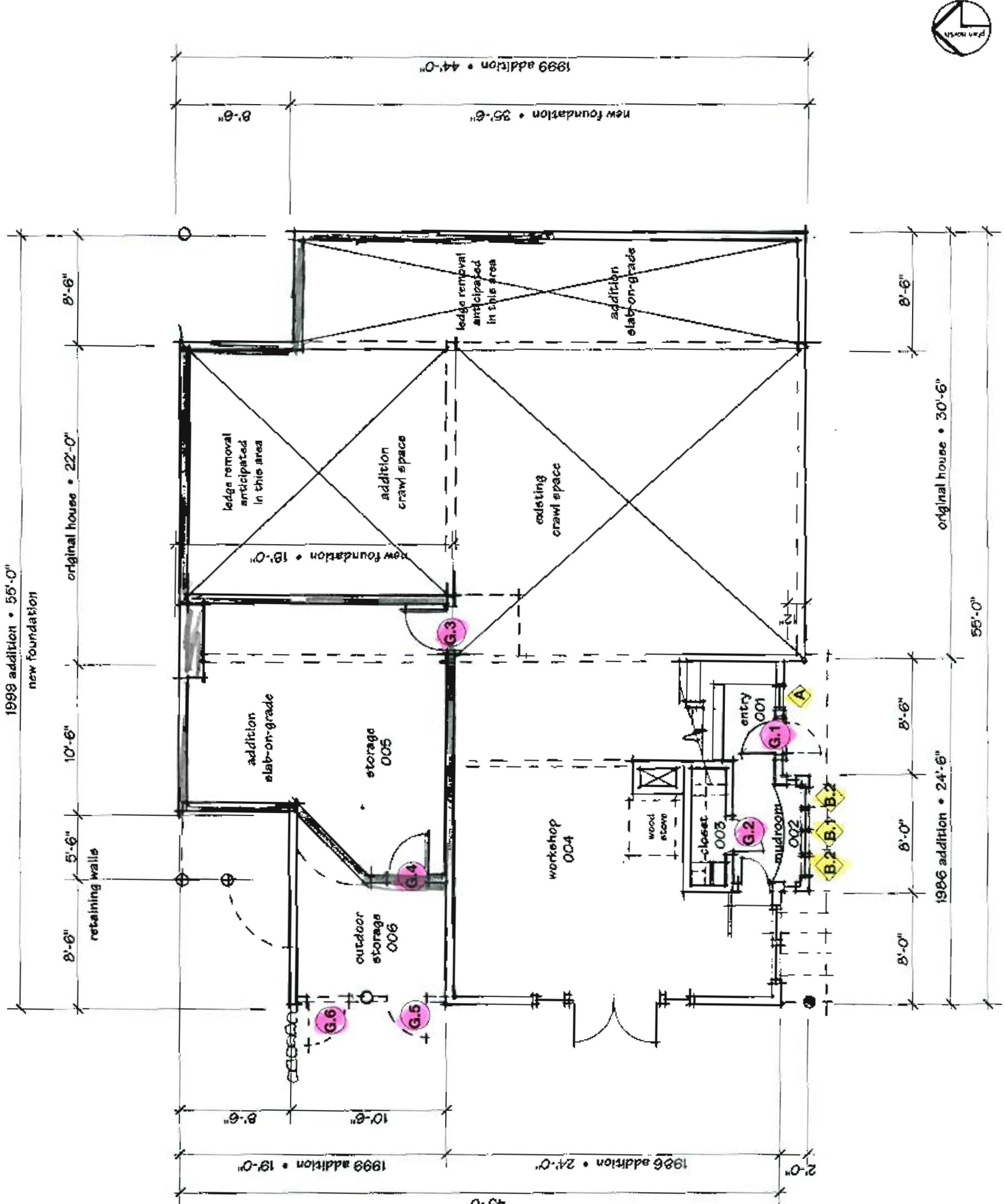


Plange, The following notes apply to this project,
I suggested that I get down this info.

Thanks
P. S. J. M.

1. No Increase in Roof Height.
2. Where set back is violated, (pre existing) there will be no additional footage or violation.
3. We would like to start Demo The week of June 28 -
To Prepare For concrete July 15.
4. Please call with any questions 871-8083
Tom Rainsborough is familiar with this also.

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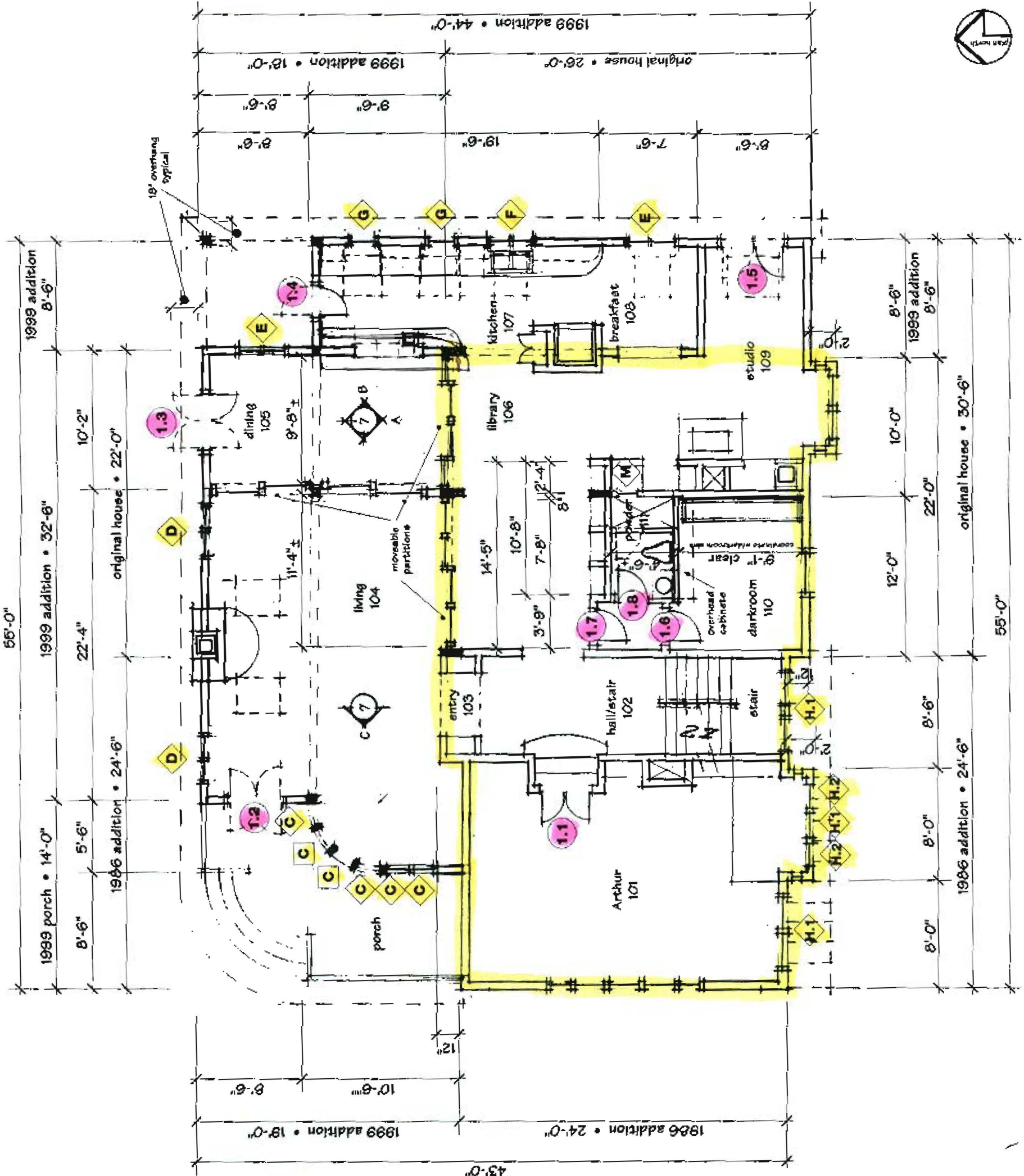
FINK-FOSTER-TABBUTT RESIDENCE

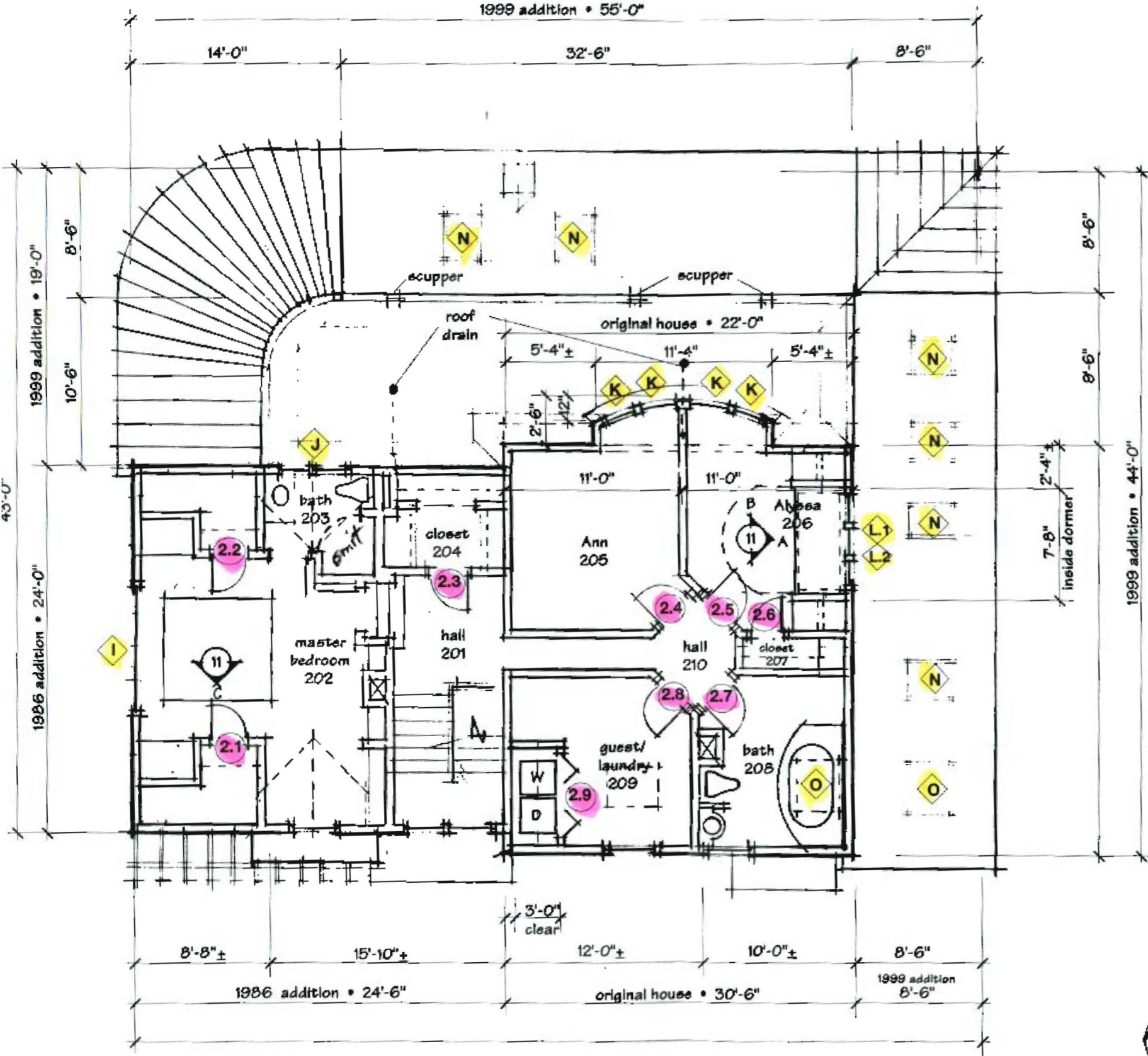
Peaks Island • Maine
 06.10.99

10 New Island Avenue
 First Floor Plan • Schematic Design
 1/8" = 1'-0"

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 3 of 15





FINK-FOSTER-TABBUTT RESIDENCE
 Peaks Island • Maine
 10 New Island Avenue
 Second Floor Plan • Schematic Design
 1/8" = 1'-0"
 06.10.99

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Flat Roof
111'-0"±
Eave/Second Floor
108'-8"
Head Ht. First Floor Window
108'-0"

First Floor
100'-0"



West Elevation



Head Ht. Second Floor Window
115'-4"±

Flat Roof
111'-0"±

Eave/Second Floor
108'-8"

Head Ht. First Floor Window
108'-0"

First Floor
100'-0"

East Elevation

FINK•FOSTER•TABBUTT RESIDENCE

Peaks Island • Maine

06.10.99

10 New Island Avenue

Elevations • Schematic Design

1/8" = 1'-0"

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Head Ht. Second Floor Window
116'-4" ±

Flat Roof
111'-0" ±

Eave/Second Floor
108'-8"

Head Ht. First Floor Window
108'-0"

First Floor
100'-0"



North Elevation



South Elevation

First Floor
100'-0"

Entry (Ground) Floor
95'-8" ±

Eave/Second Floor
108'-8"

First Floor
100'-0"

FINK • FOSTER • TABBUTT RESIDENCE

Peaks Island • Maine

10 New Island Avenue

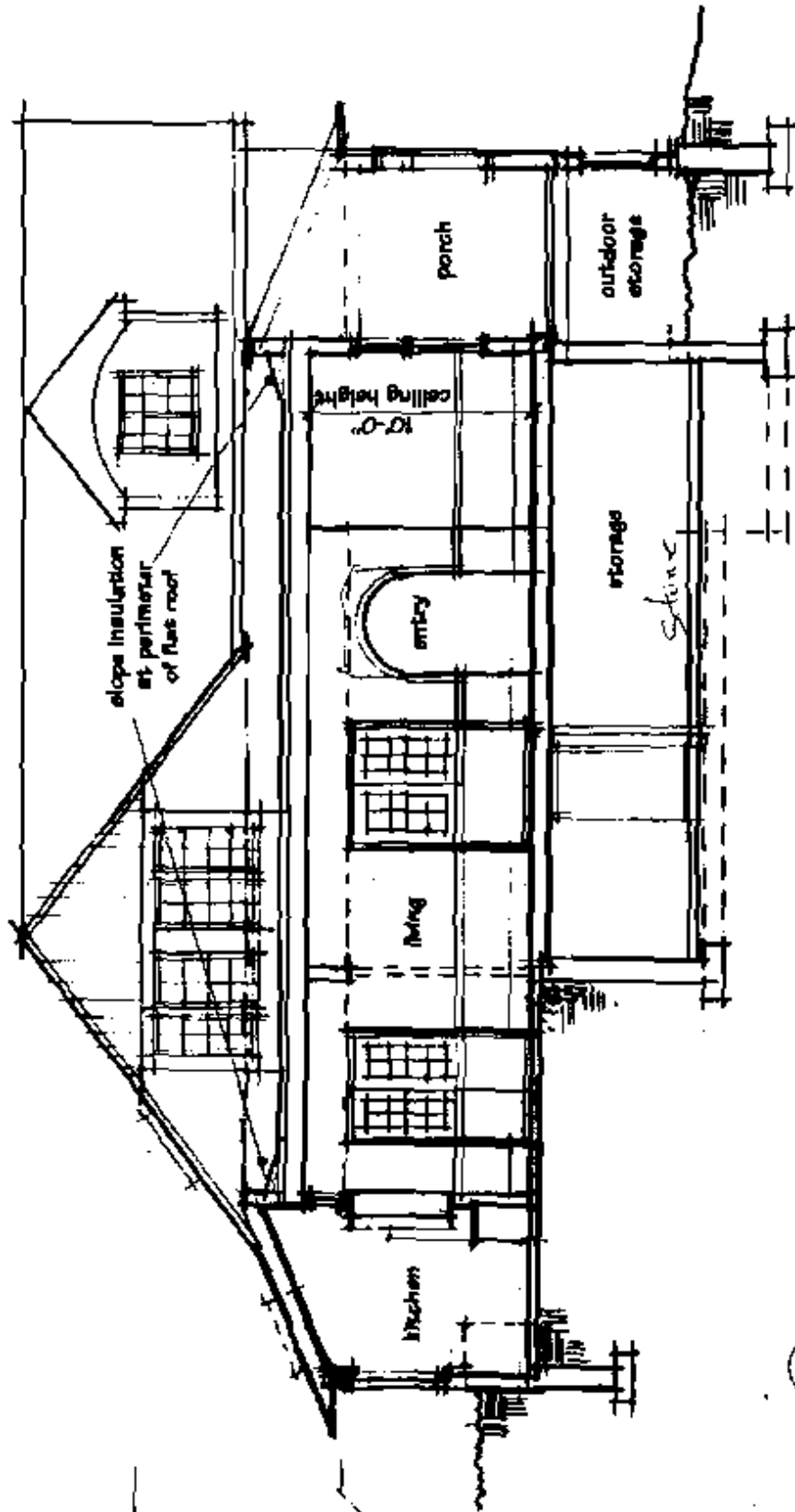
Elevations • Schematic Design

1/8" = 1'-0"

06.10.99

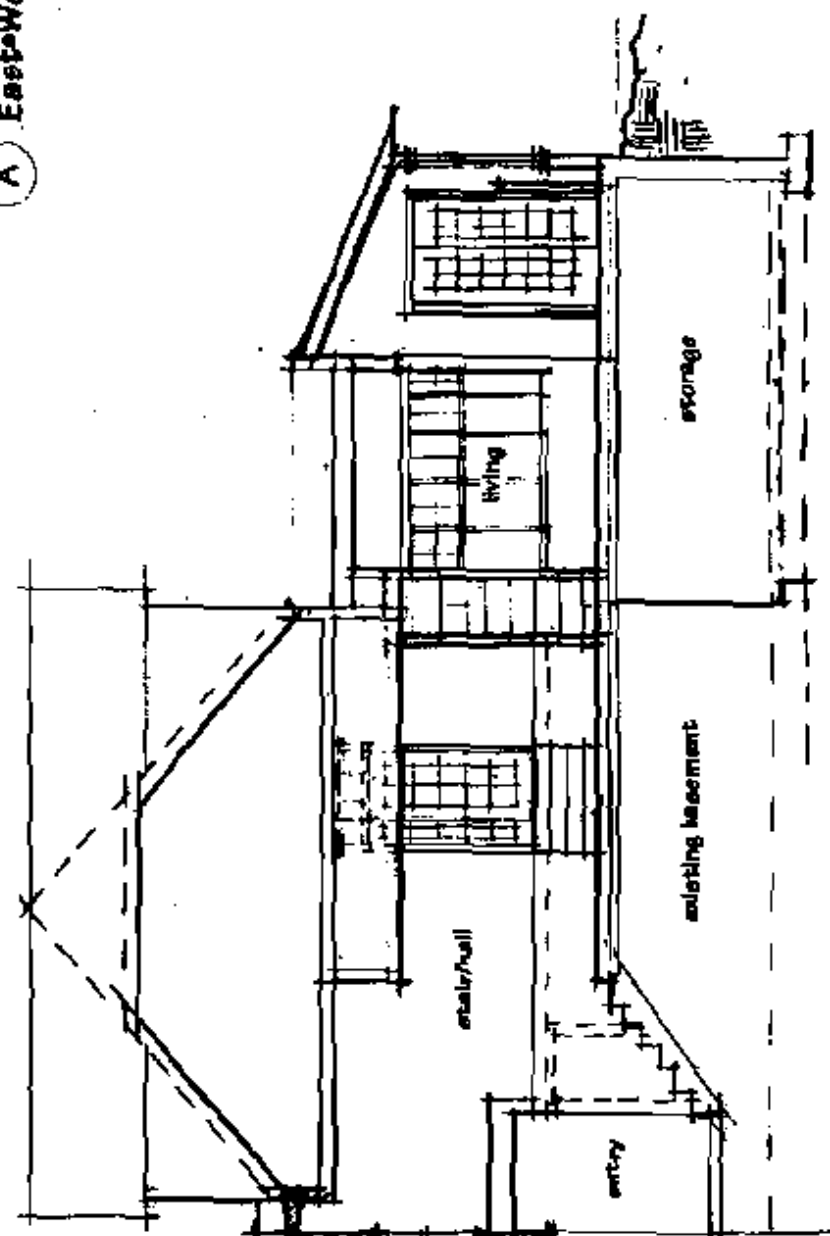
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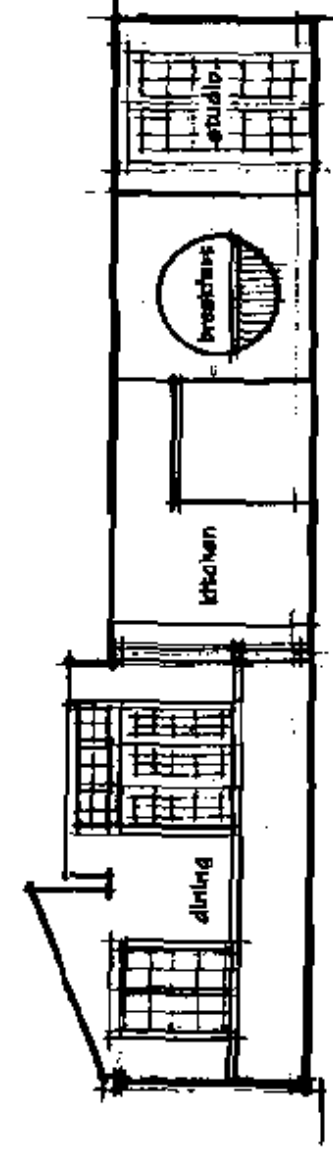


A East-West Building Section • looking south

- Head Ht. Second Floor Window
120'-4 1/2"
- Flat Roof
111'-0 1/2"
- Eave/Second Floor
108'-8"
- Head Ht. First Floor Window
108'-0"
- First Floor
100'-0"
- Ground Floor/Storage
82'-0 1/2"



C North-South Building Section • looking west



B North-South Section • looking east

MIA

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Peaks Island, Maine 04103
Phone: 207-774-0368
MIA@AEST@aol.com

06.10.89

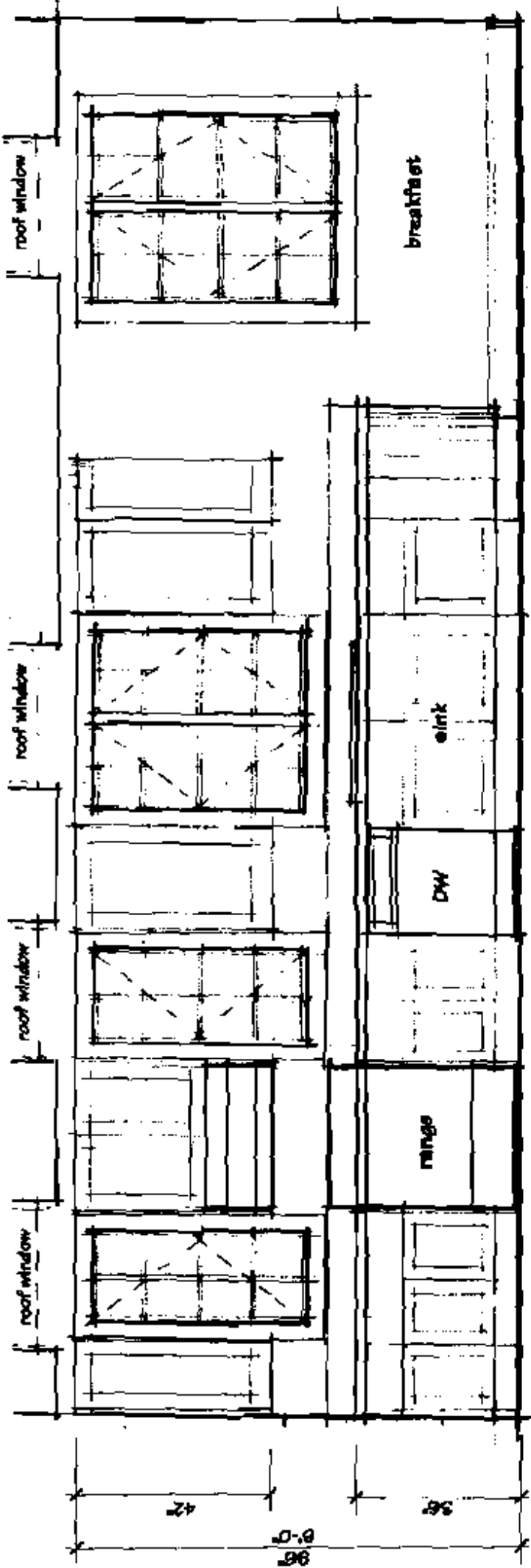
Peaks Island, Maine

FINK-FOSTER-TABBUTT RESIDENCE

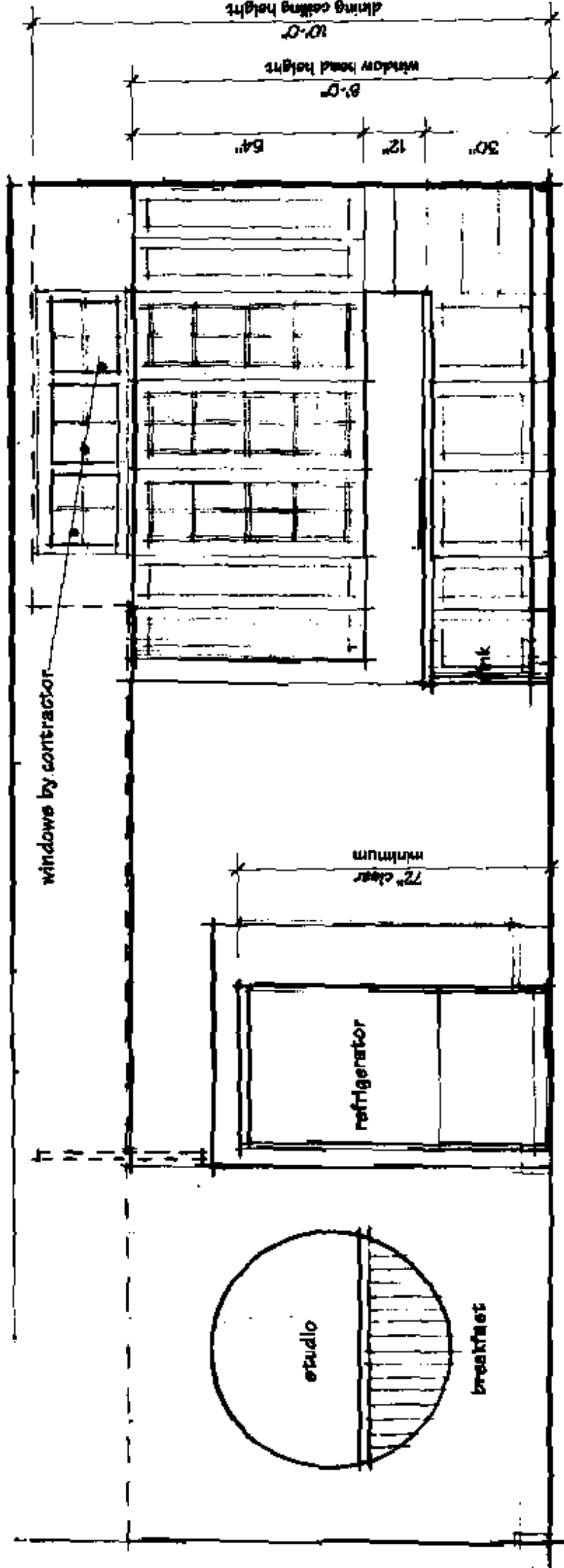
10 New Island Avenue
Kitchen Elevations • Schematic Design
3/8" = 1'-0"

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 10 of 15



A KITCHEN ELEVATION • looking east toward garden



B KITCHEN ELEVATION • looking west toward dining/Casco Bay



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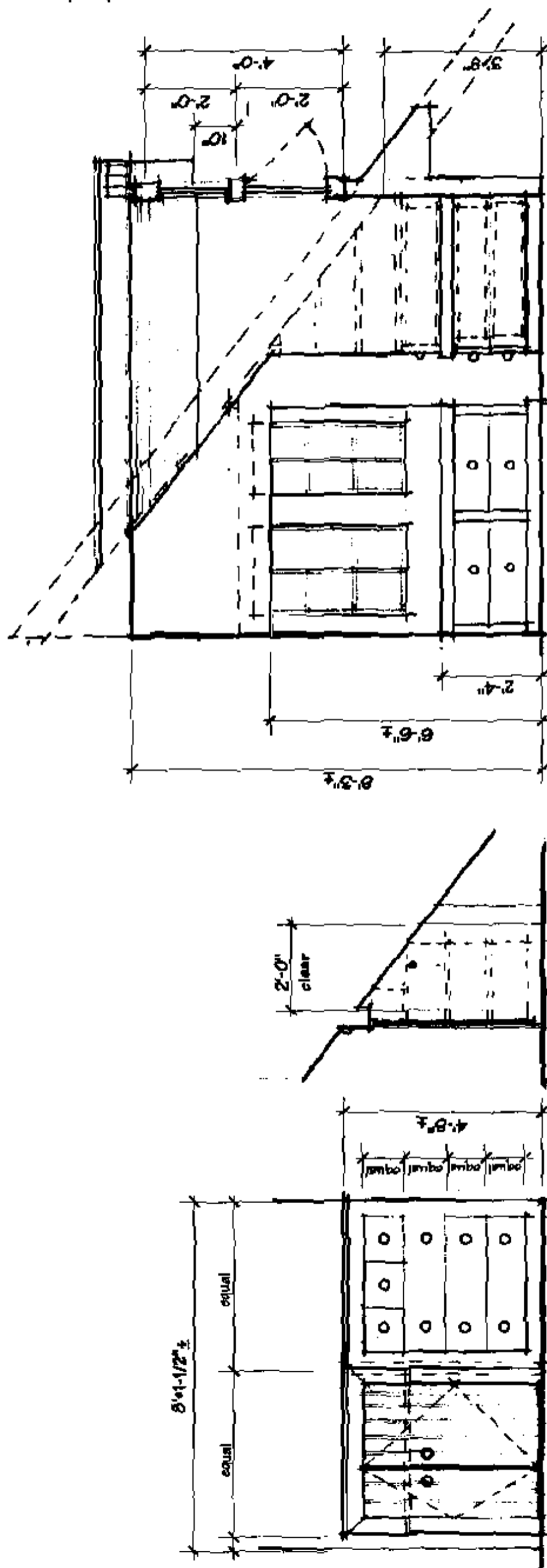
Peaks Island, Maine
 06.10.99

FNK-FOSTER-TABBUTT RESIDENCE

10 New Island Avenue
 Bedroom Casework • Schematic Design
 3/8" = 1'-0"

These drawings are schematic in nature and are for layout information. All engineering conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 11 of 15



B Alyssa's Bedroom Casework • Section

MBR Casework • Section

C Master Bedroom Casework • Elevation

A Alyssa's Bedroom Casework • Elevation

C Master Bedroom Casework • Plan

DIVISION 1 • General Requirements

Project consists of an addition and renovations to an existing residence on Peaks Island, Maine. The first floor addition includes Kitchen, Studio, Dining Room, Living Room (approximately 1215 SF), and Porch (approximately 57 SF). The addition will be constructed on a full foundation with partial basement where ledge removal is not possible. The work also includes renovations to general living spaces on the first and second floors.

The responsibility of the Contractor to comprehensively familiarize him/herself with existing site conditions, potential and/or real conflicts which may have an impact on the proposed addition/renovations shall be the responsibility of the Contractor. It is the responsibility of the Contractor to meet all local building codes and regulations. It is the responsibility of the Contractor to obtain any/all permits required to perform the work.

Work Phasing shall be as follows:
Summer/Fall 1999 Second Floor Renovations (Ann/Alyssa, Bath, Guest/Laundry, MBK Closets)
Ann/Alyssa Bay Window will wait till 2000 Phase
Master Bedroom Casework
Renovations to New Island Avenue Entry

1999/Summer/Fall 2000 Addition (Living/Porch, Dining, Kitchen, Studio)
First Floor Renovations (Studio, Dinning, Powder, Entry Hall)
Waterproofing in Entry Hall (full-height of wall) (Room Nos. 001, 102, 201)
Shingled Facade at existing Gables

Contractor shall provide line-item proposals for the following Alternatives:

1. Renovations to Entry (including reinforcing door, new closet, mudroom windows and sitework)
2. Casework for Master Bedroom and Master Bath Renovations
3. Master Bedroom Arched Windows (below existing arch window)
4. Master Bath French Casement (replace existing double-hung window)
5. Roof Windows for Guest Bedroom
6. Arthur Office/Stair Landing Window (see Window Schedule)
7. Waterproofing in Entry Hall
8. Shingled Facade at existing Gables
9. Yardside 2nd Floor (thru attic fan @ Hall #210)
10. Greenhouse/Gazebos @ existing Kitchen Bay

Other work shall be included as part of the Contractor's Base Bid.

DIVISION 2 • Structure

Contractor shall complete the work. The Contractor shall restore the site to its original condition upon completion of other work. The Owner shall be responsible for new water service (well) and/or septic modifications due to the new renovations.

DIVISION 3 • Concrete

Contractor shall complete the work, including but not limited to foundations, retaining walls, etc. Radon mitigation may be required.

DIVISION 4 • Masonry

Contractor shall complete the work, including but not limited to chimney/mantle and hearth.

DIVISION 5 • Metals

Contractor shall complete the work, including but not limited to metal fasteners, flashing, etc.

DIVISION 6 • Wood and Plastics

Contractor shall complete the work, including but not limited to rough carpentry, finish carpentry, casework, etc.
Interior Studs: 2x6 Interior Studs: 2x4

Exterior Wood Siding: Cedar shingles @ addition. Clapboards to match existing elsewhere.

Exterior Wood Trim: Pine trim, primed. Corner Trim: Match existing @ clapboards... none @ shingles.

Window Trim: by window manufacturer. Other: as required for IRR.

Interior Soffits: T&G Cedar.

Interior Deck Railing: Cedar shingles

Interior Decking/Stair: Non-hazardous material, as selected by Owner (i.e. redwood, teak, etc.)

Interior Wood Trim: Profile and finish as selected by Owner.

Interior Wood Waterproofing: Profile and finish as selected by Owner.

DIVISION 7 • Thermal and Moisture Protection

As required to complete the work, including but not limited to waterproofing, dampproofing, foundation drainage, vapor barrier(s), air barrier(s), insulation, firestopping, roofing, flashing/sheet metal, joint sealers, etc.

- Sloped Roof: Fiberglass roof shingles to match existing in profile and color. Include continuous ridge vents at peak and combine soffits vents at eaves.
- Roof Insulation: Full-thickness batt insulation with air venting panels at roof deck and moisture barrier on interior.
- Flash/Insulation Roof: Rubber membrane roofing systems including insulation, drainage, etc.
- Wall Insulation: Full-thickness batt insulation with moisture barrier on interior.
- Air Barrier: Exterior walls abutting shall be covered with air barrier similar to Tyvek.
- Foundation Drainage Composite: Drainage composite system by Hydrocoat. Provide complete system and install as per manufacturer's recommendations.
- Foundation Drains: 4" perforated PVC pipe set in crushed stone, place at perimeter of all footings.

DIVISION 8 • Doors and Windows

As required to complete the work, including but not limited to doors, hardware, windows, screens, shades, etc. Hardware finish and shading devices as selected by Owner (provide hardware allowance).

SEE DOOR SCHEDULE on drawings

SEE WINDOW SCHEDULE on drawings

DIVISION 9 • Finishes

As required to complete the work, including but not limited to gypsum wallboard, floor coverings, painting, etc. Selection of finishes shall be by the Owner.

SEE ROOM FINISH SCHEDULE on drawings

DIVISION 10 • Specialties

As required to complete the work, including but not limited to storage/closet shelving (adjustable), etc.

DIVISION 11 • Equipment

As required to complete the work, including but not limited to bath/bathroom cabinets and countertops, etc.

SEE KITCHEN PLAN/ELEVATIONS on drawings (Appliances as selected by Owner).

DIVISION 12 • Furnishings ... not applicable.

DIVISION 13 • Special Construction ... not applicable.

DIVISION 14 • Conveying Systems ... not applicable.

DIVISION 15 • Mechanical Systems

As required to complete the work, including but not limited to basic mechanical materials and methods for plumbing and heating/ventilation. Plumbing fixtures as selected by Owner (provide fixture allowance).

- Heating/Ventilation compatible with existing system or as directed by the Owner.
- The first floor general living spaces shall have radon floor heating (Living/Dining/Library/Kitchen/Studio/Darkroom Suite).
- Special plumbing and mechanical venting/attic fan shall be paid to the Bathrooms and Darkroom.
- Ventilate 2nd floor (thru attic fan @ Hall #210) ... Atticmate No. 8.

DIVISION 16 • Electrical

As required to complete the work, including but not limited to basic electrical materials and methods, lighting controls, etc. Coordinate electrical layout with Owner prior to rough-in.

- Light Fixtures: As selected by Owner. Provide allowance.
- Switch/Wall Plates: White. Provide allowance.
- Specialty Wiring: Contractor shall coordinate power, cable and fiber optic needs with the Owner for the following spaces: Arthur, Ann, Alyssa, Library and Darkroom.

SPECIAL NOTE ON HAZARDOUS MATERIALS:

The Owner would like to minimize the use of toxic and hazardous materials and/or products (i.e. pressure treated wood, processed boards and/or other materials that may give off toxic gases for the life of the product, etc.). The Contractor shall take care to provide products that are friendly to the environment in production and in permanent placement.



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Peaks Island, Maine
06.10.99

FNK-FOSTER-TABUTT RESIDENCE

10 New Island Avenue
Outline Specifications

These drawings are schematic in nature and are for general information. All engineering conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 12 of 15



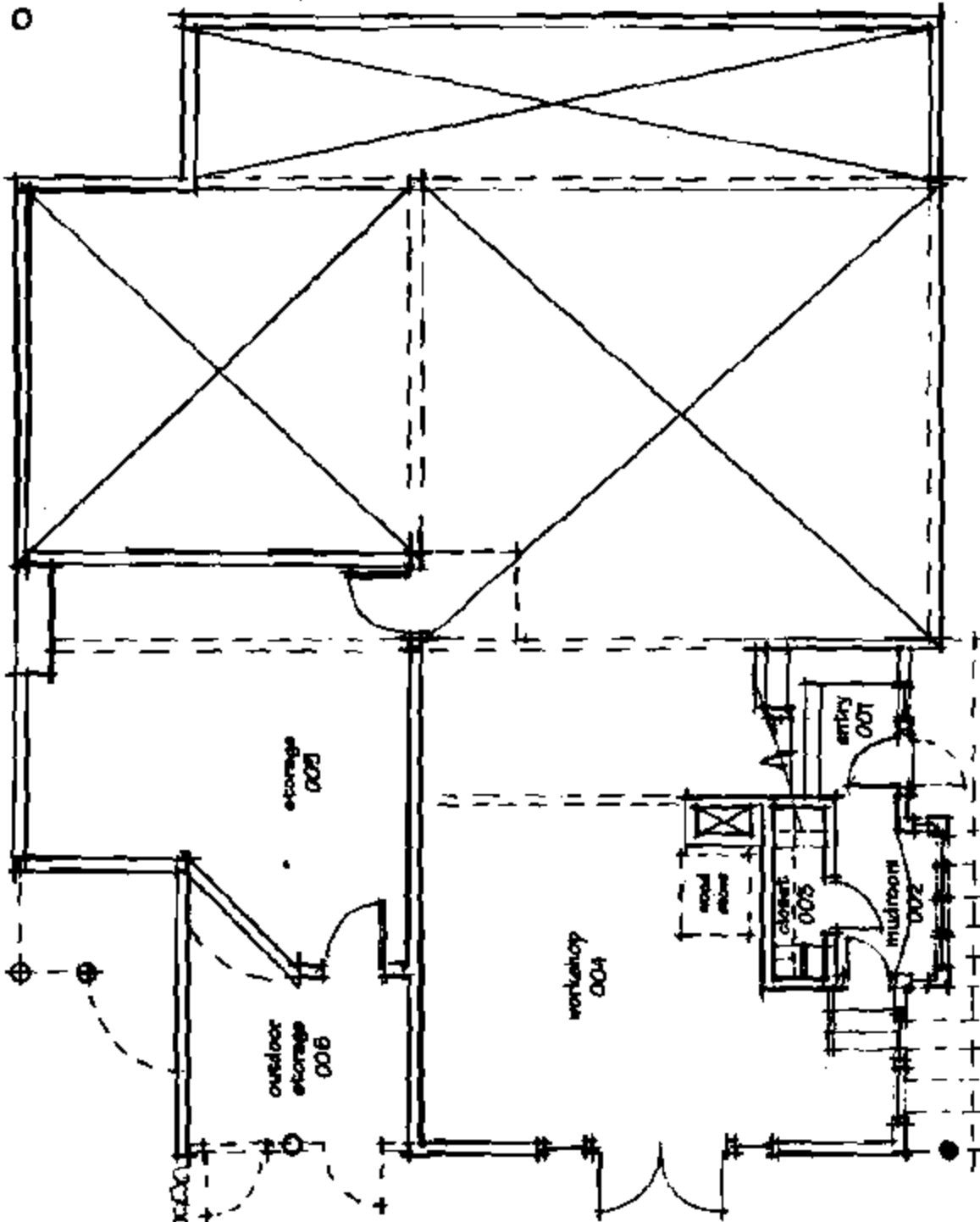
Marilyn Lakin Architect
 84 Bass Street
 Portland, Maine 04103
 Phone 207-774-3666
 MILA@BESTON.AOL.COM

FINK-FOSTER-TARBUTT RESIDENCE
 Peaks Island • Maine
 06.10.99

10 New Island Avenue
 Ground Floor Electrical Plan • Schematic Design
 1/8" = 1'-0"

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 13 of 15



LAYOUT • BY • OWNER



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MILAS4BEST@aol.com

FINK-FOSTER-TABRUTT RESIDENCE

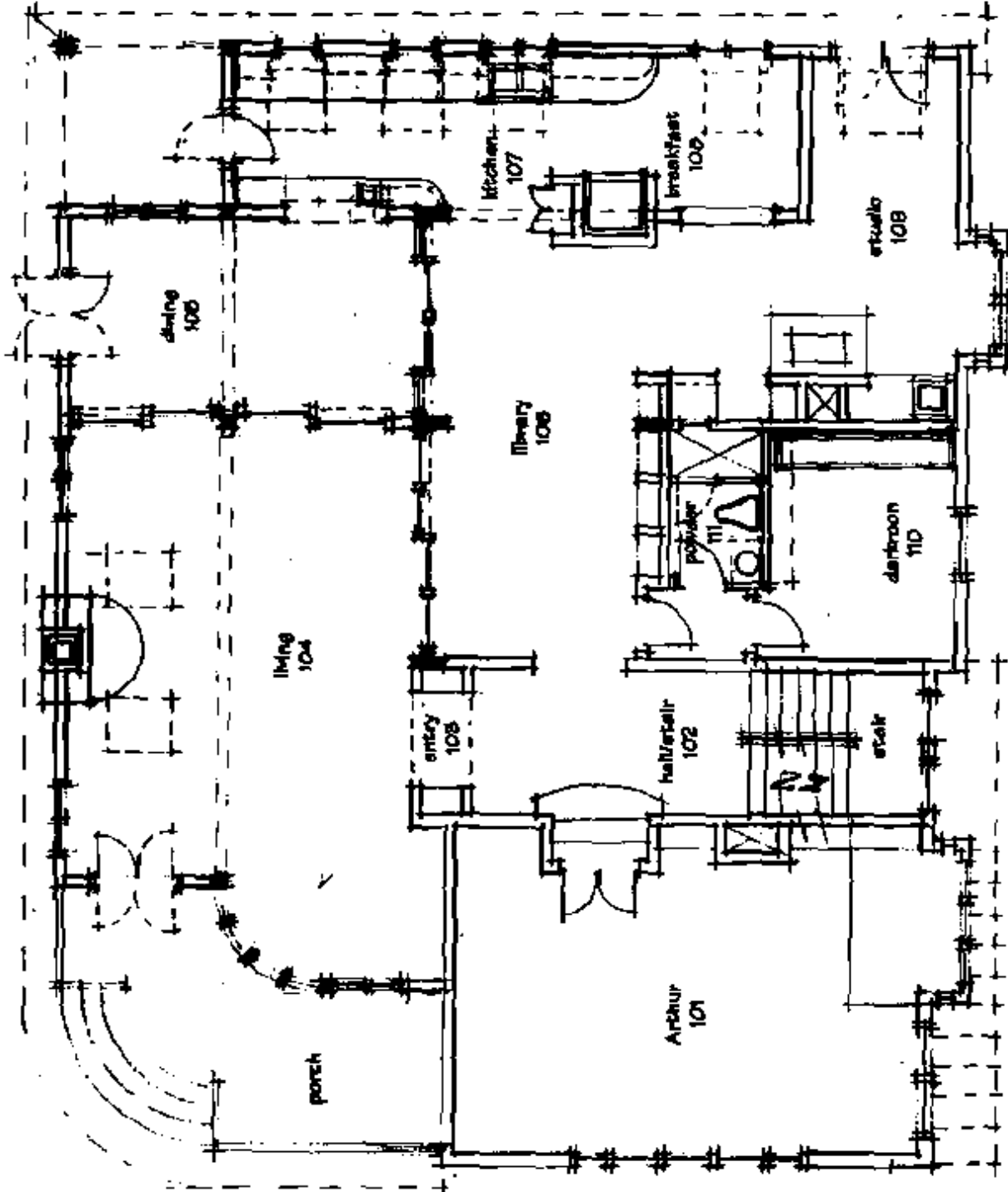
Peaks Island • Maine

08.10.99

10 New Island Avenue
First Floor Electrical Plan • Schematic Design
1/8" = 1'-0"

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 14 of 18



LAYOUT • BY • OWNER



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 MLLA84BEB37@AOL.COM

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Peaks Island, Maine

FNK·FOSTER·TABUTT RESIDENCE

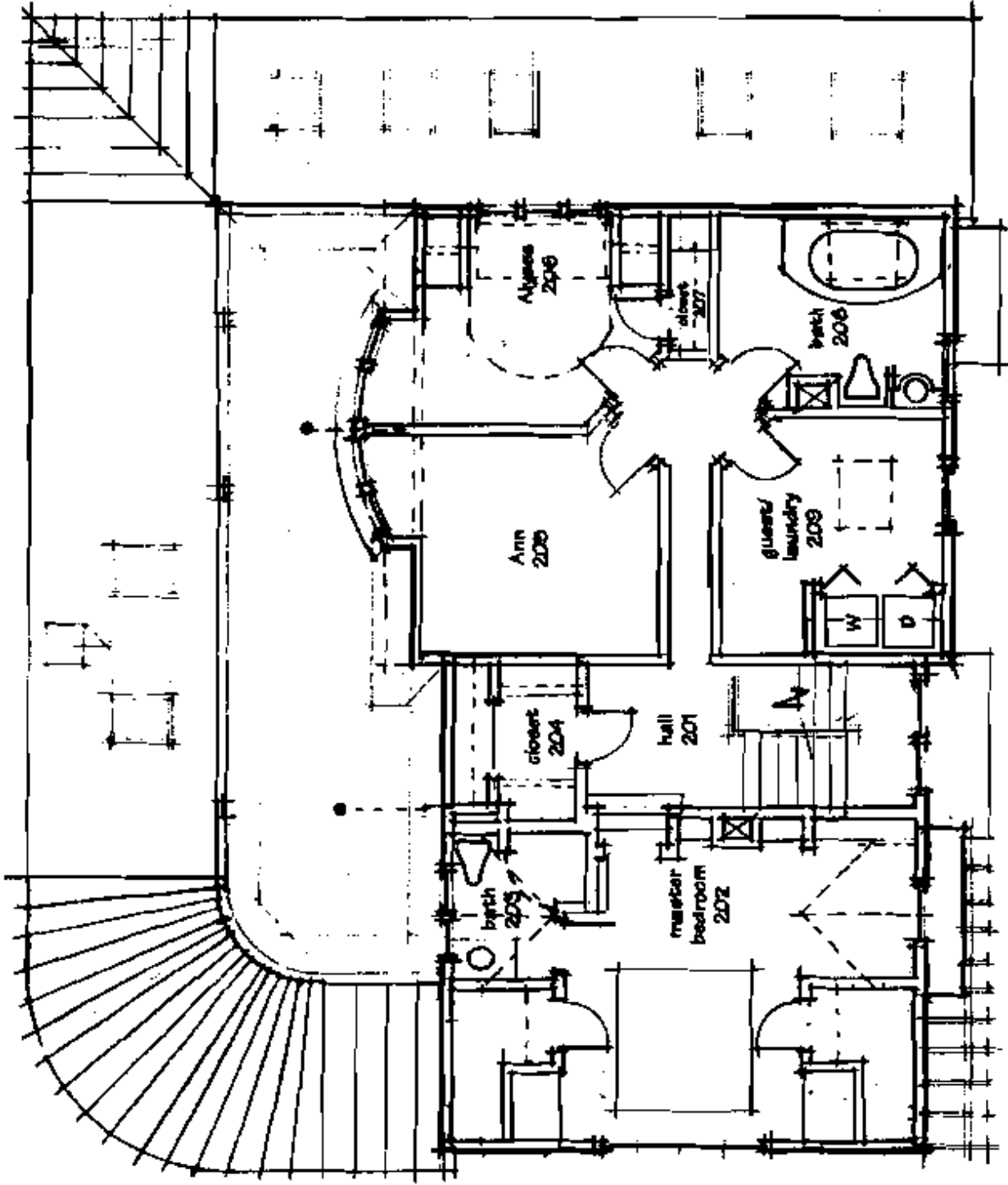
10 New Island Avenue

Second Floor Electrical Plan • Schematic Design

1/8" = 1'-0"

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Sheet No. 15 of 15



LAYOUT • BY • OWNER