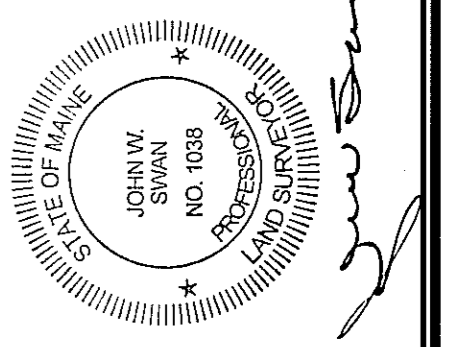




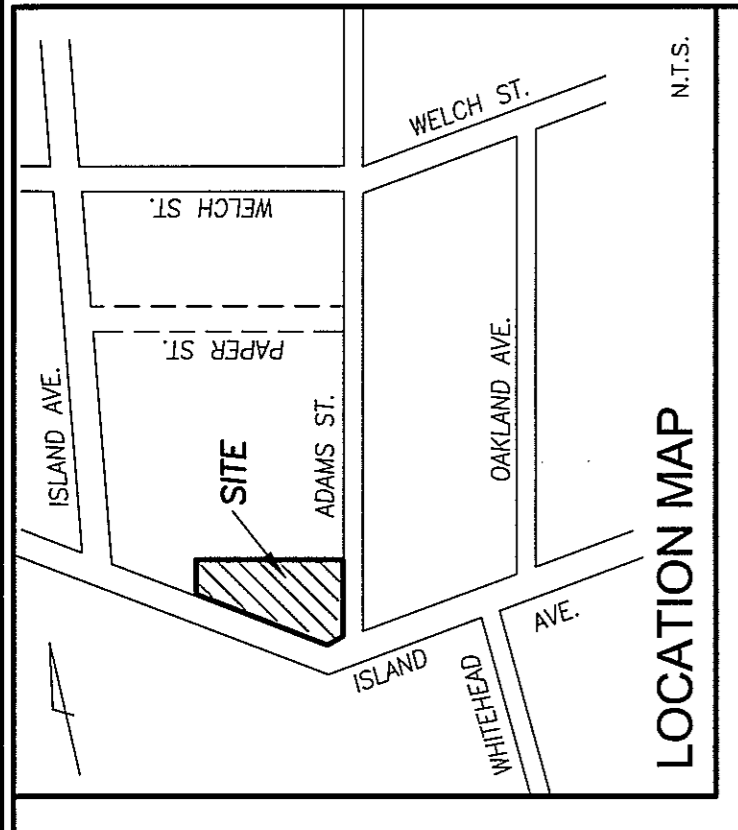
Inspections Division

Date: 10/20/14

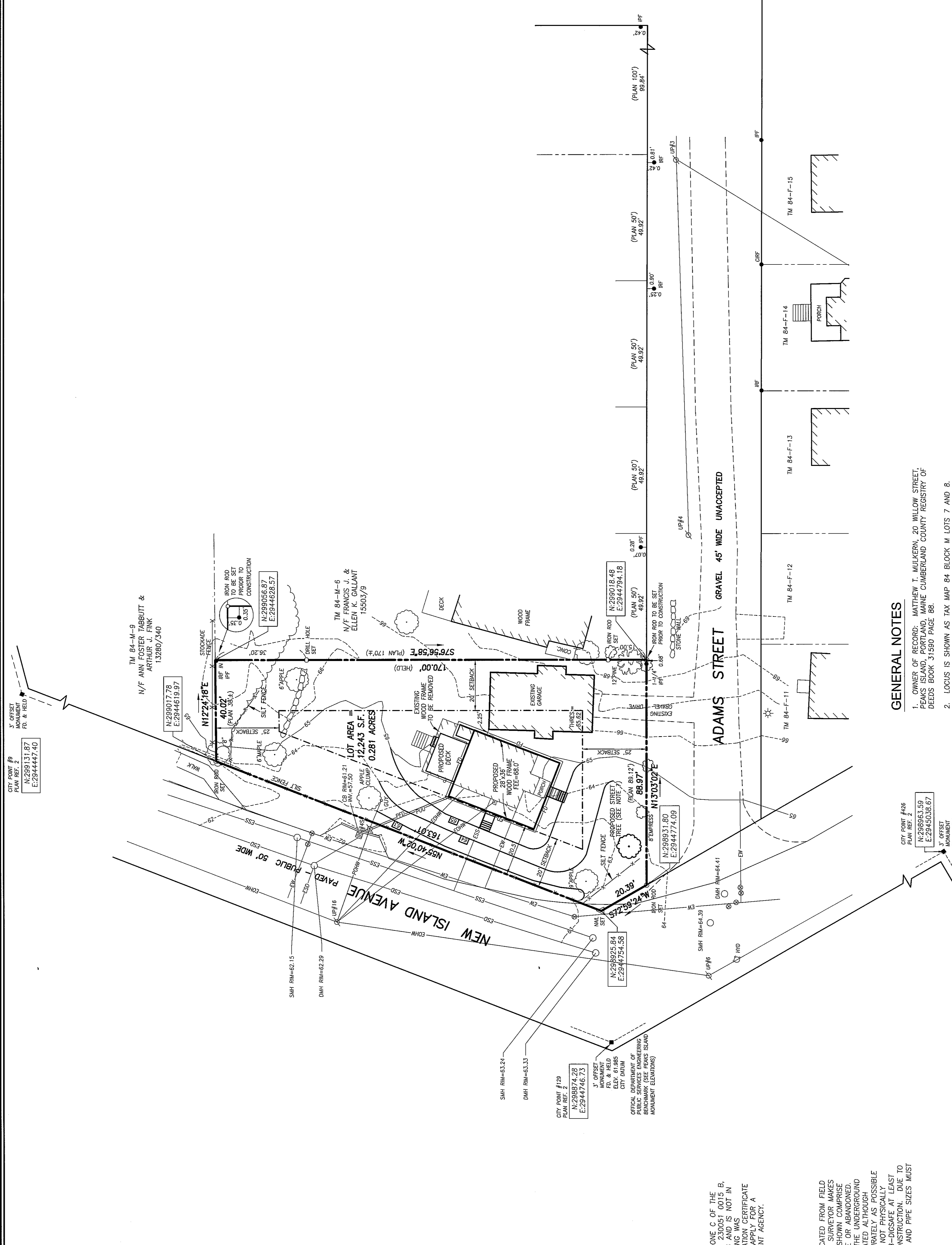
REV. 110-10-17	4 ADAMS STR	MP
	20 WILLOW ST	OT
		390 U.S.
	Drawn By	JCS
	Trace By	JLV/J
	Check By	JCS
	Book No.	1125



LOT SIZE = 12,243 S.F.
 LOT COVERAGE = 2,275 S.F.
 % OF SITE COVERED = 18.6%
 TOTAL DISTURBED AREA = 4,533 S.F.
 % OF SITE DISTURBED = 37%
 GROUND FLOOD AREA OF BUILDING = 1,008 S.F.



N.T.S.

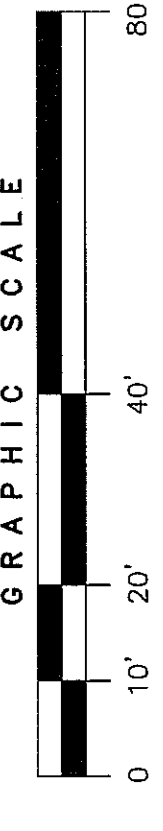


GENERAL NOTES

- OWNER OF RECORD: MATTHEW T. MULKERN, 20 WILLOW STREET, PEAKS ISLAND, PORTLAND, MAINE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 31590 PAGE 86.
- LOCUS IS SHOWN AS TAX MAP 84 BLOCK M LOTS 7 AND 8.
- BEARINGS ARE GRID NORTH AS BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE 2.
- FRONTAGE DISTANCES ON ADAMS STREET ARE PROBABLY BASED ON FIELD DISTANCE BETWEEN ISLAND AVENUE AND PROPOSED STREET (AS SHOWN ON TAX MAP 84) FOUND AS SHOWN ON PLAN REFERENCE 2.
- ELEVATIONS ARE BASED ON CITY DATUM, CITY POINT 129, 3 FOOT ELEVATION CORRELATION 61.985 DEPARTMENT OF PUBLIC SERVICES ENGINEERING BENCHMARK.
- PROPOSED RESIDENCE TO USE EXISTING WATER AND SEWER CONNECTIONS.
- PROPOSED TREE TO MEET THE CITY'S ARBORETCULTURAL SPECIFICATIONS AND STANDARDS. PROPERTY OWNER SHALL CONSULT WITH THE CITY ARBORIST FOR RECOMMENDED TREE SPECIES.
- PER USDA NRCS WEB SOIL SURVEY THE SITE SOILS ARE HOLLIS VERY ROCKY FINE SANDY LOAM.

PLAN REFERENCES

- "PLAN OF A PORTION OF LAND ON PEAK'S ISLAND, OWNED BY THE WELCH AND HILDREN HEIRS WITH PROPOSED STREETS AND LOTS" RECORDED IN PLAN BOOK 13 PAGE 117
- "RIGHT-OF-WAY SURVEY FOR WELCH STREET AND ISLAND AVENUE ON PEAK'S ISLAND, JUNE 5, 2003 CITY OF PORTLAND, MAINE PUBLIC WORKS DEPARTMENT ENGINEERING SECTION"



LEGEND

- FROM PIPE OR ROD FOUND
- MANHOLE FOUND
- WATER VALVE
- UTILITY POLE
- MANHOLE
- HYDRANT
- EXISTING FENCE
- STONE WALL
- CURB
- OVERHEAD WIRES
- EXISTING 1' CONTOUR
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING SHRUB
- PROPOSED CONTOUR
- FD
- ESS
- ESP
- EW
- EDHW
- POHW
- PUU
- X

ZONING

THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND'S R2 ZONE.

- MINIMUM LOT SIZE: 20,000 S.F.
- MINIMUM STREET FRONTAGE: 70 FT.
- MINIMUM SIDE SETBACK: 25 FT.
- REAR SETBACK: 25 FT.
- SIDE SETBACK: 20 FT.
- MAXIMUM LOT COVERAGE: 20%

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD HAZARD MAP. THE FLOOD HAZARD MAP IS A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS ADVISED THE UNDERGROUND UTILITIES CALLER AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. OSHA CONFIRMED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.