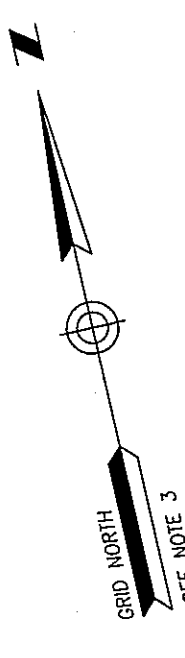
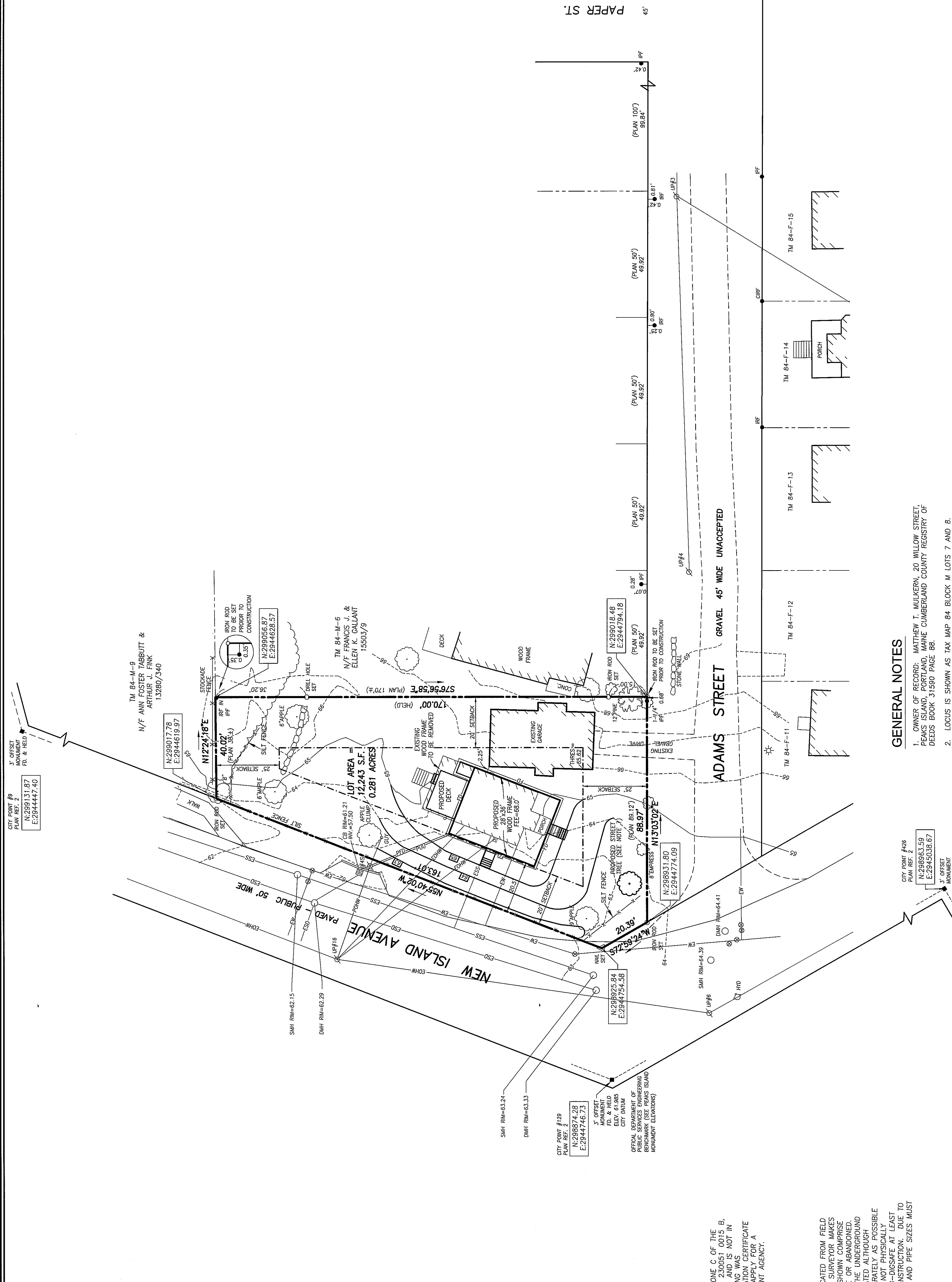


LOCATION MAP

N.T.S.



GRID NORTH  
SEE NOTE 3

**LEGEND**

- IRON PIPE OR ROD FOUND
- WATER MAIN FOUND
- UTILITY POLE
- MANHOLE
- HYDRANT
- EXISTING FENCE
- STONE WALL
- CURB
- OVERHEAD WIRES
- EXISTING 1" CONTOUR
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING SHRUB
- PROPOSED CONTOUR
- PROPOSED FOUNDATION DRAIN
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD WIRES
- PROPOSED OVERHEAD WIRES
- PROPOSED UNDERGROUND UTILITIES
- SILT FENCE

**ZONING**

THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND'S R2 ZONE.

MINIMUM LOT SIZE: 20,000 S.F.  
 MINIMUM STREET FRONTAGE: 70 FT.  
 REAR SETBACK: 25 FT.  
 SIDE SETBACK: 20 FT.  
 MAXIMUM LOT COVERAGE: 20%

**FLOOD NOTE**

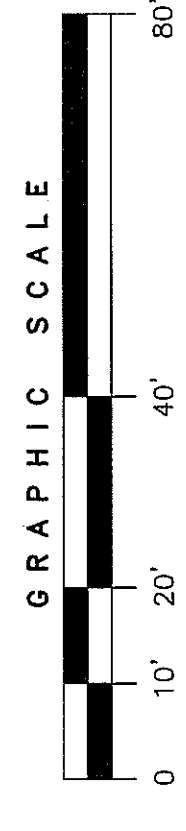
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE 100 YEAR FLOOD PLAIN WITH A FLOOD ELEVATION OF 15.8 FEET. THE SURVEYOR HAS NOT PERFORMED A SPECIAL FLOOD HAZARD AREA SURVEY. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**UTILITY NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT DISCERNED ANY THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO CSHA COMBINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

**PLAN REFERENCES**

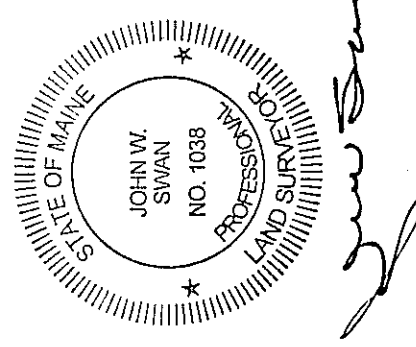
1. "PLAN OF A PORTION OF LAND ON PEAK'S ISLAND, OWNED BY THE WELCH AND HIERCKE FAMILIES, WITH PROPOSED STREETS AND LOTS" RECORDED IN PLAN BOOK 13 PAGE 117
2. "RIGHT-OF-WAY SURVEY FOR WELCH STREET AND ISLAND AVENUE ON PEAK'S ISLAND, JUNE 5, 2003 CITY OF PORTLAND, MAINE PUBLIC WORKS DEPARTMENT ENGINEERING SECTION"



**GENERAL NOTES**

1. OWNER OF RECORD: MATTHEW T. MULKERN, 20 WILLOW STREET, PEAKS ISLAND, PORTLAND, MAINE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 31590 PAGE 88.
2. LOCUS IS SHOWN AS TAX MAP 84 BLOCK M LOTS 7 AND 8.
3. BEARINGS ARE GRID NORTH AS BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE 2.
4. FRONTAGE DISTANCES ON ADAMS STREET ARE PROBABLY BASED ON FIELD DISTANCE BETWEEN ISLAND AVENUE AND PROPOSED STREET (AS SHOWN ON TAX MAP 94) FOUND AS SHOWN ON PLAN REFERENCE 2.
5. ELEVATIONS ARE BASED ON CITY DATUM, CITY POINT 129, 3 FOOT ELEVATION. ELEVATION 61.985 DEPARTMENT OF PUBLIC SERVICES ENGINEERING BENCHMARK.
6. PROPOSED RESIDENCE TO USE EXISTING WATER AND SEWER CONNECTIONS.
7. PROPOSED TREE TO MEET THE CITY'S ARBORICULTURAL SPECIFICATIONS AND STANDARDS. PROPERTY OWNER SHALL CONSULT WITH THE CITY ARBORIST FOR RECOMMENDED TREE SPECIES.
8. PER USDA NRCS WEB SOIL SURVEY THE SITE SOILS ARE HOLLIS VERY ROCKY FINE SANDY LOAM.

LOT SIZE = 12,243 S.F.  
 LOT COVERAGE = 2,275 S.F.  
 % OF SITE COVERED = 18.6%  
 TOTAL DISTURBED AREA = 4,533 S.F.  
 % OF SITE DISTURBED = 37%  
 GROUND FLOOD AREA OF BUILDING = 1,008 S.F.



REV. 1110-10-14 | UPDATE PLAN PER CITY COMMENTS

**SITE PLAN**  
 AT  
 MADE FOR OWNER OF RECORD  
**MATTHEW MULKERN**  
 20 WILLOW STREET, PEAKS ISLAND, PORTLAND, MAINE

**OWEN HASKELL, INC.**  
 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424  
 PROFESSIONAL LAND SURVEYORS

Drawn By: JCS  
 Trace By: JCS  
 Check By: JCS  
 Date: AUGUST 19, 2014  
 Scale: 1" = 20'  
 Job No.: 2014-015P  
 Dwg. No.: 15P