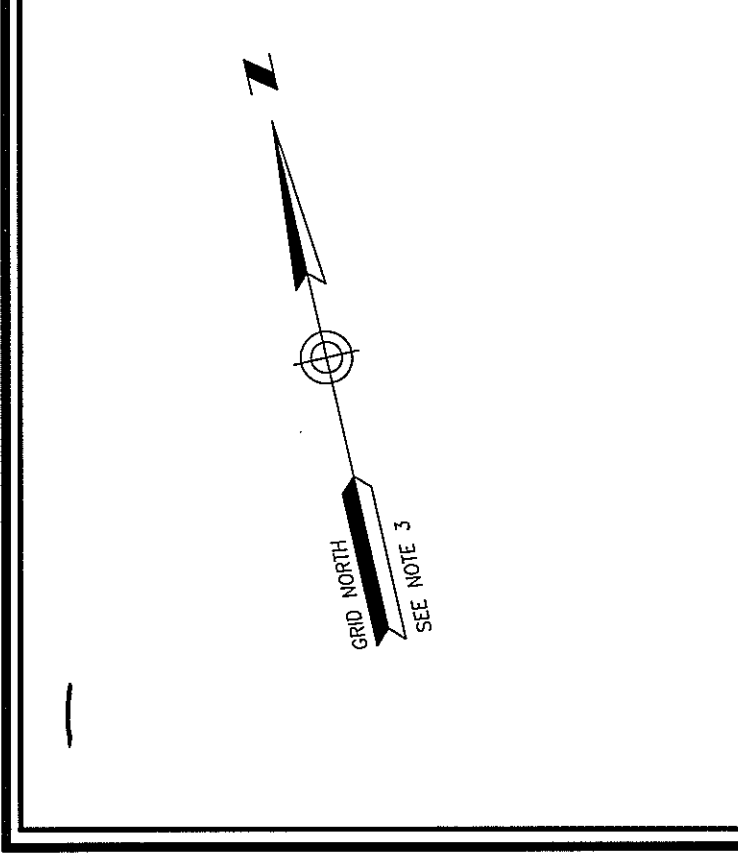
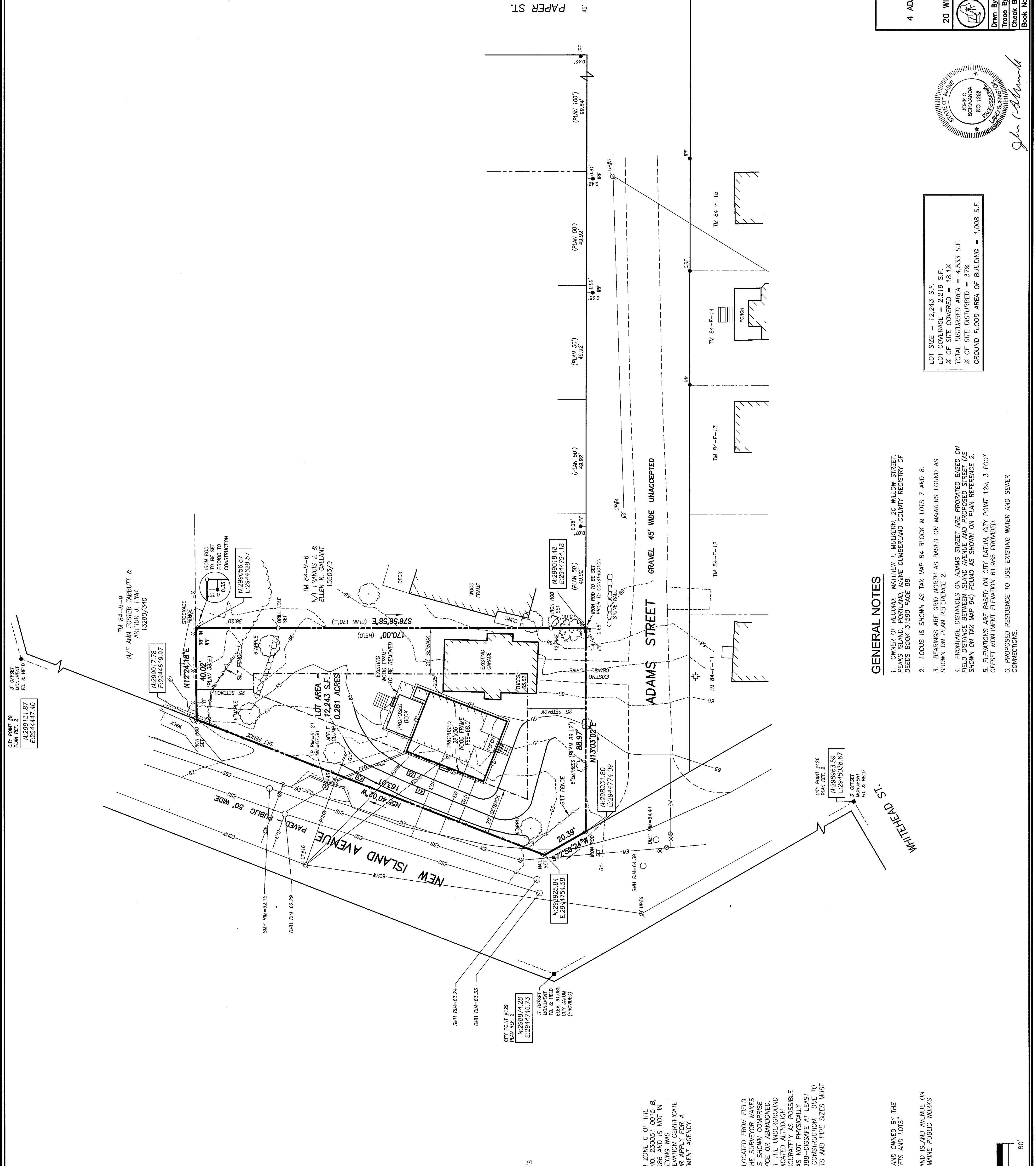


LOCATION MAP
N.T.S.



LEGEND

- IRON PIPE OR ROD FOUND
- MONUMENT FOUND
- WATER VALVE
- UTILITY POLE
- MANHOLE
- EXISTING FENCE
- STONE WALL
- CURB
- OVERHEAD WIRES
- EXISTING 1' CONTOUR
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING SHRUB
- PROPOSED CONTOUR
- PROPOSED FOUNDATION DRAIN
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD WIRES
- PROPOSED OVERHEAD WIRES
- PROPOSED UNDERGROUND UTILITIES
- SILT FENCE

ZONING

THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND'S R2 ZONE.
 MINIMUM LOT SIZE: 20,000 S.F.
 MINIMUM STREET FRONTAGE: 70 FT.
 FRONT SETBACK: 25 FT.
 SIDE SETBACK: 20 FT.
 MAXIMUM LOT COVERAGE: 20%

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 0015 B, WHICH SHOWS A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

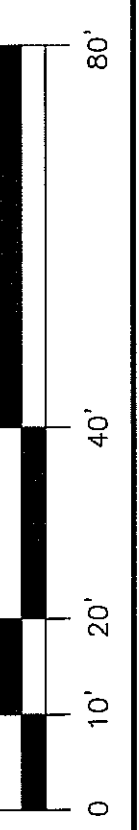
UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 888-688-6882 AT LEAST 48 HOURS BEFORE ANY CONSTRUCTION. ALL INSTALLATIONS TO OSHA CONFIRMED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

PLAN REFERENCES

1. PLAN OF A PORTION OF LAND ON PEAK'S ISLAND OWNED BY THE PEAKS ISLAND TRUST, PORTLAND, MAINE, RECORDED IN PLAN BOOK 13 PAGE 117
2. "RIGHT-OF-WAY SURVEY FOR WELCH STREET AND ISLAND AVENUE ON PEAKS ISLAND JUNE 5, 2003 CITY OF PORTLAND, MAINE PUBLIC WORKS DEPARTMENT ENGINEERING SECTION"

GRAPHIC SCALE



GENERAL NOTES

1. OWNER OF RECORD: MATTHEW T. MULKERN, 20 WILLOW STREET, PEAKS ISLAND, MAINE, CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 31590 PAGE 66.
2. LOCUS IS SHOWN AS TAX MAP B4 BLOCK M LOTS 7 AND 8.
3. BEARINGS ARE GRID NORTH AS BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE 2.
4. FRONTAGE DISTANCES ON ADAMS STREET ARE PRORATED BASED ON FIELD DISTANCE BETWEEN ISLAND AVENUE AND PROPOSED STREET (AS SHOWN ON TAX MAP 94) FOUND AS SHOWN ON PLAN REFERENCE 2.
5. ELEVATIONS ARE BASED ON CITY DATUM, CITY POINT 129, 3 FOOT OFFSET. MONUMENT ELEVATION 61.985 PROVIDED.
6. PROPOSED RESIDENCE TO USE EXISTING WATER AND SEWER CONNECTIONS.

LOT SIZE = 12,243 S.F.
 LOT COVERAGE = 2,219 S.F.
 % OF SITE COVERED = 18.1%
 TOTAL DISTURBED AREA = 4,533 S.F.
 % OF SITE DISTURBED = 37%
 GROUND FLOOD AREA OF BUILDING = 1,008 S.F.

SITE PLAN
 AT
 4 ADAMS STREET, PEAKS ISLAND, PORTLAND, MAINE
 MADE FOR OWNER OF RECORD
MATTHEW MULKERN
 20 WILLOW STREET, PEAKS ISLAND, PORTLAND, MAINE
OWEN HASKELL, INC.
 3800 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
 PROFESSIONAL LAND SURVEYORS

Drawn By	JCS	Date	AUGUST 19, 2014	Job No.	2014-015P
Trace By	JCS	Scale	1" = 20'	Drawn No.	15P
Check By	JCS	Book No.	1125		

