

84-L-7

2005-034

33 Island Ave. - P.I.

walkway and Ground leveling
Island Acquisition

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2005-0134
Application I. D. Number

5/13/2005
Application Date

Walkway and Ground Leveling
Project Name/Description

Island Acquisiton Lic
Applicant
86 Newbury Street, Portland , ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 450-1104 Applicant Fax: (207) 775-5567
Applicant or Agent Daytime Telephone, Fax

33 - 33 Island Ave, Portland, Maine
Address of Proposed Site
084 L007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) Walkway

12,036 s.f. Proposed Building square Feet or # of Units
Acreage of Site
IB Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review _____ Date 6/23/2005

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |



City of Portland Site Plan Application

If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: <u>33 Island Avenue Peaks Island Zone: 1B</u>		
Total Square Footage of Proposed Structure: <u>12036</u>	Square Footage of Lot: <u>20,288</u>	
Tax Assessor's Chart, Block & Lot: Chart# <u>084</u> Block# <u>L</u> Lot# <u>007-0011</u>	Property owner's mailing address: <u>Island Acquisition LLC</u> <u>86 Newbury St</u> <u>Portland, ME 04101</u>	Telephone #: <u>207 450 1104</u>
Consultant/Agent, mailing address, phone # & contact person: <u>Joe Chalot</u> <u>Archtype, P.A.</u> <u>48 Union Wharf</u> <u>Portland, ME 04101</u> <u>772-6022</u>	Applicant's name, mailing address, telephone #/Fax#/Pager#: <u>Fred Forsley</u> <u>Island Acquisition LLC</u> <u>86 Newbury St</u> <u>Portland ME 04101</u> <u>450 1104 P 775-5567 F</u>	Project name: <u>Walkway and ground leveling</u>
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input checked="" type="checkbox"/> Other <u>Concrete walkway, concrete slab for portable cooler, landscaping - ground leveling for drainage</u>		
Major Development (more than 10,000 sq. ft.) <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
Minor Site Plan Review <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
Plan Amendments <input checked="" type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00)		

- Please see next page -

Who billing will be sent to (Company, Contact Person, Address, Phone #)

Fred Fivley
Island Aquatics LLC
86 Newbury St
Portland ME 04101

Submittals shall include (9) separate folded packets of the following:

- copy of application
- cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-222 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit as may be reasonable to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Fred Fivley, Manager Date: 5-13-05

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The Application Fee covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an Engineering Review Fee. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A Performance Guarantee will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An Inspection Fee must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a Defect Guarantee in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

DRAFT

July 1, 2005

Mr. Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, Maine 04101

RE: Proposed Amendment to an Approved Site Plan
Inn on Peaks – 33 Island Avenue – Walkway and Ground Leveling
Application #2005-0134

Dear Mr. Forsley:

The Portland Planning Division has received the above referenced application for an amendment to an approved site plan. The Portland Planning Board originally granted approval of the Inn project to Mr. Ric Weinschenk on July 24, 2001. On November 1, 2004, you applied for and were granted an administrative amendment to the approved site plan. The 2004 amendment was to for a change of use from a hardware store to a restaurant/bar in a 1,030 square foot portion of the Inn as well as the expansion of an innkeeper's unit in the attic from 608 to 3,040 square feet.

Staff has conducted a comprehensive project review of your current application based on materials submitted to date including a site plan submitted by Pinkham & Greer Engineers and a memo from you dated June 21, 2005. This letter is to summarize the results of that review and to provide you with a clear and comprehensive picture of what will be required for you application to be found complete and approvable.

1. Application Completeness

Generally, staff has noted that the application contains conflicting and confusing information. Moreover, certain relevant information required under the site plan ordinance has not been submitted. Please provide a comprehensive project narrative detailing the complete scope the proposed site plan amendment. Please also revise the site plan to accurately depict existing and proposed conditions. For your convenience, I have attached a copy of the site plan application checklist.

- A. The application submitted May 13, 2005 is for "Walkway and Ground Leveling", however the site plan submitted June 2, 2005 shows no changes to grades and no proposed walkway is identified.
- B. The application form and site plan make no reference to the 3,200 square foot tent, which is detailed in your June 21, 2005 memo. Please provide elevations and specifications of the proposed tent as may be found in vendor's catalog cuts. Please also indicate on the site plan where the tent is proposed to be sited.
- C. Please provide a detailed description of the intended use of the proposed tent including anticipated number of occupants, hours of operation, frequency of use, etc. Please also describe how the project will conform with the City's Noise Ordinance. Will there be amplified music or a public address system used on the proposed tent?
- D. Please provide evidence of right, title, and interest in the subject property.
- E. Please describe any proposed exterior lighting.
- F. Please provide a detailed drainage plan showing existing and proposed conditions.
- G. Please provide a landscape plan including all vegetation and screening, existing and proposed.

2. Engineering

The City's consulting civil engineer, Jim Seymour P.E. of Sebago Technics, Inc., has reviewed the proposed plans and issued comments on June 30, 2005 as follow:

- **Grading/Erosion Control**

- A. The surface conditions under the proposed canopy are brick, but the plans call for stone dust. Will the surface be regarded and reworked under the canopy? Appropriate BMPs will need to be shown installed on the plan. Also the applicant shall be responsible for sweeping and clearing the parking area and all access from tracked soils, and or dust from tracked materials.
- B. Drainage from the canopy will drain under and through the covered area as shown. Please provide means of directing drainage towards the existing catch basin in Island Ave. We recommend a French Drain type of

installation along the drip edge and tying it to the street drainage. Due to seasonal use freezing will not be a problem or concern.

- C. The gravel surface between proposed gravel pads on the northeast corner of the building will be problematic unless a drain is installed or unless the entire driveway is capped in concrete or bituminous. Runoff will saturate the gravel and the difference in materials will create ruts along the edges and will further pond water and deteriorate both concrete and gravel surfaces. If the area was paved or installed with concrete both the maintenance conditions and life expectancy will be enhanced.

- **Utility Information**

- A. Will electrical services originally placed underground for the lighting, in the canopy area still be utilized, or will a new service be set in place for lighting or general use?

- **General**

- A. Please be advised that the site previously had contaminated soils (some removed offsite, some disposed on-site). All excavated soils will be tested and disposed of either on or off-site in accordance with MeDEP requirements for Special Waste. Please add notes referencing this concern.
- B. We feel if the applicant submits new drawings that the site work would be easier to follow if the pre-existing conditions were removed so that only current conditions were shown on the drawing. If staff does not have other concerns then the plans could be conditionally approved, per the items above. Please contact our office with any questions.

The project plan and narrative should be revised so as to adequately address these engineering comments and concerns.

3. Zoning

The City's Zoning Administrator reviewed the proposed site plan and offered some preliminary comment and observations on a June 29, 2005 as follows:

- A. Different plans had different dimensions for figuring the size of the existing building.
- B. This project is in an I-B zone where restaurant uses are permitted. The given analysis is inaccurate. It states that the original approval did not require any parking at that time. That is untrue. Four parking spaces were required. More than four spaces were shown so it was not a zoning issue.

- C. The project would require 10 parking spaces. Currently six (6) on site spaces are being provided. Off site at the Lionel Plante Associates site, five (5) additional spaces are being provided. The submitted information says that they are about 100 feet away. However, my recollection places those spaces much more than 100 feet away. Section 14-334 requires business off-site parking to be within 100' of the business use. We will need an accurately scaled plan to show exactly where these spaces are located. If, as I suspect, the parking is over 100 feet away, they will need to go to the ZBA of PB for approval. The board would need to determine that the off-site parking is within a "reasonable" distance.
- D. The site plan given to determine zoning is inaccurate. The tent hangs over an existing porch in order to meet the setback requirements (ten feet to the side property line). In real space on the face of the earth, that can only mean that the 40' x 80' tent cannot meet the setbacks when placed on site. Perhaps a narrower tent should be considered.
- E. I have also computed the lot coverage. I differ from what has been submitted. The project has only 80 square feet to spare. I would like to confirm building dimensions since different plans scale to different dimensions. Because they are almost right on their maximum lot coverage requirements, I want to be absolutely accurate on my calculations. I would want accurate scaleable plans submitted confirming the current dimensions of the existing building.
- F. Assurances of meeting the City's noise requirements will be a condition of approval.

Please work with your project team to revise the application to address each of the above listed issues. As always, if I can be of assistance, please do not hesitate to contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,

Ethan Boxer-Macomber, AICP
Planner

CC: Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator

July 1, 2005

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Sincerely,

Ethan Boxer-Macomber, AICP
Planner

CC: Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator



04P201

TO: Ethan Boxer Macomber – Planner
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: The Inn on Peaks Island, Island Acquisition LLC
DATE: June 30, 2005

Sebago Technics has reviewed the minor/amended Site Plan Package for the Inn on Peaks Island.. The following comments/conditions are submitted in outline format:

1. Grading/Erosion Control

- A. The surface conditions under the proposed canopy are brick, but the plans call for stone dust. Will the surface be regarded and reworked under the canopy? Appropriate BMPs will need to be shown installed on the plan. Also the applicant shall be responsible for sweeping and clearing the parking area and all access from tracked soils, and or dust from tracked materials.
- B. Drainage from the canopy will drain under and through the covered area as shown. Please provide means of directing drainage towards the existing catch basin in Island Ave. We recommend a French Drain type of installation along the drip edge and tying it to the street drainage. Due to seasonal use freezing will not be a problem or concern.
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JS:js

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2006-0052
Application I. D. Number

3/14/2006
Application Date

Island Acquisition, LLC
Applicant
86 Newbury Street, Portland, ME 04101
Applicant's Mailing Address

Additions
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 450-1104 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

33 - 33 Island Ave, Portland, Maine
Address of Proposed Site
084 L007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

13,772 s.f. Proposed Building square Feet or # of Units
Acreage of Site
IB Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$400.00 Subdivision _____ Engineer Review _____ Date 3/17/2006

DRC Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

March 13, 2006

Sarah Hopkins
Planning Department
Portland City Hall
389 Congress Street
Portland, Maine 04101

Dear Sarah:

On behalf of the owners of the Peaks Island Inn I am submitting documents that describe our proposal for additions to the building.

The proposed work includes the following items:

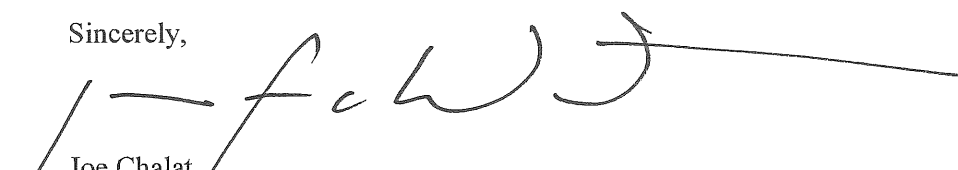
1. Construction of an enclosure room for the cooler at the rear of the building. The cooler provides refrigerated storage for the restaurant. The roof of the enclosure will be built as a roof deck for the units on the second floor. I believe that the entire area of the cooler enclosure is already considered impervious, so this aspect of the project should not change the drainage calculations. Please note that the foundation wall of the cooler enclosure is to be used as a retaining wall along the east property line. The original wall did not provide sufficient support and is in the process of failing. (See detail 2 on the site plan sheet). This portion also includes relocation of the trash receptacle.
2. Construction of a fitness room and reading room on the deck above the porch on the south façade of the building. The egress stair from the second floor will be relocated to accommodate the new floor plan. This portion of the project will increase the impervious area by approximately 125 sq. feet. The materials and trim on the addition will be the same as on the existing portion of the building.
3. The existing porch will be fitted with glass and aluminum bifold panels so that the porch can be used in inclement weather. The building code will require exit doors for egress from the porch when the panels are in use. I expect the panels to be open the majority of the time and that the porch will continue to be used as it has been used.

The site plans that have been previously submitted should still pertain to this project. The only change is the relocation of the on-site waste receptacle. All the other items on the site plan checklist are essentially unchanged

My review of the Island Business Ordinance indicates that this proposal generally complies with the zoning requirements, including setbacks, permitted uses, lot size, coverage, height and area limitations. I believe the proposal does not require additional off street parking, however, on the permits issued so far only a total of two spaces have been required and six are provided. Please let me know if you need me to provide other information.

Thank you and please call with any questions.

Sincerely,



Joe Chalath
Project Architect



City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 33 Island Avenue, Peaks Island		Zone: I-B
Total Square Footage of Proposed Structure: 13,772		Square Footage of Lot: 20,288
Tax Assessor's Chart, Block & Lot: Chart# 084 Block# L Lot# 007-0011	Property owner's mailing address: Island Aquisition, LLC 86 Newbury St. Portland, ME 04101	Telephone #: (207) 450-1104
Consultant/Agent, mailing address, phone # & contact person: Joe Chalal Archetype, PA 48 Union Wharf Portland, ME 04101 (207) 772-6022	Applicant's name, mailing address, telephone #/Fax#/Pager#: Island Aquisition, LLC 86 Newbury St. Portland, ME 04101 (207) 450-1104	Project name: Fitness room and cooler enclosure addition

Fee For Service Deposit (all applications) **(\$200.00)** Check submitted by Fred Foresly - Under separate cover.

Proposed Development (check all that apply)

New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking lot
 Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable
 Site Location of Development (\$3,000.00)
 (except for residential projects which shall be \$200.00 per lot _____)
 Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)
 Section 14-403 Review (\$400.00 + \$25.00 per lot)
 Other Provide cooler enclosure, provide 2nd floor fitness center and reading room

Major Development (more than 10,000 sq. ft.)

Under 50,000 sq. ft. (\$500.00)
 50,000 - 100,000 sq. ft. (\$1,000.00)
 Parking Lots over 100 spaces (\$1,000.00)
 100,000 - 200,000 sq. ft. (\$2,000.00)
 200,000 - 300,000 sq. ft. (\$3,000.00)
 Over 300,000 sq. ft. (\$5,000.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

Less than 10,000 sq. ft. (\$400.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

Planning Staff Review (\$250.00)
 Planning Board Review (\$500.00)

~ Please see next page ~

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Island Aquisition, LLC
86 Newbury St.
Portland, ME 04101
(207) 450-1104

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

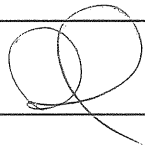
Amendment to Plans: **Amendment applications should include 6 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

3-14-06

This application is for site review **ONLY**; a building Permit application and associated fees will be required prior to construction.

33 Island Ave

From: "Kevin Donoghue" <kjdonoghue@portlandmaine.gov>
To: Dennis <dwrockwell@verizon.net>
Date: 5/27/2007 3:58:51 PM
Subject: Re: FWRD: The Inn on Peaks

Thank for writing, Mr. Rockwell. I do not know specifically the conditions on the entertainment license in the island zone in which the Inn on Peaks is located.

We do have noise ordinances with decibel thresholds that tend to be enforced based on your complaint and police exhortation to "quiet down." I am familiar with limits on outdoor seating with reference to public rights of way (sidewalks), but am not sure whether site plan approvals speak to the "driveway" of the Inn on Peaks. I will seek answers to questions by way of copy of this reply to the city attorney who staffs the Public Safety committee, Mary Costigan, development review (site plans) manager, Barbara Barhydt, and inspections director, Jeanie Bourke. The police department has recently conducting liquor enforcement details, chiefly to target serving to minors downtown, but I do not know whether these extend to Peaks Island.

Of course your concerns are legitimate and while I struggle with the proper balance between residential and entertainment uses downtown, neighborhoods and islands are their own thing.

I hope you do not mind my copy of your inquiry to our professional staff, but is most useful for me in terms of seeking meaningful answers. Please do not hesitate to contact me again...

All Best,
Kevin

On 5/27/07, Dennis <dwrockwell@verizon.net> wrote:

>
> Greetings, My name is Dennis Rockwell and I live on Peaks Island on Welch
> Street.
>
> I live across the street from the Inn on Peaks Island and have a couple of
> concerns about
> the tables they have outside their establishment.
>
> First of all can you help me or direct me to who can in regards to the
> following?
>
> I am not a night person and the noise carries terribly on a warm evening.
> I have a physical handicap and I go to bed a lot earlier than midnight
> every night.
> Are they allowed to serve alcohol beverages after a certain time of night
> outside? Is there a limit on the noise I must tolerate late at night say
> around 11 or 12 at night?
>
> Can I call someone to enforce this ordinance? I thought that they
> couldn't serve after 9 PM and the outside activity had to stop. (I thought
> this was a condition of their entertainment license.)
>
> Also, as I write this on Sunday afternoon they are setting up more tables
> on the driveway outside. My concern here is that there is no way to police

> who is being served alcohol and no way to control someone walking away with
> a drink in their hand as there is no fence around the property. Something I
> have witnessed happen over there in the past.
>
> Is this something that is allowable under city or state law? How can you
> control the alcohol consumption when no one that works there is even outside
> when the patio is open. The only time an employee of the Inn is outside is
> when they take the orders from the patrons and then bring the order to them
> when it is ready, otherwise they stay inside and anyone could do one of two
> things.
>
> 1) They could order for a minor and no one would know.
>
> 2) They could walk away with an open alcoholic beverage and no would see
> them leave.
>
> I hope these are legitimate concerns and you can help steer me in the
> right direction as to can assist me with answering these questions.
>
> Thank you in advance for your help.
>
> Sincerely,
>
> Dennis W. Rockwell
> 40 Welch Street
> Peaks Island, Maine 04108
> home phone 766-2421
> cell phone 329-2502
>
>
> **
>

--

Kevin Donoghue - Portland City Council - 207.409.2807

CC: "Mary Costigan" <MEC@portlandmaine.gov>, "Barbara Barhydt"
<BAB@portlandmaine.gov>, <jmb@portlandmaine.gov>

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 – 450 – 1104**

July 5, 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue – Walkway and Ground Leveling Application #2005-0134

Dear Ethan:

In response to your letter of July 1, 2005 whereby you requested a comprehensive project narrative which details the complete scope of the requested site plan amendment, I would like to provide you with the following information.

I. Project Overview

The requested amendment to our approved site plan encompasses the addition of a tent on the grounds located to the right of our building. The tent size will be such that once it is erected it will be within the requirements of the ten foot setback as required by the City.

The tented area will be properly secured by a fence that will be erected around the Premises.

It is our intention to utilize the tent to hold and service various food and beverage functions throughout the summer months. While we cannot accurately predict the exact number of functions that would be held under the tented property, we anticipate that we would have approximately one to two functions a week. The size of the tented functions are anticipated to be anywhere from 75 to 150 occupants. In no event do we anticipate servicing more customers than we are currently licensed to serve.

While there may be events that require the utilization of amplified music and/or a public address system, we will limit this use such that all functions adhere to the existing Noise

Ordinances established by the City. It is our initial intent to limit use of the tented area to 9:00pm during the week and until 9:30pm on weekends.

The site plan amendment application also includes a request to pave/resurface the existing gravel driveway located to the left of the building so that we can more easily receive deliveries to our Premises and so that we have the ability to set up tables on this surface to service those customers who would like to be outside. Again, it is our intention to limit outside service so that we operate within the requirements of the established noise ordinances. We currently anticipate limiting this service to 9:00p.m. on weekdays and 9:30p.m. on weekends.

II. Engineering and Utility Considerations

The grounds located under the proposed tent staging are to be leveled and reworked with stone dust as depicted in the revised site plan. We will be responsible for ensuring that all dust, soils or other debris from the grounds are properly swept and kept clear from the designated parking area.

There will not be a formal walkway constructed. Access to the tented area will be either via the canopied area on the right side of the building or through an opening in the gated area on the front of the Premises off of Island Avenue.

In regards to drainage, we have revised our site plan to include a French Drainage system to direct runoff to the existing catch basin on Island Avenue. Additionally, a drain will be installed at the northeast corner of the building in order to prevent any deterioration of the gravel located between the two gravel pads located at the northeast corner of the building.

Electrical utilities will be placed underground for the tented area.

Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

July 1, 2005

Mr. Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, Maine 04101

RE: Proposed Amendment to an Approved Site Plan
Inn on Peaks – 33 Island Avenue – Walkway and Ground Leveling
Application #2005-0134

Dear Mr. Forsley:

The Portland Planning Division has received the above referenced application for an amendment to an approved site plan. The Portland Planning Board originally granted approval of the Inn project to Mr. Ric Weinschenk on July 24, 2001. On November 1, 2004, you applied for and were granted an administrative amendment to the approved site plan. The 2004 amendment was to for a change of use from a hardware store to a restaurant/bar in a 1,030 square foot portion of the Inn as well as the expansion of an innkeeper's unit in the attic from 608 to 3,040 square feet.

Staff has conducted a comprehensive project review of your current application based on materials submitted to date including a site plan submitted by Pinkham & Greer Engineers and a memo from you dated June 21, 2005. This letter is to summarize the results of that review and to provide you with a clear and comprehensive picture of what will be required for you application to be found complete and approvable.

1. Application Completeness

Generally, staff has noted that the application contains conflicting and confusing information. Moreover, certain relevant information required under the site plan ordinance has not been submitted. Please provide a comprehensive project narrative detailing the complete scope the proposed site plan amendment. Please also revise the site plan to accurately depict existing and proposed conditions. For your convenience, I have attached a copy of the site plan application checklist.

- A. The application submitted May 13, 2005 is for “Walkway and Ground Leveling”, however the site plan submitted June 2, 2005 shows no changes to grades and no proposed walkway is identified.
- B. The application form and site plan make no reference to the 3,200 square foot tent, which is detailed in your June 21, 2005 memo. Please provide elevations and specifications of the proposed tent as may be found in vendor’s catalog cuts. Please also indicate on the site plan where the tent is proposed to be sited.
- C. Please provide a detailed description of the intended use of the proposed tent including anticipated number of occupants, hours of operation, frequency of use, etc. Please also describe how the project will conform with the City’s Noise Ordinance. Will there be amplified music or a public address system used on the proposed tent?
- D. Please provide evidence of right, title, and interest in the subject property.
- E. Please describe any proposed exterior lighting.
- F. Please provide a detailed drainage plan showing existing and proposed conditions.
- G. Please provide a landscape plan including all vegetation and screening, existing and proposed.

2. **Engineering**

The City’s consulting civil engineer, Jim Seymour P.E. of Sebago Technics, Inc., has reviewed the proposed plans and issued comments on June 30, 2005 as follow:

- **Grading/Erosion Control**

- A. The surface conditions under the proposed canopy are brick, but the plans call for stone dust. Will the surface be regarded and reworked under the canopy? Appropriate BMPs will need to be shown installed on the plan. Also the applicant shall be responsible for sweeping and clearing the parking area and all access from tracked soils, and or dust from tracked materials.

- B. Drainage from the canopy will drain under and through the covered area as shown. Please provide means of directing drainage towards the existing catch basin in Island Ave. We recommend a French Drain type of installation along the drip edge and tying it to the street drainage. Due to seasonal use freezing will not be a problem or concern.
- C. The gravel surface between proposed gravel pads on the northeast corner of the building will be problematic unless a drain is installed or unless the entire driveway is capped in concrete or bituminous. Runoff will saturate the gravel and the difference in materials will create ruts along the edges and will further pond water and deteriorate both concrete and gravel surfaces. If the area was paved or installed with concrete both the maintenance conditions and life expectancy will be enhanced.

- **Utility Information**

- A. Will electrical services originally placed underground for the lighting, in the canopy area still be utilized, or will a new service be set in place for lighting or general use?

- **General**

- A. Please be advised that the site previously had contaminated soils (some removed offsite, some disposed on-site). All excavated soils will be tested and disposed of either on or off-site in accordance with MeDEP requirements for Special Waste. Please add notes referencing this concern.
- B. We feel if the applicant submits new drawings that the site work would be easier to follow if the pre-existing conditions were removed so that only current conditions were shown on the drawing. If staff does not have other concerns then the plans could be conditionally approved, per the items above. Please contact our office with any questions.

The project plan and narrative should be revised so as to adequately address these engineering comments and concerns.

3. Zoning

The City's Zoning Administrator reviewed the proposed site plan and offered some preliminary comment and observations on a June 29, 2005 as follows:

- A. Different plans had different dimensions for figuring the size of the existing building.
- B. This project is in an I-B zone where restaurant uses are permitted. The given analysis is inaccurate. It states that the original approval did not require any

parking at that time. That is untrue. Four parking spaces were required. More than four spaces were shown so it was not a zoning issue.

- C. The project would require 10 parking spaces. Currently six (6) on site spaces are being provided. Off site at the Lionel Plante Associates site, five (5) additional spaces are being provided. The submitted information says that they are about 100 feet away. However, my recollection places those spaces much more than 100 feet away. Section 14-334 requires business off-site parking to be within 100' of the business use. We will need an accurately scaled plan to show exactly where these spaces are located. If, as I suspect, the parking is over 100 feet away, they will need to go to the ZBA of PB for approval. The board would need to determine that the off-site parking is within a "reasonable" distance.
- D. The site plan given to determine zoning is inaccurate. The tent hangs over an existing porch in order to meet the setback requirements (ten feet to the side property line). In real space on the face of the earth, that can only mean that the 40' x 80' tent cannot meet the setbacks when placed on site. Perhaps a narrower tent should be considered.
- E. I have also computed the lot coverage. I differ from what has been submitted. The project has only 80 square feet to spare. I would like to confirm building dimensions since different plans scale to different dimensions. Because they are almost right on their maximum lot coverage requirements, I want to be absolutely accurate on my calculations. I would want accurate scaleable plans submitted confirming the current dimensions of the existing building.
- F. Assurances of meeting the City's noise requirements will be a condition of approval.

Please work with your project team to revise the application to address each of the above listed issues. As always, if I can be of assistance, please do not hesitate to contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,

Ethan Boxer-Macomber, AICP
Planner

CC: Sarah Hopkins, Development Review Services Manager

Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

August 1, 2005

Mr. Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, Maine 04101

RE: Proposed Amendment to an Approved Site Plan
Inn on Peaks – 33 Island Avenue
Walkway and Ground Leveling to Accommodate Tent Pad
Application #2005-0134

Dear Mr. Forsley:

On August 1, 2005, the Portland Planning Division granted an administrative approval for the above referenced application. The approval is based on Plans revised and submitted on July 6, 2005, a revised Project Narrative dated July 20, 2005, and a revised Parking Lease Agreement dated July 20, 2005. The approval was granted for the project with the following condition(s):

- i. All site work shall include erosion control measures in conformance with State Best Management Practices.
- ii. The applicant shall core drill the Catch Basin with a minimum invert of 30-inches below rim. The pipe section into the basin shall be solid SDR35 PVC (8-in dia). The applicant is aware that a street opening permit is needed to construct, and that a standard drainage maintenance agreement is needed with the City.
- iii. The proposed paving of the access driveway on the Northern end of the site is acceptable as depicted on the July 6, 2005 site plan without a drain. The drain for this area, described in the project narrative but not shown on the plan, has been found unnecessary and shall not be installed unless a detailed engineering plan including pipes, structures, and inverts is provided.
- iv. All disturbed soils shall be tested for contamination. If any

contaminated soils are identified (in accordance with DEP special waste requirements) a plan will be required for disposal location, or deliverable facility to handle such waste prior to any occupancy.

- v. The proposed tent(s) may require a building permit from the Building Inspections Division. The applicant shall secure any required building permits prior to commencement of construction.

The approval includes a removal of an existing walkway, the regrading of earth, and installation of a layer of compressed stone dust and a French perimeter drain so as to Accommodate a 35' x 60' tent pad in conformance with plans submitted by the applicant to the City of Portland dated July 6, 2005.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Ethan Boxer-Macomber at 756-8083

Sincerely,

Alex Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Fire Prevention
Assessor's Office
Approval Letter File



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

August 24, 2005

Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, ME 04101

RE: Application for Exemption from Site Plan Review
Construction of Deck over Existing Roof
CBL #84L007001

Dear Mr. Forsley:

On August 24, 2005 the Portland Planning Authority denied the application for site plan exemption submitted August 18, 2005 for a deck addition at the Inn on Peaks. Please be advised that the application was found not to qualify for exemption based on two distinct findings:

First, the proposed deck was found to classify as an addition to the existing structure, not contained within the existing structure. The project, therefore, was found non-complaint with section (a) of the exemption standards (§14-523(4)(a)).

Second, the Inn has, in recent past, been granted other approvals which constitute amendments to the original site plan approval as follows:

July 24, 2001: The Inn on Peaks is approved by the Portland Planning Board.

November 1, 2004: The Planning Division grants an administrative approval for an amendment to the approved plan which permitted restaurant/bar use in a 1030 square foot portion of the Inn's first floor where a hardware store use was originally approved. This approval also allowed for the expansion of a second story residential unit into the Inn's attic level.

On August 1, 2005 The Planning Division grants an conditional administrative approval for an amendment to an approved plan which allows for the re-grading of an approximately 30x60 foot area of the site's Southern side yard and the installation on a special events tent of equal or lesser size.

Each of these individual amendments has been found sufficiently minor in scale to be reviewed administratively. However, with this third amendment proposal, staff finds that the cumulative changes to the originally approved site plan will require review and approval by the Planning Board. A pre-application meeting should be scheduled with the Development Review Manager, Sarah Hopkins. Once a complete site plan application and applicable fees have been submitted, a meeting with the Planning Board can be scheduled.

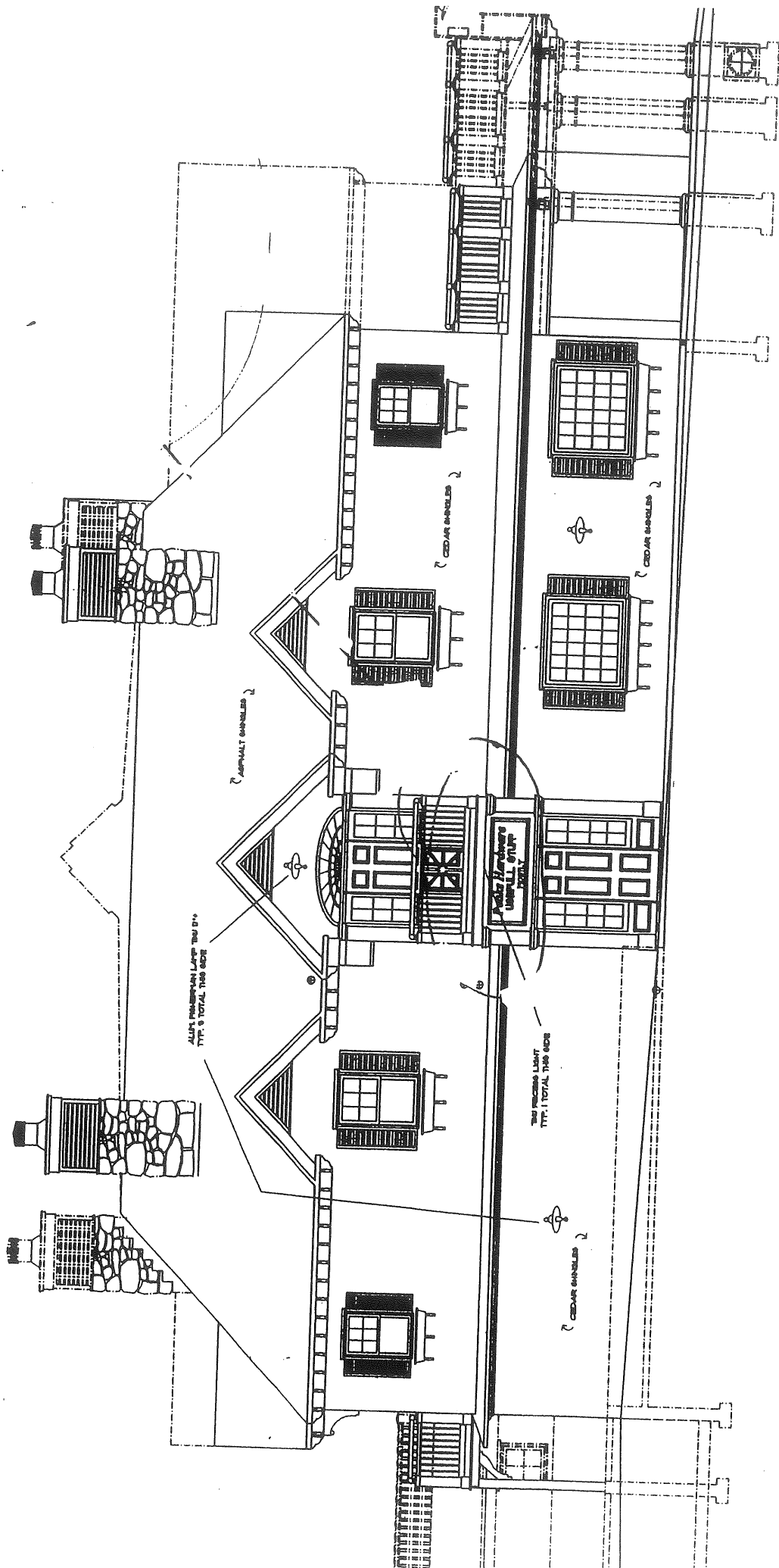
If you have any questions regarding this letter or future steps in the process of your project, please contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Ethan Boxer-Macomber, Planner

Cc: Alex Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Penny Littell, Corporation Counsel
Mike Nugent, Building Inspections Director





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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

August 24, 2005

Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, ME 04101

RE: Application for Exemption from Site Plan Review
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CBL #84L007001

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On August 1, 2005 The Planning Division grants an conditional administrative approval for an amendment to an approved plan which allows for the re-grading of an approximately 30x60 foot area of the site's Southern side yard and the installation on a special events tent of equal or lesser size.

Each of these individual amendments has been found sufficiently minor in scale to be reviewed administratively. However, with this third amendment proposal, staff finds that the cumulative changes to the originally approved site plan will require review and approval by the Planning Board. A pre-application meeting should be scheduled with the Development Review Manager, Sarah Hopkins. Once a complete site plan application and applicable fees have been submitted, a meeting with the Planning Board can be scheduled.

If you have any questions regarding this letter or future steps in the process of your project, please contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Ethan Boxer-Macomber, Planner

Cc: Alex Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Penny Littell, Corporation Counsel
Mike Nugent, Building Inspections Director

August 24, 2005

Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, ME 04101

RE: Application for Exemption from Site Plan Review
Construction of Deck over Existing Roof
CBL #84L007001

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On August 1, 2005 The Planning Division grants an conditional administrative approval for an amendment to an approved plan which allows for the re-grading of an approximately 30x60 foot area of the site's Southern side yard and the installation on a special events tent of equal or lesser size.

Each of these individual amendments has been found sufficiently minor in scale to be reviewed administratively. However, with this third amendment proposal, staff finds that the cumulative changes to the originally approved site plan will require review and approval by the Planning Board. A pre-application meeting should be scheduled with the Development Review Manager, Sarah Hopkins. Once a complete site plan application and applicable fees have been submitted, a meeting with the Planning Board can be scheduled.

If you have any questions regarding this letter or future steps in the process of your project, please contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,

Ethan Boxer-Macomber, Planner

Cc: Alex Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Penny Littell, Corporation Counsel
Mike Nugent, Building Inspections Director



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Joe Chalats
Archetype, P.A.
48 Union Wharf
Portland, Maine 04101

April 24, 2006

Dear Mr. Chalats:

RE: Application for The Inn on Peaks Island, building addition for refrigeration enclosure (App.# 2006-0052)

On April 24, 2006, the Portland Planning Authority granted minor site plan approval for the construction of a building addition for the refrigeration unit at #33 Island Avenue.

Where submission drawings are available in electronic form, the applicant shall submit any available electronic cad (*.dwg) files.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee will not be required, however, an inspection fee in the amount of \$300.00 will have to be posted before beginning any site construction or issuance of a building permit.
3. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

*Archetype, P.A.
48 Union Wharf
Portland, ME 04101
(207) 772-6022
(207) 772-4056 (Fax)*

TRANSMITTAL

DATE: April 21, 2006

FROM: Joe Chalot

TO: Jay Reynolds
Dept. of Planning and Development
City of Portland
389 Congress Street
Portland, ME. 04101

TO: Marge Schmuckal
City of Portland
389 Congress Street
Portland, ME. 04101

RE: Peaks Island Inn

Enclosed:

24 x 36 SD-1

As Requested

**Island Acquisitions LLC
33 Island Avenue
Peaks Island, Maine 04108
207-450-1104**

April 2, 2006

Planning Department
City of Portland
Congress Street
Portland, Maine 04101

Re: Inn on Peaks Island – Utilization of Proposed Fitness Room Addition

To Whom It May Concern:

This letter serves to confirm that the proposed addition of a fitness room located on the second floor of the Inn on Peaks Island, 33 Island Avenue, Peaks Island, Maine, is intended for the use of Inn guests only. The fitness room will not be made available to the general public.

Should you have any questions or concerns please do not hesitate to contact me at the above phone number.

Sincerely,



Fred M. Forsley

From: Marge Schmuckal
To: Jay Reynolds
Date: 4/21/2006 1:27:57 PM
Subject: 33 Island Ave - PI

Jay,

I have received a scalable version of the most current site plan. I have remeasured the dimensions of the building as shown. I have been able to verify the given lot coverage of 8942 sq. ft. given on the plans. That results in a proposed lot coveral of 44.1%. The I-B zone requires a maximum lot coverage of 50%.

This current plan meets the requirements of the I-B Zone. The plans have been redrawn to reflect the changes I requested. When a building permit comes in for this project, I will be ready to sign off on the zoning side of things.

Thanks,
Marge Schmuckal
Zoning Administrator

CC: internet: azimuth@maine.rr.com

April 11, 2006

Jay Reynolds
Development Review Coordinator
City of Portland
389 Congress Street
Portland, ME 04101

RE: The Inn on Peaks Island, Application # 2006-52


Dear Jay:

I would like to offer the following items in response to your comments from your letter of April 4th, 2006.

1. This application is only for the purpose of providing an enclosed room for the cooler that provides refrigerated storage for the business of the Inn. All references to other work have been deleted from the site plan.
2. Additional planting will not be required in accordance with our telephone conversation on April 13, 2006.
3. The dimensions from the property line to the proposed building have been added to the site plan
4. No exterior lighting is proposed for this work.
5. A note will be added to the site plan indicating that erosion control measure shall be implemented during construction of the cooler enclosure.

Attached are seven (7) copies of the revised site plan. I hope that this completes our input for the Planning Staff site review process. Please let me know if I can provide any additional information.

Sincerely,



Josef Chalats,
Consulting Architect

Jay Reynolds - Peaks Island Inn

From: "Josef Chalal" <azimuth@maine.rr.com>
To: <MES@portlandmaine.gov>
Date: 4/8/2006 5:49 AM
Subject: Peaks Island Inn
CC: <JAYJR@portlandmaine.gov>

Marge Schmuckal
City of Portland

Marge:

Thank you for reviewing proposed site plan for the Inn at Peaks Island. You correctly pointed out several inaccuracies in the submission. These stem from my failure to thoroughly understand the previous submission for the tent that the planning staff approved (Permit #05-1018). I reviewed your comments on this application with the owner and would like to provide you with the following corrections. These will be noted on the revised site plan:

1. The tent platform was built exactly as shown on the previous submission (Permit #05-1018). The platform is 30' x 60'. Furthermore, the tent which the owner has purchased is also 30' X 60'
2. The additional coverage created by the cooler enclosure is 930 square feet. This includes the portion of the roof deck overhanging the trash enclosure.
3. The required parking will be shown as 9 spaces. The owner has made arrangements for parking in the lot across the street and any letters that he sent to the City detailing these arrangements still pertain.
4. Finally, my tally on the existing building coverage was incorrect. The existing building coverage is 6212 square feet. The tent added 1800 square feet. This give a total existing coverage of 8012 s.f.. The proposed cooler enclosure brings the total up to 8942 s.f. This is less then the maximum coverage that you calculated as 10,144 s.f. based on 50% of total lot size of 20, 288 s.f.

I will revise the site plan to include these items as well as the items submitted by Jay Reynolds. Thank you

Josef Chalal,
Consulting Architect

Archetype PA
48 Union Wharf,

From: Marge Schmuckal
To: Jay Reynolds
Date: 4/5/2006 3:15:02 PM
Subject: 33 Island Avenue - Peaks Island

Jay,

I have reviewed the plans that we received from Mr. Chalot on Monday 4/3/06. First of all I would like to point out that the plans show a tent area of 34' x 74'. Permit #05-1018 only allowed a 30' x 60' tent. What was installed is larger than what was allowed.

The information on the site plan data panel is incorrect. The last approved plan for the 30' x 60' tent addition showed a lot coverage of 8616 sq ft. The lot size is 20,288 sq ft. There is a maximum lot coverage allowance of 50% or 10,144 sq ft. Adjusting the lot for the nonconforming tent size and the new enclosed area in the rear of the building, I get a total lot coverage of 10,262 sq. ft., which is over the maximum allowed. Zoning can not approve this proposal. The applicant may want to change the size or try an appeal to the Zoning Board of Appeals.

I am also confused by the wording on the plan as to the size of the new addition. The plans state 730 sq. ft. the entire structure is scaled to be 20' x 46.5' which is 930 sq. ft. in total.

The plans also indicate that only 2 parking spaces are required for this site. This is inaccurate. With the tent permit, nine (9) off-street parking spaces are required. Six are shown on site and three spaces were shown off site. This office received confirmation from the owner of the off-site lot. At this time I would like the owner to confirm the availability of the required off-site parking spaces. The data box on plan SD-1 should be changed to reflect the information I have relayed in this memo.

Marge Schmuckal
Zoning Administrator

CC: Gregory Cass; Mike Nugent



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life [®] www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Joe Chalats
Archetype, P.A.
48 Union Wharf
Portland, Maine 04101

April 4, 2006

Dear Mr. Chalats:

RE: Application for The Inn on Peaks Island, additions (App.# 2006-0052)

Upon review of the site plan, the City's Planning Division has the following comments:

1. Per our meeting yesterday, please respond in writing that this application is only for the enclosure room only, and does not include other future additions or porch enclosures. Also, please remove other proposals and notes from the site plan that are in reference to the porch enclosure, 2nd story addition, stair well, etc.
2. Planning staff is requiring that additional landscaping be added to the site plan in order to provide better buffering/screening from the adjacent properties. Suggested location is along Welch Street up to the northeast corner of the lot. A low height/dense, tree type is recommended.
3. Please indicate the dimensions from the property line (rear lot line) to the new structure.
4. Indicate whether any exterior lighting is proposed with this application.
5. While construction is occurring, erosion control measures must be implemented. Please add to the site plan where appropriate.

Please resubmit 4 copies of the revised site plan and response to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Project Name, Address of Project

Application Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
_____	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	l
_____	(2)	Name and address of applicant and name of proposed development	a
_____	(3)	Scale and north points	b
_____	(4)	Boundaries of the site	c
_____	(5)	Total land area of site	d
_____	(6)	Topography - existing and proposed (2 feet intervals or less)	e
_____	(7)	Plans based on the boundary survey including:	2
_____	(8)	Existing soil conditions	a
_____	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
_____	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	(11)	Approx location of buildings or other structures on parcels abutting the site	d
_____	(12)	Location of on-site waste receptacles	e
_____	(13)	Public utilities	e
_____	(14)	Water and sewer mains	e
_____	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
_____	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
_____	(18)	Parking areas	g
_____	(19)	Loading facilities	g
_____	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	(21)	Curb and sidewalks	g
_____	(22)	Landscape plan showing:	h
_____	(23)	Location of existing proposed vegetation	h
_____	(24)	Type of vegetation	h
_____	(25)	Quantity of plantings	h
_____	(26)	Size of proposed landscaping	h
_____	(27)	Existing areas to be preserved	h
_____	(28)	Preservation measures to be employed	h
_____	(29)	Details of planting and preservation specifications	h
_____	(30)	Location and dimensions of all fencing and screening	i
_____	(31)	Location and intensity of outdoor lighting system	j
_____	(32)	Location of fire hydrants, existing and proposed	k
_____	(33)	Written statement	c
_____	(34)	Description of proposed uses to be located on site	l
_____	(35)	Quantity and type of residential, if any	l
_____	(36)	Total land area of the site	b2
_____	(37)	Total floor area and ground coverage of each proposed building and structure	b2
_____	(38)	General summary of existing and proposed easements or other burdens	c3
_____	(39)	Method of handling solid waste disposal	4
_____	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
_____	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
_____	(42)	An estimate of the time period required for completion of the development	7
_____	(43)	A list of all state and federal regulatory approvals to which the development may be subject to	8
_____	(44)	The status of any pending applications	8
_____	(45)	Anticipated timeframe for obtaining such permits	h8

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2006-0052
Application I. D. Number
3/14/2006
Application Date
Additions
Project Name/Description

Island Acquisition, LLC
Applicant
86 Newbury Street, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 450-1104 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

33 - 33 Island Ave, Portland, Maine
Address of Proposed Site
084 L007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

13,772 s.f. Proposed Building square Feet or # of Units **IB** Zoning
Acreage of Site

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$400.00** Subdivision _____ Engineer Review _____ Date **3/17/2006**

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

OK to Issue Building Permit _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

Map -



2006-0052
33 Island Ave.
Peaks Isl.
minor SP
Sent to
500!



City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: <u>33 Island Ave Peaks Island</u> Zone: <u>1B</u>		
Total Square Footage of Proposed Structure:	Square Footage of Lot: <u>20,288</u>	
Tax Assessor's Chart, Block & Lot: Chart# <u>084</u> Block# <u>L</u> Lot# <u>007-0011</u>	Property owner's mailing address: <u>Island Acquisition LLC</u> <u>86 Newbury St</u> <u>Portland ME 04101</u>	Telephone #: <u>450-1104</u> <u>Fred Forsley</u>
Consultant/Agent, mailing address, phone # & contact person: <u>Fred Forsley</u> <u>86 Newbury St</u> <u>Portland ME 04101</u>	Applicant's name, mailing address, telephone #/Fax#/Pager#: <u>Fred Forsley</u> <u>Island Acquisition LLC</u> <u>86 Newbury St</u> <u>Portland ME 04101</u> <u>Phone 450 1104 Fax 7755367</u>	Project name: <u>Deck Addition -</u> <u>Inn on Peaks</u>
<p>Proposed Development (check all that apply)</p> <p><input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing</p> <p><input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other <u>Construction of decks on east and north side of Inn on Peaks</u></p> <p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Minor Site Plan Review</p> <p><input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Plan Amendments</p> <p><input checked="" type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p>		
- Please see next page -		

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Fred Finsky
80 Newbury St
Portland ME 04104
Phone 450 1189
Fax 775 5367

Submittals shall include (9) separate folded packets of the following:

- copy of application
- cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Fred M. Finsky

Date:

1/10/05

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

March 13, 2006

Sarah Hopkins
Planning Department
Portland City Hall
389 Congress Street
Portland, Maine 04101

Dear Sarah:

On behalf of the owners of the Peaks Island Inn I am submitting documents that describe our proposal for additions to the building.

The proposed work includes the following items:

1. Construction of an enclosure room for the cooler at the rear of the building. The cooler provides refrigerated storage for the restaurant. The roof of the enclosure will be built as a roof deck for the units on the second floor. I believe that the entire area of the cooler enclosure is already considered impervious, so this aspect of the project should not change the drainage calculations. Please note that the foundation wall of the cooler enclosure is to be used as a retaining wall along the east property line. The original wall did not provide sufficient support and is in the process of failing. (See detail 2 on the site plan sheet). This portion also includes relocation of the trash receptacle.
2. Construction of a fitness room and reading room on the deck above the porch on the south façade of the building. The egress stair from the second floor will be relocated to accommodate the new floor plan. This portion of the project will increase the impervious area by approximately 125 sq. feet. The materials and trim on the addition will be the same as on the existing portion of the building.
3. The existing porch will be fitted with glass and aluminum bifold panels so that the porch can be used in inclement weather. The building code will require exit doors for egress from the porch when the panels are in use. I expect the panels to be open the majority of the time and that the porch will continue to be used as it has been used.

The site plans that have been previously submitted should still pertain to this project. The only change is the relocation of the on-site waste receptacle. All the other items on the site plan checklist are essentially unchanged

My review of the Island Business Ordinance indicates that this proposal generally complies with the zoning requirements, including setbacks, permitted uses, lot size, coverage, height and area limitations. I believe the proposal does not require additional off street parking, however, on the permits issued so far only a total of two spaces have been required and six are provided. Please let me know if you need me to provide other information.

Thank you and please call with any questions.

Sincerely,



Joe Chalath
Project Architect



City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 33 Island Avenue, Peaks Island		Zone: I-B
Total Square Footage of Proposed Structure: 13,772		Square Footage of Lot: 20,288
Tax Assessor's Chart, Block & Lot: Chart# 084 Block# L Lot# 007-0011	Property owner's mailing address: Island Aquisition, LLC 86 Newbury St. Portland, ME 04101	Telephone #: (207) 450-1104
Consultant/Agent, mailing address, phone # & contact person: Joe Chalot Archetype, PA 48 Union Wharf Portland, ME 04101 (207) 772-6022	Applicant's name, mailing address, telephone #/Fax#/Pager#: Island Aquisition, LLC 86 Newbury St. Portland, ME 04101 (207) 450-1104	Project name: Fitness room and cooler enclosure addition

Fee For Service Deposit (all applications) X (\$200.00) Check submitted by Fred Foresly - Under separate cover.

Proposed Development (check all that apply)
 New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking lot
 Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable
 Site Location of Development (\$3,000.00)
 (except for residential projects which shall be \$200.00 per lot _____)
 Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)
 Section 14-403 Review (\$400.00 + \$25.00 per lot)
 Other Provide cooler enclosure, provide 2nd floor fitness center and reading room

Major Development (more than 10,000 sq. ft.)
 Under 50,000 sq. ft. (\$500.00)
 50,000 - 100,000 sq. ft. (\$1,000.00)
 Parking Lots over 100 spaces (\$1,000.00)
 100,000 - 200,000 sq. ft. (\$2,000.00)
 200,000 - 300,000 sq. ft. (\$3,000.00)
 Over 300,000 sq. ft. (\$5,000.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review
 Less than 10,000 sq. ft. (\$400.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments
 Planning Staff Review (\$250.00)
 Planning Board Review (\$500.00)

~ Please see next page ~

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Island Aquisition, LLC
86 Newbury St.
Portland, ME 04101
(207) 450-1104

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: **Amendment applications should include 6 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 3-14-06
---	---------------

This application is for site review ONLY; a building Permit application and associated fees will be required prior to construction.

specified uses as provided in division 20 (off-street parking) of this article, except that residential uses shall meet the full parking requirement.

- (b) *Shoreland and flood plain management regulations:* Any lot or portion of lot located in a shoreland zone as identified on the city shoreland zoning map or in a flood hazard zone shall be subject to the requirements of division 26 and/or division 26.5.
- (c) *Storage of vehicles:* Only one (1) unregistered motor vehicle may be stored outside on the premises and not for a period exceeding thirty (30) days.
- (d) *Noise:* The volume of sound, measured by a sound level meter with frequency weighting network (manufactured according to standards prescribed by the American Standards Association), generated shall not exceed sixty (60) decibels on the A scale between 7:00 a.m. and 9:00 p.m. and fifty-five (55) decibels on the A scale between 9:00 p.m. and 7:00 a.m., on impulse (less than one (1) second), at lot boundaries, excepting air raid sirens and similar warning devices.

Added
*

(Ord. No. 30-85, § 1, 7-15-85; Ord. NO. 15-92, § 16, 6-15-92; Ord. No.15-04/05, 8-2-04)

- Sec. 14-228. Reserved.
- Sec. 14-229.1. Reserved.
- Sec. 14-229.2. Reserved.
- Sec. 14-229.3. Reserved.
- Sec. 14-229.4. Reserved.
- Sec. 14-229.5. Reserved.
- Sec. 14-229.6. Reserved.
- Sec. 14-229.7. Reserved.
- Sec. 14-229-8. Reserved.
- Sec. 14-229-9. Reserved.

DIVISION 12.5. B-4 COMMERCIAL CORRIDOR ZONE

Sec. 14-229.10. Purpose.

The purpose of the B-4 commercial corridor zone is:

- (1) To provide appropriate locations in the City for the development and operation of businesses catering primarily to highway-oriented trade along major arterials. (Uses which have market areas which are primarily dependent on the regional highway network or serve a regional or larger market); or

*Archetype, P.A.
48 Union Wharf
Portland, ME 04101
(207) 772-6022
(207) 772-4056 (Fax)*

TRANSMITTAL

DATE: October 28, 2004

FROM: Joe Chalat

TO: Ethan Boxer-Macomber, Planner
Dept. of Planning and Development
City of Portland
389 Congress Street
Portland, ME. 04101

CC: Fred Forsley
Island Acquisitions, LLC
86 Newbury St.
Portland, ME 04101

RE: Peaks Island Inn

Enclosed:

One copy 11x17 dated 10/26/04

2nd revision of SD1 to include with previously submitted site plan application.

*Archetype, P.A.
48 Union Wharf
Portland, ME 04101
(207) 772-6022
(207) 772-4056 (Fax)*

TRANSMITTAL

DATE: October 26, 2004

FROM: Joe Chalot

TO: Ethan Boxer-Macomber, Planner
Dept. of Planning and Development
City of Portland
389 Congress Street
Portland, ME. 04101

RE: Peaks Island Inn

Enclosed:

One copy 11/17:

Revised SD1 to include with previously submitted site plan application.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2004-0201
Application I. D. Number
9/30/2004
Application Date
Apartment Expansion
Project Name/Description

*FRED FORSLEY
450-1104*

Island Acquisition Llc
Applicant
86 Newbury Street, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 450-1104 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

33 - 33 Island Ave, Portland, Maine
Address of Proposed Site
084 L007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) Finish attic space

12,036 s.f. Proposed Building square Feet or # of Units
Acreage of Site
IB Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Pla \$400.00 Subdivision _____ Engineer Review _____ Date 10/4/2004

Planning Approval Status:

Reviewer _____

- Approved
- Approved w/Conditions See Attached
- Denied
- Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
- OK to Issue Building Permit _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

September 30, 2004

Sarah Hopkins
Development Review Manager
City of Portland
389 Congress Street
Portland, ME 04101

RE: Minor Site Plan Review and Plan Amendment for the Peaks Island Inn

Dear Sarah:

On behalf of the owners of the Peaks Island Inn I am submitting documents that describe the proposed work to be done to their building. The Inn consists of a restaurant and hardware store on the first floor, and six guestrooms and one apartment, called the Innkeeper's Studio, on the second floor.

The proposed work on the first floor consists of changing the occupancy of the 1030 square foot hardware store to a restaurant and bar. An additional exit door would be provided to meet egress requirements for the proposed space.

The proposed work on the second floor consists of providing the Innkeeper's Studio with a stair to the existing attic, and expanding the apartment to include bedrooms and bathrooms on the third floor.

My review of the Island Business ordinance indicates that this proposal generally complies with the zoning requirements, including permitted uses, dimensional requirements, lot size, street front, setbacks, coverage, and height and area limitations. My calculations for off street parking show that 8 spaces are required as follows:

Guestrooms: 1 Space
Restaurants: 5 Spaces
Residence: 2 Spaces

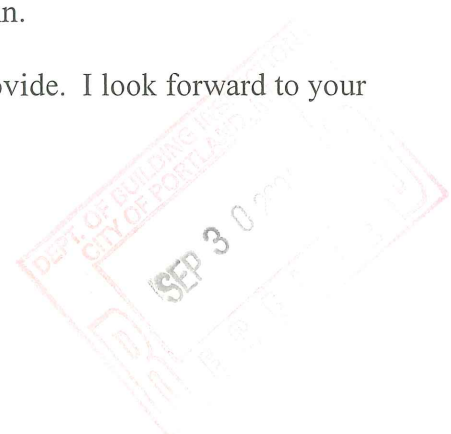
There are currently seven striped spaces available in the front of the Inn, An eighth space, suitable for the inhabitant of the Innkeeper's Studio is at the rear of the Inn.

Please let me know if there is other information that I need to provide. I look forward to your response.

Sincerely,



Joe Chalot
Architect





City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: 33 Island Ave, Peaks Island		Zone: IB
Total Square Footage of Proposed Structure: 12,036 sq. ft.		Square Footage of Lot: 20,288
Tax Assessor's Chart, Block & Lot: Chart# 084 Block# L Lot# 007-0011	Property owner's mailing address: Island Aquisition, LLC 86 Newbury St. Portland, ME 04101	Telephone #: (207) 450-1104
Consultant/Agent, mailing address, phone # & contact person: Joe Chalat Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	Applicant's name, mailing address, telephone #/Fax#/Pager#: Fred Forsley Island Aquisition LLC 86 Newbury St. Portland, ME 04101 (207) 450-1104	Project name: Apartment Expansion and Change of Occupancy
<p>Proposed Development (check all that apply)</p> <p><input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing</p> <p><input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input checked="" type="checkbox"/> Other <u>Finish Attic Space</u></p> <p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Minor Site Plan Review</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Plan Amendments</p> <p><input checked="" type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p>		
<p>- Please see next page -</p>		

SEP 3 0 2011

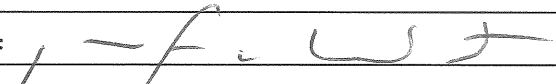
Who billing will be sent to: (Company, Contact Person, Address, Phone #)	Fred Forsley Island Aquisition LLC 86 Newbury St. Portland, ME 04101 (207) 450-1104
--	--

- Submittals shall include (9) separate folded packets of the following:
- copy of application
 - cover letter stating the nature of the project
 - site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9/30/04
---	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

October 29, 2004

Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, ME 04101

RE: Minor Site Plan Review, 33 Island Avenue
ID #2004-0201, CBL #84 L007001

Dear Mr. Forsley:

On November 1, 2004 the Portland Planning Authority approved the proposed change to an approved Site Plan for the Peaks Island Inn, 33 Island Avenue. The Portland Planning Board originally approved the project on July 24, 2001. The current proposal is to change a permitted hardware store use to a restaurant/bar use in a 1030 square foot portion of the Inn's first floor. This approval, based on revised plans submitted to the City of Portland and stamp dated on October 28, 2004, is based on the findings and subject to the provisions and requirements contained in this letter.

Findings

1. The proposed project is in conformance with the permitted uses of the IB zone.
2. The proposed project is in substantial conformance with site plan approved by the Planning Board on July 24, 2001.
3. The proposed project is in conformance with the Site Plan Ordinance.
4. The Peaks Island Inn project, originally approved on July 24, 2001, provided 6 on-site parking spaces despite the fact that no on-site parking was required in the IB zone under the zoning code of the day.
5. Under the current zoning code, restaurant/bar uses in the IB zone are required to provide 25% of one on-site parking space per 150 square feet. The proposed 1030 square foot area

proposed for use change therefore requires that 2 on-site parking spaces be provided. This requirement is satisfied by existing parking spaces.

Provisions and Requirements

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
2. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Appeal

Where the Planning Authority has finally disapproved a site plan, any person aggrieved may appeal the decision to the Planning Board within ten (10) days of the decision being rendered. Upon the taking of such appeal, the application shall be reviewed as if referred by the Planning Authority, except that the Planning Board may not decline to accept the reference.

If you have any questions regarding this approval, please contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,

Alex Jaegerman, Planning Division Director

Cc: Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator

Mike Nugent,
Inspections Division
Eric Labelle, City Engineer
Correspondence File

MEMO

June 21, 2005

TO: Ethan Boxer-Macomber
City of Portland Planning Division

FR: Fred Forsley
Island Acquisition, LLC.
86 Newbury St.
Portland, ME 04101

RE: Inn on Peaks Island, 33 Island Avenue
ID #2004-0201, CBL #84 L007001

Island Acquisitions, LLC is seeking approval to add a temporary pole tent to the above mentioned property. This tent would be used as covered outdoor space for functions and events. This tent would be 3,200 SF (40' x 80') and approximately 7' high at the entryway and 18' tall at the peak.

We believe we have an adequate site plan to illustrate where this tent would be placed (see attached).

Please note that we do not anticipate placing heaters or cooking devices in this tent. We also will not be doing any paving in conjunction with this proposed tent. The ground surface will be turf and remain as-is.

1

Section	Requirement	How Requirement is Met
14-226	<p>p. 14-265 Minimum lot size for restaurant and drinking establishment (public water and sewer): 10,000 SF</p> <p>Minimum lot size for inn or bed and breakfast: 5,000 SF per 3 guest rooms plus 5,000 SF for each guest room in excess of 3 (public water and sewer)</p>	<p>Lot size is 20,228 SF</p> <p>The Inn has 6 guest rooms which are also within the required lot size.</p>
	<p>p. 14-268 Set back requirement is 10' on back and side and 20' or average depth of front yard on either side of lot.</p>	<p>The placement of the tent in the left side yard allows for 10' setback on all sides. (see attached site plan)</p> <p>Back: 10' Side: 10' Front: 20'</p>
	<p>p. 14-269 Maximum lot coverage: 50% of lot area</p>	<p>The addition of the 3,200 SF tent will keep the building to lot ratio below 50%.</p> <p>Building and patio footprint before tent: 6,233 SF (30.72% coverage)</p> <p>Building footprint with addition of tent: 9,433 SF (46.5% coverage)</p>
	<p>p. 14-269 Maximum structure height for detached accessory structure: 18 feet</p>	<p>The tent will be 18' tall at the peak.</p>

Section	Requirement	How Requirement is Met
14-227	<p>p. 14-269 Off street parking: 25% of the required number of parking spaces for specified use.</p>	<p>The Peaks Island Inn project was originally approved on July 24, 2001. At that time, the Inn provided 6 on-site parking spaces despite the fact that no on-site parking was required in the IB zone under the zoning code of the day.</p> <p>Under the current zoning code, restaurant/bar uses in the IB zone are required to provide 25% of one on-site parking space per 150 square feet. The proposed 3,200 SF tent would require 6 parking spots.</p> <p>The previously approved 1,030 SF addition to the property (October 28, 2004) required 2 parking spots. This leaves 4 parking spots available for the proposed 3,200 SF tent.</p> <p>The additional 2 required parking spots will be leased from Lionel Plante Associates at 98 Island Ave, within eye site (approx. 100') of the Inn.</p> <p>The Inn has an agreement with Lionel Plant to lease 5 parking spaces (see attached). This is an excess of 3 parking spaces.</p>
	<p>p. 14-269 Noise Ordinance</p>	<p>We are fully apprised of the noise ordinance and do not anticipate we will have any difficulty complying with that ordinance.</p>

Lionel Plante Associates

98 ISLAND AVENUE
PEAKS ISLAND, MAINE 04108
(207) 766-2508
FAX (207) 766-2507
e-mail: lplante@maine.rr.com

June 22, 2005

Fred Forsley
The Shipyard Brewing Co., LLC
86 Newbury Street
Portland, ME 04101

Dear Mr. Forsley:

As discussed, The Inn on Peaks Island will lease 5 parking spaces from Lionel Plante Associates. These parking spaces will be used as overflow parking only when needed. LPA agrees to maintain 5 spaces for this purpose at the rate of \$10 per space per month.

This annual lease is for a term of one year and will be considered for renewal on a year to year basis.

Thank you very much for entering into this agreement with us.

Sincerely,



Bridget A. Kinner
Treasurer
Lionel Plante Associates
(207-766-2508)

From: Tom Fortier
To: Marge Schmuckal
Date: 6/29/05 9:58:55 AM
Subject: Re: Fwd: Inn on Peaks - Liquor License

Marge;

A tent will expand the service area 3,200 sq ft at the Inn. Currently, the bar/restaurant , patio, is 6,233 sq ft.

If approved, will the additional 3, 200 sq ft open the door for an request by the Inn for increased occupancy (ie Fire Marshall)?

This is one concern of the community. Thanks.

Tom

>>> Gary Wood 06/28/2005 4:11:01 PM >>>

I think the only item on next Wed's agenda is the liquor license ammendment to allow outside service of alcohol. I am concerned about what looks like a physical expansion of the patios and also an additional change to the structure that may require a building permit and possibly site plan review(?)--I assume that Alex is plugging into those possible issues--if Fred Forsely wants to be sure he can serve alcohol outside and in the "new " areas before he builds them I don't have a problem with that approach.

The clerk's office needs to put a copy of the SEL with all the conditions on it that the Council issued the last time this outside entertainment issue came up about 2 years ago in the agenda book as back-up on this item

>>> Tom Fortier 6/28/2005 2:59:21 PM >>>

Joe;

Councilor Gorham and I visited Fred Forsley on Saturday. We had a very nice tour of the facility. Fred has ambitious plans for expansion. Besides the expansion of the outdoor patio (July 6th City Council agenda item) he has plans to build a walk in freezer structure as well as an additional outdoor patio on the Welch Street side of the building.

I have started to receive calls from residents today. David Norton telephoned to inquire about the expansion. While he was not totally opposed to the expansion, he wanted to be assured that the entertainment stopped at 9:00pm.

He will be talking with his neighbors and will get back to me tomorrow. He may ask Councilor Gorham for the agenda item to be tabled as they were not aware of the expansion. Will Gorham and I had recommended to Fred (On Saturday) that he speak with the abutters. Fred approached David today, and thus the phone calls.

David reported that there was only one major event last year and it went well until the party started letting off fireworks and the band started playing very loudly (indoors with all the windows closed). The manager of the building immediately visited David and apoligized. David reports the next day he was given a \$100 gift certificate and a letter with an apology.

While he was appreciative of their attentiveness, he is very weary that this one and only event is a precursor to the 30-40 events scheduled for this summer...will they all be like that one?

I'll update you more tomorrow.....

Tom

>>> Joe Gray 06/23/2005 3:34:22 PM >>>

My gut tells me the same thing. This should go to the council.

>>> Tom Fortier 6/23/2005 3:23:58 PM >>>

My gut tells me that the community (especially the abutters) will hit the roof if we allow them to expand so readily.

Tom

>>> Linda Cohen 06/23/2005 2:00:05 PM >>>

Hi,

They currently are licensed for a small outside patio with entertainment that must end at 9 P.M.

This expansion is for special events. Do we need to bring this back to the Council, or is it okay for us to handle administratively, reminding them of the 9 PM curfew?

LC

Linda C. Cohen, City Clerk
389 Congress Street
Portland ME 04101
(207) 874-8677
lcc@portlandmaine.gov

>>> Ethan Boxer-Macomber 06/23/2005 1:56:58 PM >>>

Amanda-

As per our conversation, the Inn on Peaks is currently under review with our office for an expansion to the bar restaurant in the form of a seasonal tent. The tent is intended to house regular events during the spring, summer, and fall such as weddings, parties, etc. Including an outside patio, the bar/restaurant was originally 6,233 S.F. in area. The proposed tent is 3,200 S.F.

Apparently Dan Smaha, with the State, is looking for confirmation that the City is okay with extending the license to the new tent area. Can this be approved administratively or would it need to go to Council?

Mr. Forsley, the Inn's owner, can be reached at 450-1104.

Thank you for your assistance with this matter. Let me know if you have any questions.

Ethan Boxer-Macomber, AICP
Planner
City of Portland Planning Division
389 Congress Street
Portland, ME 04101

Tel: 207.756.8083

Fax: 207.756.8258

CC: Alex Jaegerman ; Elizabeth Boynton; Gary Wood; Joe Gray ; Larry Mead ; Lee Urban; Linda Cohen; Will Gorham

From: Marge Schmuckal
To: Ethan Boxer-Macomber
Date: 6/29/05 10:19:37 AM
Subject: Re: Fwd: Inn on Peaks - Liquor License

FYI -

Question: why does the site plan review project read : Walkway and ground leveling? Why is the the tent not part of the application?

Marge



FACSIMILE TRANSMITTAL SHEET

TO: Jay Reynolds FROM: Fred Forsley
 COMPANY: City of Portland DATE: 5/13/05
 FAX NUMBER: 756-8258 TOTAL NO. OF PAGES INCL. COVER: 3
 PHONE NUMBER: RE: Inn on Peaks Island
 Phone: 232 0985

- URGENT
- FOR REVIEW
- PLEASE COMMENT
- PLEASE REPLY
- PLEASE RECYCLE

NOTES/COMMENTS:

If you do not receive all pages, please call 207-761-0807

This facsimile transmission (and/or the documents accompanying it) may contain confidential information belonging to the sender. The information is intended only for the use of the addressee or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance of the contents of this information is strictly prohibited by law. If you have received this transmission in error, please immediately notify us by telephone to arrange for the return of the documents.

The Shipyards Brewing Company
 86 Newbury Street
 Portland, ME 04101

Phone (207) 761-0807

Fax (207) 775-5567



City of Portland Site Plan Application

If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: 33 Island Avenue Peaks Island Zone: 1B		
Total Square Footage of Proposed Structure: 12036	Square Footage of Lot: 20,288	
Tax Assessor's Chart, Block & Lot Chart# 084 Block# L Lot# 007-0011	Property owner's mailing address: Island Acquisition LLC 86 Newbury St Portland, ME 04101	Telephone #: 207 450 1104
Consultant/Agent, mailing address, phone # & contact person: Joe Chalot Architect, P.A. 48 Union Wharf Portland, ME 04101 772-6022	Applicant's name, mailing address, telephone #/Fax#/Pager#: Fred Forsley Island Acquisition LLC 86 Newbury St Portland ME 04101 450 1104 P 775-5567 F	Project name: Walkway and ground leveling
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input checked="" type="checkbox"/> Other <u>Concrete walkway, concrete slab for portable cooler, landscaping - ground leveling for drainage</u>		
Major Development (more than 10,000 sq. ft.) <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
Minor Site Plan Review <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
Plan Amendments <input checked="" type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00)		

- Please see next page -

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

*Fred Fobley
Island Aquatics LLC
86 Newbury St
Portland ME 04101*

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: cl.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Fred Fobley* Date: *5-13-05*

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The Application Fee covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an Engineering Review Fee. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A Performance Guarantee will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An Inspection Fee must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a Defect Guarantee in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.



PORTLAND, MAINE

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www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

October 29, 2004

Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, ME 04101

RE: Minor Site Plan Review, 33 Island Avenue
ID #2004-0201, CBL #84 L007001

Dear Mr. Forsley:

On November 1, 2004 the Portland Planning Authority approved the proposed change to an approved Site Plan for the Peaks Island Inn, 33 Island Avenue. The Portland Planning Board originally approved the project on July 24, 2001. The current proposal is to change a permitted hardware store use to a restaurant/bar use in a 1030 square foot portion of the Inn's first floor. This approval, based on revised plans submitted to the City of Portland and stamp dated on October 28, 2004, is based on the findings and subject to the provisions and requirements contained in this letter.

Findings

1. The proposed project is in conformance with the permitted uses of the IB zone.
2. The proposed project is in substantial conformance with site plan approved by the Planning Board on July 24, 2001.
3. The proposed project is in conformance with the Site Plan Ordinance.
4. The Peaks Island Inn project, originally approved on July 24, 2001, provided 6 on-site parking spaces despite the fact that no on-site parking was required in the IB zone under the zoning code of the day.
5. Under the current zoning code, restaurant/bar uses in the IB zone are required to provide 25% of one on-site parking space per 150 square feet. The proposed 1030 square foot

area proposed for use change therefore requires that 2 on-site parking spaces be provided. This requirement is satisfied by existing parking spaces.

Provisions and Requirements

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
2. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Appeal

Where the Planning Authority has finally disapproved a site plan, any person aggrieved may appeal the decision to the Planning Board within ten (10) days of the decision being rendered. Upon the taking of such appeal, the application shall be reviewed as if referred by the Planning Authority, except that the Planning Board may not decline to accept the reference.

If you have any questions regarding this approval, please contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Alex Jaegerman, Planning Division Director

Cc: **Ethan Boxer-Macomber**, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator

Mike Nugent,
Inspections Division
Eric Labelle, City Engineer
Correspondence File

From: "Fred Forsley" <FForsley@SHIPYARD.com>
To: <ebm@portlandmaine.gov>
Date: 6/6/05 5:10:38 PM
Subject: Inn on Peaks Island

Dear Ethan --

I just spoke with Dave Cleaves and wanted to verify with you that he has spoken with Ann Hemmingway at the DEP. Ann indicated to Dave that she sees no problems with the work we are doing at the Inn on Peaks. We have let her know that we do not intend to remove any soil from the site at this time.

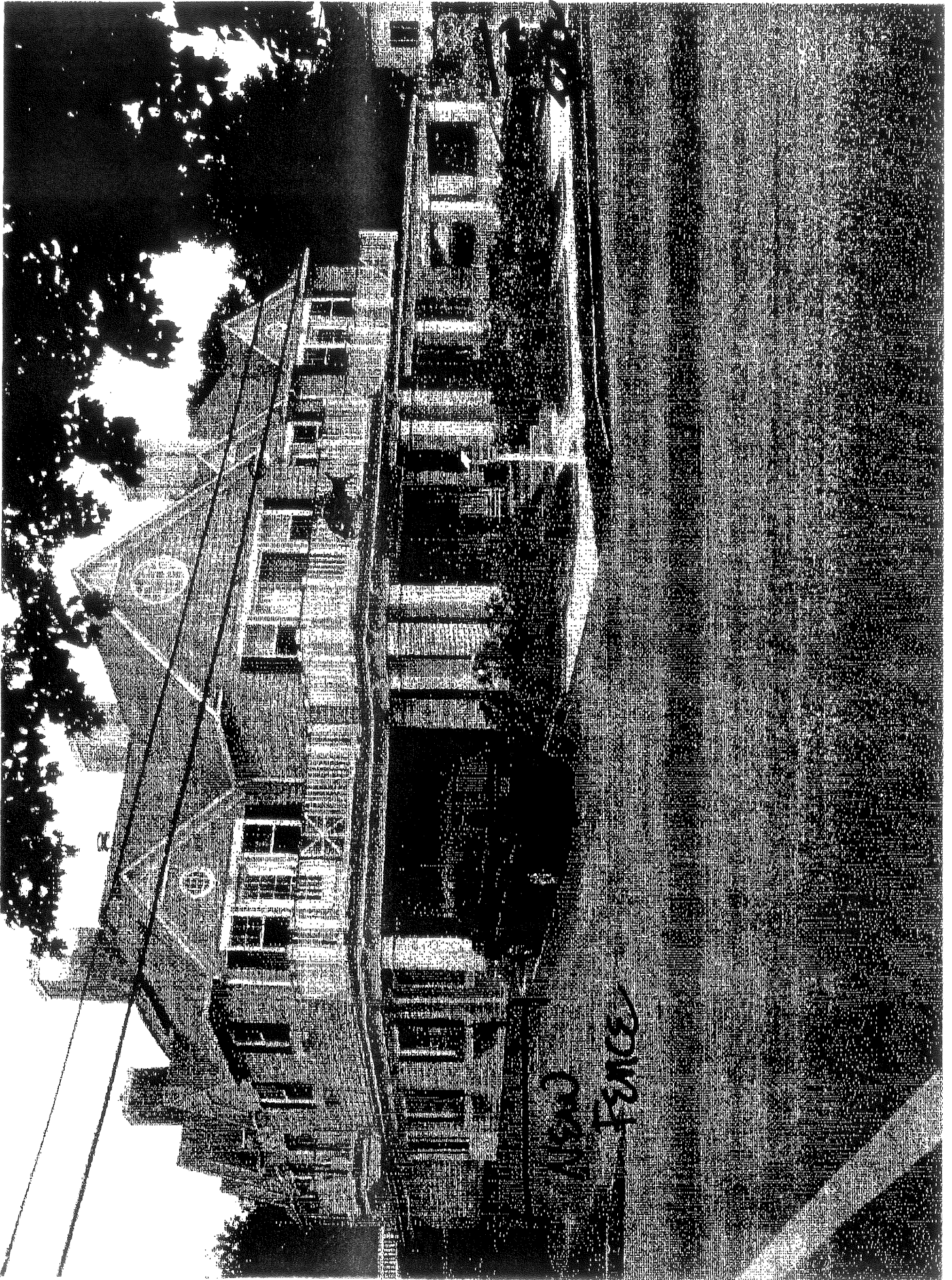
In the event that we do remove soil from the site in the future, she has instructed us to bring the soil to Commercial Paving in Scarborough.

Additionally, I wanted to be sure you know that we will adhere to the noise ordinance and do not foresee and problems with complying with that ordinance at all.

Thank you for your assistance and be sure to give my cell phone a call if you have any questions.

Sincerely,

Fred Forsley
450-1104



LOW
FORCE

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To:

TAMMY KENNEDY

Company:

FOR:

ISLAND ACQUISITION, LLC

Fax #:

761-0235

Date:

JUNE 20, 2005

From:

ETHAN BOXER - MEMBER

You should receive 4 page(s) including this cover sheet.

Comments:

TAMMY -

10/29/04 APPROVAL LETTER AS PER
OUR CONVERSATION.

ETHAN

TamiKennedy

From: "Tami Kennedy" <tami@maine.rr.com>
To: <ebm@portlandmaine.gov>
Sent: Wednesday, June 22, 2005 7:13 AM
Subject: Inn on Peaks -- Licensed Outside Areas

Ethan --

Fred Forsløy has been in touch with Dan Smaha regarding the outside licensed areas the Inn is requesting the State's approval to serve alcohol in. Mr. Smaha needs confirmation from the City that the inspections office is okay with these licensed areas.

To meet the State's requirements, the Inn will place a fence in front of the gravel area on the left of the building (approx 20 feet) and across the lawn area on the right of the building (approx 40 feet).

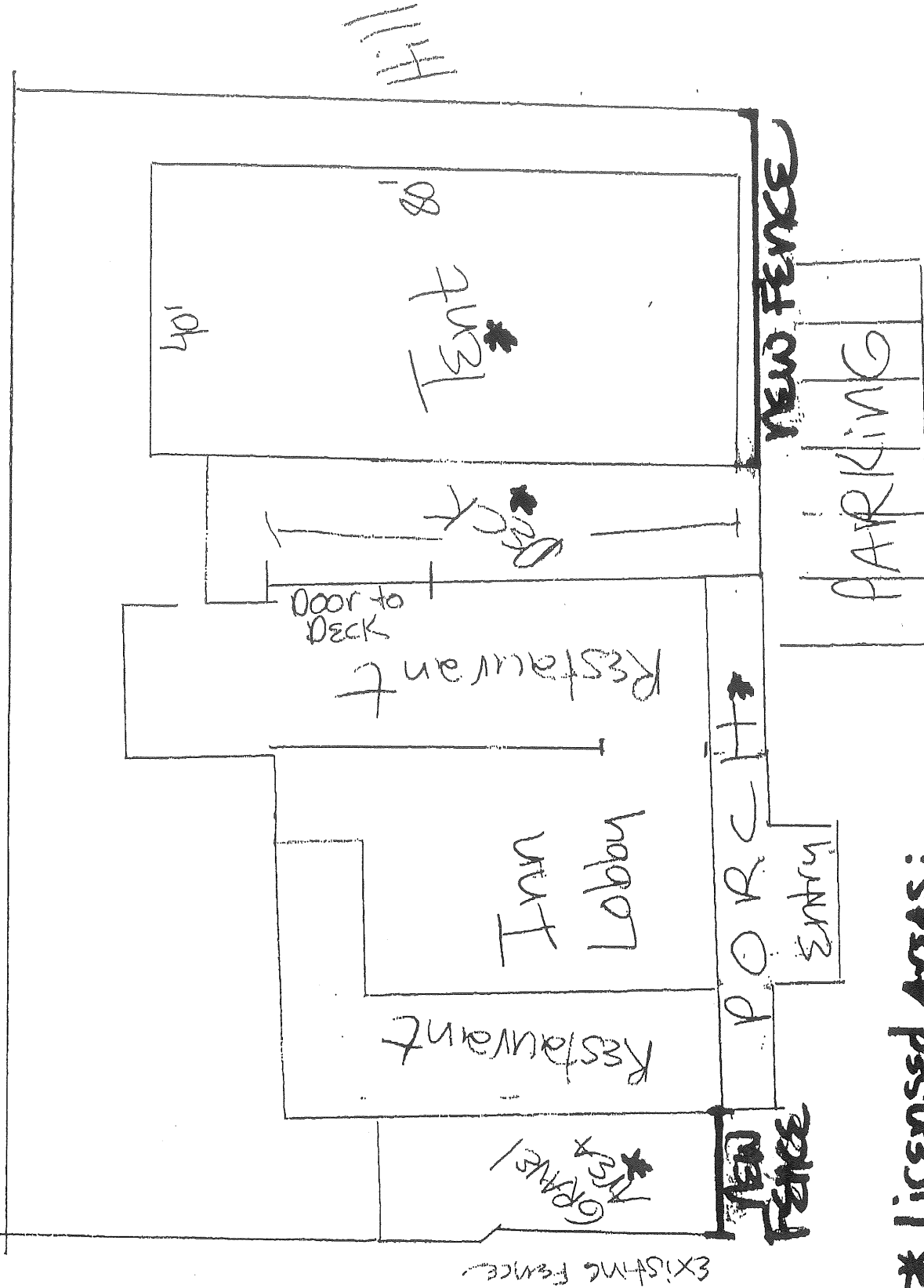
I am faxing you the schematic showing this layout that we faxed to Mr. Smaha yesterday.

Is this something that can be discussed at the meeting this morning? Please feel free to contact either Fred or I with your thoughts regarding this once you have the opportunity to look at the fax.

Thanks again for all of your assistance.

Tami
838-0816

Fred's number is: 450-1104



* Licensed Areas:

- Gravel Area - DECK
- Porch
- DECK
- TENT



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

July 1, 2005

Mr. Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, Maine 04101

RE: Proposed Amendment to an Approved Site Plan
Inn on Peaks – 33 Island Avenue – Walkway and Ground Leveling
Application #2005-0134

Dear Mr. Forsley:

The Portland Planning Division has received the above referenced application for an amendment to an approved site plan. The Portland Planning Board originally granted approval of the Inn project to Mr. Ric Weinschenk on July 24, 2001. On November 1, 2004, you applied for and were granted an administrative amendment to the approved site plan. The 2004 amendment was to for a change of use from a hardware store to a restaurant/bar in a 1,030 square foot portion of the Inn as well as the expansion of an innkeeper's unit in the attic from 608 to 3,040 square feet.

Staff has conducted a comprehensive project review of your current application based on materials submitted to date including a site plan submitted by Pinkham & Greer Engineers and a memo from you dated June 21, 2005. This letter is to summarize the results of that review and to provide you with a clear and comprehensive picture of what will be required for you application to be found complete and approvable.

1. Application Completeness

Generally, staff has noted that the application contains conflicting and confusing information. Moreover, certain relevant information required under the site plan ordinance has not been submitted. Please provide a comprehensive project narrative detailing the complete scope the proposed site plan amendment. Please also revise the site plan to accurately depict existing and proposed conditions. For your convenience, I have attached a copy of the site plan application checklist.

- A. The application submitted May 13, 2005 is for "Walkway and Ground Leveling", however the site plan submitted June 2, 2005 shows no changes to grades and no proposed walkway is identified.
- B. The application form and site plan make no reference to the 3,200 square foot tent, which is detailed in your June 21, 2005 memo. Please provide elevations and specifications of the proposed tent as may be found in vendor's catalog cuts. Please also indicate on the site plan where the tent is proposed to be sited.
- C. Please provide a detailed description of the intended use of the proposed tent including anticipated number of occupants, hours of operation, frequency of use, etc. Please also describe how the project will conform with the City's Noise Ordinance. Will there be amplified music or a public address system used on the proposed tent?
- D. Please provide evidence of right, title, and interest in the subject property.
- E. Please describe any proposed exterior lighting.
- F. Please provide a detailed drainage plan showing existing and proposed conditions.
- G. Please provide a landscape plan including all vegetation and screening, existing and proposed.

2. Engineering

The City's consulting civil engineer, Jim Seymour P.E. of Sebago Technics, Inc., has reviewed the proposed plans and issued comments on June 30, 2005 as follow:

- Grading/Erosion Control

- A. The surface conditions under the proposed canopy are brick, but the plans call for stone dust. Will the surface be regarded and reworked under the canopy? Appropriate BMPs will need to be shown installed on the plan. Also the applicant shall be responsible for sweeping and clearing the parking area and all access from tracked soils, and or dust from tracked materials.

- B. Drainage from the canopy will drain under and through the covered area as shown. Please provide means of directing drainage towards the existing catch basin in Island Ave. We recommend a French Drain type of installation along the drip edge and tying it to the street drainage. Due to seasonal use freezing will not be a problem or concern.
- C. The gravel surface between proposed gravel pads on the northeast corner of the building will be problematic unless a drain is installed or unless the entire driveway is capped in concrete or bituminous. Runoff will saturate the gravel and the difference in materials will create ruts along the edges and will further pond water and deteriorate both concrete and gravel surfaces. If the area was paved or installed with concrete both the maintenance conditions and life expectancy will be enhanced.

- **Utility Information**

- A. Will electrical services originally placed underground for the lighting, in the canopy area still be utilized, or will a new service be set in place for lighting or general use?

- **General**

- A. Please be advised that the site previously had contaminated soils (some removed offsite, some disposed on-site). All excavated soils will be tested and disposed of either on or off-site in accordance with MeDEP requirements for Special Waste. Please add notes referencing this concern.
- B. We feel if the applicant submits new drawings that the site work would be easier to follow if the pre-existing conditions were removed so that only current conditions were shown on the drawing. If staff does not have other concerns then the plans could be conditionally approved, per the items above. Please contact our office with any questions.

The project plan and narrative should be revised so as to adequately address these engineering comments and concerns.

3. Zoning

The City's Zoning Administrator reviewed the proposed site plan and offered some preliminary comment and observations on a June 29, 2005 as follows:

- A. Different plans had different dimensions for figuring the size of the existing building.
- B. This project is in an I-B zone where restaurant uses are permitted. The given analysis is inaccurate. It states that the original approval did not require any

parking at that time. That is untrue. Four parking spaces where required. More than four spaces where shown so it was not a zoning issue.

- C. The project would require 10 parking spaces. Currently six (6) on site spaces are being provided. Off site at the Lionel Plante Associates site, five (5) additional spaces are being provided. The submitted information says that they are about 100 feet away. However, my recollection places those spaces much more than 100 feet away. Section 14-334 requires business off-site parking to be within 100' of the business use. We will need an accurately scaled plan to show exactly where these spaces are located. If, as I suspect, the parking is over 100 feet away, they will need to go to the ZBA of PB for approval. The board would need to determine that the off-site parking is within a "reasonable" distance.
- D. The site plan given to determine zoning is inaccurate. The tent hangs over an existing porch in order to meet the setback requirements (ten feet to the side property line). In real space on the face of the earth, that can only mean that the 40' x 80' tent cannot meet the setbacks when placed on site. Perhaps a narrower tent should be considered.
- E. I have also computed the lot coverage. I differ from what has been submitted. The project has only 80 square feet to spare. I would like to confirm building dimensions since different plans scale to different dimensions. Because they are almost right on their maximum lot coverage requirements, I want to be absolutely accurate on my calculations. I would want accurate scaleable plans submitted confirming the current dimensions of the existing building.
- F. Assurances of meeting the City's noise requirements will be a condition of approval.

Please work with your project team to revise the application to address each of the above listed issues. As always, if I can be of assistance, please do not hesitate to contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Ethan Boxer-Macomber, AICP
Planner

CC: Sarah Hopkins, Development Review Services Manager

Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 – 450 – 1104**

July 5, 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue – Walkway and Ground Leveling Application #2005-0134

Dear Ethan:

In response to your letter of July 1, 2005 whereby you requested a comprehensive project narrative which details the complete scope of the requested site plan amendment, I would like to provide you with the following information.

I. Project Overview

The requested amendment to our approved site plan encompasses the addition of a tent on the grounds located to the right of our building. The tent size will be such that once it is erected it will be within the requirements of the ten foot setback as required by the City.

The tented area will be properly secured by a fence that will be erected around the Premises.

It is our intention to utilize the tent to hold and service various food and beverage functions throughout the summer months. While we cannot accurately predict the exact number of functions that would be held under the tented property, we anticipate that we would have approximately one to two functions a week. The size of the tented functions are anticipated to be anywhere from 75 to 150 occupants. In no event do we anticipate servicing more customers than we are currently licensed to serve.

While there may be events that require the utilization of amplified music and/or a public address system, we will limit this use such that all functions adhere to the existing Noise

Ordinances established by the City. It is our initial intent to limit use of the tented area to 9:00pm during the week and until 9:30pm on weekends.

The site plan amendment application also includes a request to pave/resurface the existing gravel driveway located to the left of the building so that we can more easily receive deliveries to our Premises and so that we have the ability to set up tables on this surface to service those customers who would like to be outside. Again, it is our intention to limit outside service so that we operate within the requirements of the established noise ordinances. We currently anticipate limiting this service to 9:00p.m. on weekdays and 9:30p.m. on weekends.

II. Engineering and Utility Considerations

The grounds located under the proposed tent staging are to be leveled and reworked with stone dust as depicted in the revised site plan. We will be responsible for ensuring that all dust, soils or other debris from the grounds are properly swept and kept clear from the designated parking area.

There will not be a formal walkway constructed. Access to the tented area will be either via the canopied area on the right side of the building or through an opening in the gated area on the front of the Premises off of Island Avenue.

In regards to drainage, we have revised our site plan to include a French Drainage system to direct runoff to the existing catch basin on Island Avenue. Additionally, a drain will be installed at the northeast corner of the building in order to prevent any deterioration of the gravel located between the two gravel pads located at the northeast corner of the building.

Electrical utilities will be placed underground for the tented area.

Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

July 1, 2005

Mr. Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, Maine 04101

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Ethan Boxer-Macomber, AICP
Planner

CC: Sarah Hopkins, Development Review Services Manager

Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 – 450 – 1104**

July 5, 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

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Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

FEDERAL JACK'S RESTAURANT & BREW PUB

INCLUDING: SHIPYARD, INC./ASHLEIGH, INC. (KBC BREWERY)/
KBC COFFEE/KBC CHOWDER/FGJ HOLDINGS (THE FLORIDA TAP
ROOM)/INDIA ST PASTA/SEA DOG VENTURES, LLC/J&J RETAIL
(DOWNEAST EMPORIUM)/LEGEND MARKETING

FACSIMILE TRANSMITTAL SHEET

TO: Ethan Boxer-Macomber FROM: Field Folsley
 COMPANY: City of Portland DATE: 7/8/05
 FAX NUMBER: 756 8258 TOTAL NO. OF PAGES INCLUDING COVER: 2
 PHONE NUMBER: _____

RE: Inn on Peaks

- URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

*Leased Parking arrangement
for Inn on Peaks Island
from James Lawler*

JUL-08-2005 02:59 AM KENNEDY@ISCOPO

2077610007

P. 00

The Inn on Peaks Island
33 Island Ave.
Peaks Island, ME 04108
207-765-5100

ATTN:
Judy

July 8, 2005

Jim Lausier
40 Adams Rd.
Peaks Island, ME 04108

Dear Jim:

I appreciate your offer to lease The Inn on Peaks Island ⁴ parking spaces in your parking lot at 40 ~~Adams Rd.~~ (just behind the Inn) on a continual basis when we have events.

Welch Son
We would rent these spaces from you at a rate of \$10 per space when they are utilized during events. *We will notify you that we will be using spaces at least 2 hours in advance of use.*

If you could sign the bottom of this letter as seen and agreed to, it would be of great assistance to us in meeting the City requirements for parking for special events at the Inn.

We would agree to this parking lease for a 1 year term. This lease will be automatically renewed from year to year unless it is terminated with prior written notice. *of 30 days.*

Thank you again.

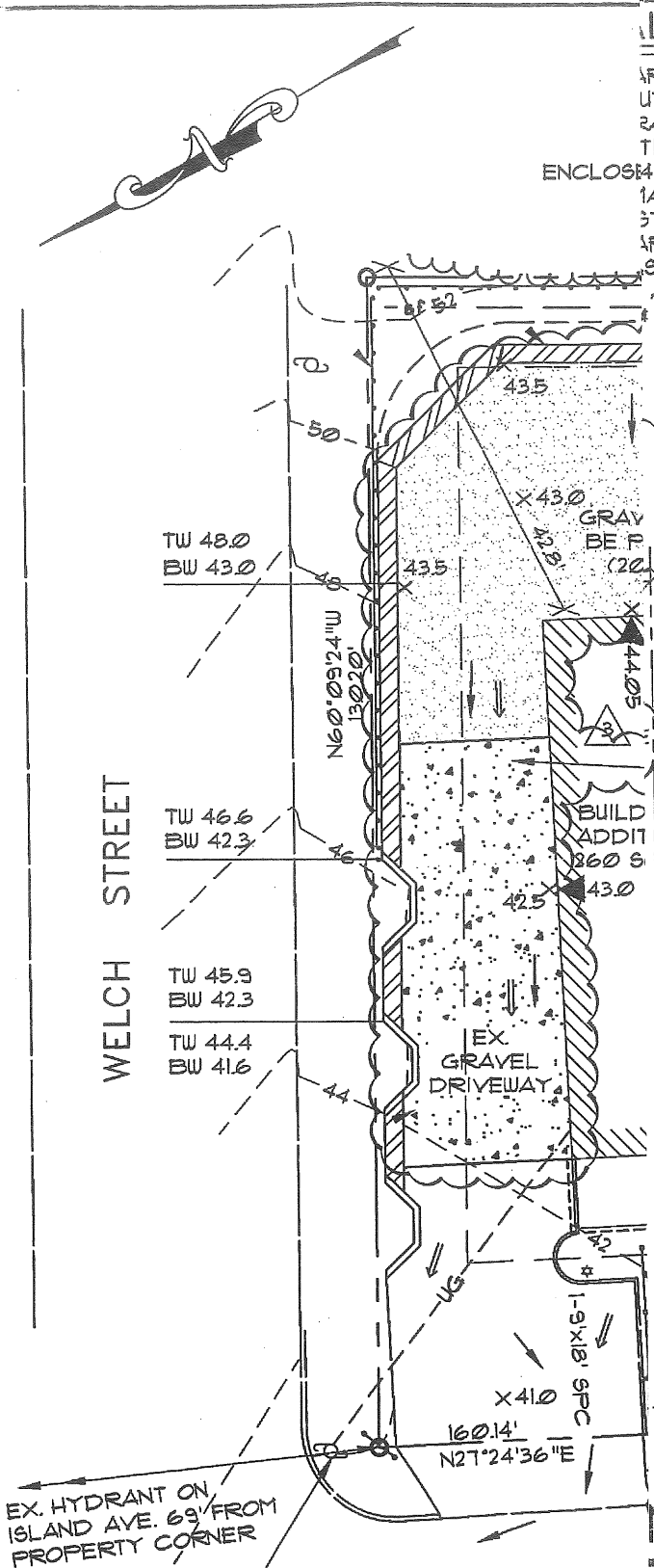
Sincerely,

Fred M. Forsley
Fred Forsley
450-1104

Seen and agreed to:

James Lausier
7/8/2005

CAD FILE: 00125
FILE SCALE: 1"=20'



L NOTES:

RY AND EX. FEATURES BY DANIEL J. DALFONSO, UTH PORTLAND.
 RAPHC SURVEY BY FINKHAM & GREER
 TING ENGINEERS, INC., FALMOUTH. JOHN D. BELL,
 ENCLOS. BENCHMARK TAKEN FROM BOUNDARY SURVEY.
 MARK: PK NAIL IN UTILITY POLE AT CORNER OF
 STREET AND ISLAND AVENUE AS SHOWN ON
 RY PLAN, ASSUMED EL. 42.61'.
 S SHOWN IN CUMBERLAND COUNTY SOILS SURVEY
 ARE "H&C", HOLLIS.
 SEWER SERVICES ARE UNCHANGED.
 TW = TOP OF BLOCK WALL
 BW = BOTTOM OF BLOCK WALL
 TC = TOP OF GRANITE CURB
 BC = BOTTOM OF GRANITE CURB @ F&M
 LOT COVERAGE: TOTAL PARCEL = 20,288 SF.
 BUILDING FOOTPRINT = 6,233 SF.
 CONCRETE PATIO/WALKS = 1,851 SF.
 PAVEMENT = 4,979 SF.
 STONE DUST = 2,340 SF.
 BUILDING LOT COVERAGE = 42.26%

EXISTING LEGEND

- PROPERTY LINE
- - - ABUTTERS PROPERTY
- BUILDING SETBACK
- EDGE OF PAVEMENT
- - - -200- - - CONTOURS
- CURB
- ⊙ SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- IRON PIPE FOUND
- ⊕ HYDRANT
- SURFACE DRAINAGE
- GRAVEL
- BRICK WALK
- GUARD RAIL FENCE

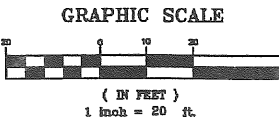
PROPOSED LEGEND

- EDGE OF PAVEMENT
- CURB
- - - -200- - - CONTOURS
- BUILDING
- - - UG - - - UNDERGROUND SERVICE
- - - SD - - - UNDERGROUND SERVICE
- - - UD - - - UNDERGROUND SERVICE
- SPOT GRADE
- * LOW VOLTAGE WALK LIGHT
- ♿ HANDICAP PARKING
- SURFACE DRAINAGE
- BIT. PAVEMENT
- STONE DUST
- CONCRETE PAD
- - - of - - - SILT FENCE

4	7/6/05	ADDED STONE DUST TENT PAD
3	6/2/05	ADDED CONC. TENT PADS
2	6/13/01	ADDED GREASE TRAP, ADDED S2: LANDSCAPE & LIGHTING PLAN
1	5/8/01	REV'D WORK IN PAPER STREET

THE INN ON PEAKS ISLAND
 3 ISLAND AVENUE

SCALE: 1" = 20'
 DATE: MARCH 21, 2001
 DESIGNED BY: TSG
 PROJECT: 05159



S1

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 – 450 – 1104**

July 5, 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue – Walkway and Ground Leveling Application #2005-0134

Dear Ethan:

In response to your letter of July 1, 2005 whereby you requested a comprehensive project narrative which details the complete scope of the requested site plan amendment, I would like to provide you with the following information.

I. Project Overview

The requested amendment to our approved site plan encompasses the addition of a tent on the grounds located to the right of our building. The tent size will be such that once it is erected it will be within the requirements of the ten foot setback as required by the City.

The tented area will be properly secured by a fence that will be erected around the Premises.

It is our intention to utilize the tent to hold and service various food and beverage functions throughout the summer months. While we cannot accurately predict the exact number of functions that would be held under the tented property, we anticipate that we would have approximately one to two functions a week. The size of the tented functions are anticipated to be anywhere from 75 to 150 occupants. In no event do we anticipate servicing more customers than we are currently licensed to serve.

While there may be events that require the utilization of amplified music and/or a public address system, we will limit this use such that all functions adhere to the existing Noise

Ordinances established by the City. It is our initial intent to limit use of the tented area to 9:00pm during the week and until 9:30pm on weekends.

The site plan amendment application also includes a request to pave/resurface the existing gravel driveway located to the left of the building so that we can more easily receive deliveries to our Premises and so that we have the ability to set up tables on this surface to service those customers who would like to be outside. Again, it is our intention to limit outside service so that we operate within the requirements of the established noise ordinances. We currently anticipate limiting this service to 9:00p.m. on weekdays and 9:30p.m. on weekends.

II. Engineering and Utility Considerations

The grounds located under the proposed tent staging are to be leveled and reworked with stone dust as depicted in the revised site plan. We will be responsible for ensuring that all dust, soils or other debris from the grounds are properly swept and kept clear from the designated parking area.

There will not be a formal walkway constructed. Access to the tented area will be either via the canopied area on the right side of the building or through an opening in the gated area on the front of the Premises off of Island Avenue.

In regards to drainage, we have revised our site plan to include a French Drainage system to direct runoff to the existing catch basin on Island Avenue. Additionally, a drain will be installed at the northeast corner of the building in order to prevent any deterioration of the gravel located between the two gravel pads located at the northeast corner of the building.

Electrical utilities will be placed underground for the tented area.

Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

CDC
The
Combination Door
Company

- Easy-Change
Combination Doors
- 3 Season Rooms
- Beauty & Flexibility -
- L.C. Schmidt
Signature Door Series
- Knotty Pine
- A new look! -
- Circle Top
Doors
- Wood
Screen Doors
- Choose Your
Door Design!
- Barn Sashes
- Contact
Combination Door Co.

Easy-Change Combination Doors

With a Wood Combination Door, You Have Choices.

The Easy-Change Door is timeless. No matter what style of home you have, there is an Easy-Change Door that will capture its beauty. Our large selection of designer grille inserts can also add distinction to your home.

And the Difference is Forever.

An Easy-Change Door means true craftsmanship. Each door is handmade of solid wood and engineered components, which means your door is one of a kind that's going to endure time. Made from the natural beauty of wood, an Easy-Change Door is handcrafted with precision and pride.

Increase the Value of Your Home.

The Easy-Change Door is an easy way to increase the value of your home significant cost. Secure and energy efficient, an Easy-Change Door adds a elegance and beauty. They're also durable, meaning you can restore any sig tear, unlike aluminum doors.

Customize Your Door.

Easy-Change Doors are handmade; therefore, we can offer customized doc the individual beauty of your home. With all of the planning and care that building or restoring a home, we can offer specialty doors that match your And once you have your door home, don't forget about colors. While alum are only available in basic colors, Easy-Change Doors made from natural v endless choices in both paint and stain.

Practical

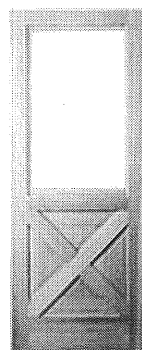
Natural

Versatile

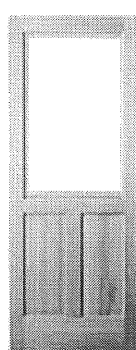
Enduring

Attractive

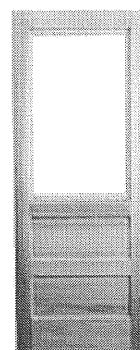
Prestigious



Colonial B



Classic B



Countryside
#55

Customize your Colonial B, Classic B or Countryside 55 with these grille designs.



Design
"A"
Grille



9-Lite
Grille



Designer
Grille

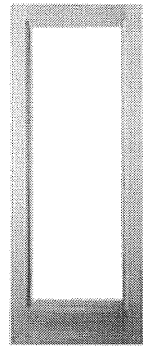
Customize your Ultra-Vu with these grille designs.



w/f

Spe

Easy-Change Wood Combination Doors are beautiful alone or easily customized with a decorative or designer grille.



Ultra-Vu



Victorian II Grille



Victorian III Grille



Chippendale Grille

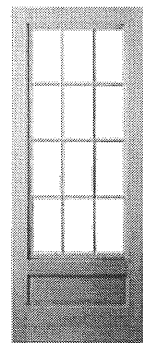


Prairie Grille

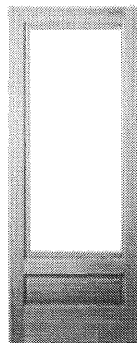


Designer Grille Ultra-Vu

The Easy-Change Door is Timeless!



Traditional #11



Traditional #50

Customize your Traditional #11 or #50 styles with these grille designs.



Prairie Grille

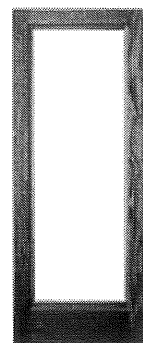


Montello Grille

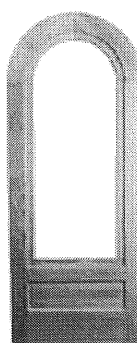


Designer Grille

An Easy-Change Door is handcrafted with precision and pride.



Oak Ultra-Vu



#50 Circle Top

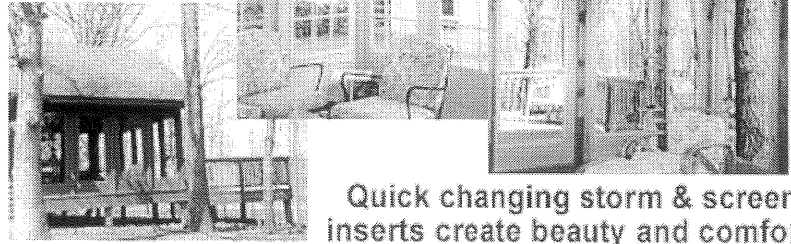


Sidelight Storm

The Easy-Change Door is an easy way to increase the value of your home.

Easy-Change Wood Combination doors are beautiful alone or easily customized with a decorative or designer grille.

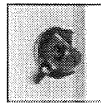
Three Season Rooms



Quick changing storm & screen inserts create beauty and comfort

Details on 3 season rooms.

Door Specifications



Easy Change.

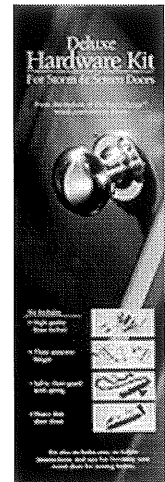
Easy-Change locking devices lock storm and screen inserts in place. Now, a tight, rattle-free weather seal only requires a simple flick of your wrist.

Deluxe Hardware Kit for Storm & Screen Doors

From the makers of the Easy-Change wood combination doors.

Kit Features:

- Attractive carton
- UPC Code
- High quality brass lockset
- Three steel hinges with zinc dichromate finish
- Black heavy duty door closer
- Black chain guard
- Installation instructions
- Finishing tips



Double Door Kit Includes:

- Above items plus
- Brass head and foot bolts
- 3 extra hinges with screws
- Brass dummy knob



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

July 1, 2005

Mr. Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, Maine 04101

RE: Proposed Amendment to an Approved Site Plan
Inn on Peaks – 33 Island Avenue – Walkway and Ground Leveling
Application #2005-0134

Dear Mr. Forsley:

The Portland Planning Division has received the above referenced application for an amendment to an approved site plan. The Portland Planning Board originally granted approval of the Inn project to Mr. Ric Weinschenk on July 24, 2001. On November 1, 2004, you applied for and were granted an administrative amendment to the approved site plan. The 2004 amendment was to for a change of use from a hardware store to a restaurant/bar in a 1,030 square foot portion of the Inn as well as the expansion of an innkeeper's unit in the attic from 608 to 3,040 square feet.

Staff has conducted a comprehensive project review of your current application based on materials submitted to date including a site plan submitted by Pinkham & Greer Engineers and a memo from you dated June 21, 2005. This letter is to summarize the results of that review and to provide you with a clear and comprehensive picture of what will be required for you application to be found complete and approvable.

1. Application Completeness

Generally, staff has noted that the application contains conflicting and confusing information. Moreover, certain relevant information required under the site plan ordinance has not been submitted. Please provide a comprehensive project narrative detailing the complete scope the proposed site plan amendment. Please also revise the site plan to accurately depict existing and proposed conditions. For your convenience, I have attached a copy of the site plan application checklist.

- A. The application submitted May 13, 2005 is for "Walkway and Ground Leveling", however the site plan submitted June 2, 2005 shows no changes to grades and no proposed walkway is identified.
- B. The application form and site plan make no reference to the 3,200 square foot tent, which is detailed in your June 21, 2005 memo. Please provide elevations and specifications of the proposed tent as may be found in vendor's catalog cuts. Please also indicate on the site plan where the tent is proposed to be sited.
- C. Please provide a detailed description of the intended use of the proposed tent including anticipated number of occupants, hours of operation, frequency of use, etc. Please also describe how the project will conform with the City's Noise Ordinance. Will there be amplified music or a public address system used on the proposed tent?
- D. Please provide evidence of right, title, and interest in the subject property.
- E. Please describe any proposed exterior lighting.
- F. Please provide a detailed drainage plan showing existing and proposed conditions.
- G. Please provide a landscape plan including all vegetation and screening, existing and proposed.

2. Engineering

The City's consulting civil engineer, Jim Seymour P.E. of Sebago Technics, Inc., has reviewed the proposed plans and issued comments on June 30, 2005 as follow:

- **Grading/Erosion Control**

- A. The surface conditions under the proposed canopy are brick, but the plans call for stone dust. Will the surface be regarded and reworked under the canopy? Appropriate BMPs will need to be shown installed on the plan. Also the applicant shall be responsible for sweeping and clearing the parking area and all access from tracked soils, and or dust from tracked materials.

- B. Drainage from the canopy will drain under and through the covered area as shown. Please provide means of directing drainage towards the existing catch basin in Island Ave. We recommend a French Drain type of installation along the drip edge and tying it to the street drainage. Due to seasonal use freezing will not be a problem or concern.
- C. The gravel surface between proposed gravel pads on the northeast corner of the building will be problematic unless a drain is installed or unless the entire driveway is capped in concrete or bituminous. Runoff will saturate the gravel and the difference in materials will create ruts along the edges and will further pond water and deteriorate both concrete and gravel surfaces. If the area was paved or installed with concrete both the maintenance conditions and life expectancy will be enhanced.

- **Utility Information**

- A. Will electrical services originally placed underground for the lighting, in the canopy area still be utilized, or will a new service be set in place for lighting or general use?

- **General**

- A. Please be advised that the site previously had contaminated soils (some removed offsite, some disposed on-site). All excavated soils will be tested and disposed of either on or off-site in accordance with MeDEP requirements for Special Waste. Please add notes referencing this concern.
- B. We feel if the applicant submits new drawings that the site work would be easier to follow if the pre-existing conditions were removed so that only current conditions were shown on the drawing. If staff does not have other concerns then the plans could be conditionally approved, per the items above. Please contact our office with any questions.

The project plan and narrative should be revised so as to adequately address these engineering comments and concerns.

3. Zoning

The City's Zoning Administrator reviewed the proposed site plan and offered some preliminary comment and observations on a June 29, 2005 as follows:

- A. Different plans had different dimensions for figuring the size of the existing building.
- B. This project is in an I-B zone where restaurant uses are permitted. The given analysis is inaccurate. It states that the original approval did not require any

parking at that time. That is untrue. Four parking spaces were required. More than four spaces were shown so it was not a zoning issue.

- C. The project would require 10 parking spaces. Currently six (6) on site spaces are being provided. Off site at the Lionel Plante Associates site, five (5) additional spaces are being provided. The submitted information says that they are about 100 feet away. However, my recollection places those spaces much more than 100 feet away. Section 14-334 requires business off-site parking to be within 100' of the business use. We will need an accurately scaled plan to show exactly where these spaces are located. If, as I suspect, the parking is over 100 feet away, they will need to go to the ZBA of PB for approval. The board would need to determine that the off-site parking is within a "reasonable" distance.
- D. The site plan given to determine zoning is inaccurate. The tent hangs over an existing porch in order to meet the setback requirements (ten feet to the side property line). In real space on the face of the earth, that can only mean that the 40' x 80' tent cannot meet the setbacks when placed on site. Perhaps a narrower tent should be considered.
- E. I have also computed the lot coverage. I differ from what has been submitted. The project has only 80 square feet to spare. I would like to confirm building dimensions since different plans scale to different dimensions. Because they are almost right on their maximum lot coverage requirements, I want to be absolutely accurate on my calculations. I would want accurate scaleable plans submitted confirming the current dimensions of the existing building.
- F. Assurances of meeting the City's noise requirements will be a condition of approval.

Please work with your project team to revise the application to address each of the above listed issues. As always, if I can be of assistance, please do not hesitate to contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Ethan Boxer-Macomber, AICP
Planner

CC: Sarah Hopkins, Development Review Services Manager

Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 - 450 - 1104**

July 8, 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue – Walkway and Ground Leveling Application #2005-0134

Dear Ethan:

In response to your letter of July 1, 2005 whereby you requested a comprehensive project narrative which details the complete scope of the requested site plan amendment, I would like to provide you with the following information.

I. Project Overview

The requested amendment to our approved site plan encompasses the addition of a tent on the grounds located to the right of our building. The tent size will be such that once it is erected it will be within the requirements of the ten foot setback as required by the City. We anticipate the maximum size of the tent to be approximately 30 feet wide and 75 feet in length with a height of 18 feet in the middle of the tent where a pole would be erected. We may use smaller tents depending upon the size of the function. We have not drawn the tent on the site plan as we will be utilizing different sizes. The tent will, however, be situated on the lawn to the right of the building within the setback requirements.

The tented area will be properly secured by a fence that will be constructed around the Premises.

It is our intention to utilize the tent to hold and service various food and beverage functions throughout the summer months. While we cannot accurately predict the exact number of functions that would be held under the tented property, we anticipate that we

would have approximately one to two functions a week. The size of the tented functions are anticipated to be anywhere from 75 to 150 occupants. In no event do we anticipate servicing more customers than we are currently licensed to serve.

While there may be events that require the utilization of amplified music and/or a public address system, we will limit this use such that all functions adhere to the existing Noise Ordinances established by the City. It is our initial intent to limit use of the tented area to 9:00pm during the week and until 9:30pm on weekends.

The site plan amendment application also includes a request to pave/resurface the existing gravel driveway located to the left of the building so that we can more easily receive deliveries to our Premises and so that we have the ability to set up tables on this surface to service those customers who would like to be outside. The proposed area to be paved/resurfaced will be utilized in the early morning hours until approximately 10:00 am for delivery receipts and after that time the area will be converted into seating for customers. This will enable us to utilize the area immediately in front of the proposed paved/resurfaced area for parking as we will not be allowing vehicle or delivery access after 10:00am.

Again, it is our intention to limit outside service so that we operate within the requirements of the established noise ordinances. We currently anticipate limiting this service to 9:00p.m. on weekdays and 9:30p.m. on weekends.

II. Parking Requirements

As illustrated on the accompanying Site Plan for the Inn on Peaks Island, there are now ten parking spaces which can be made available for use at our site. Eight spaces currently exist and the two spaces to the far right of the building can be built out. As noted above, we will be utilizing the proposed paved/resurfaced area to the left of the building for customer seating after 10:00 am. This will allow us to utilize the paved area in front of the Premises to the left of the front entrance for three parking spaces which may be used by our customers. An additional seven spaces are available in the front of the Premises to the right of the front entrance to the building for a total of ten spaces.

Additionally, we have entered into an arrangement with our neighbor, James Lausier, to lease four parking spaces at his residence on Welch Street which abuts our property. The spaces can be utilized by our operation on an as-needed basis. The location of these spaces is within 100 feet of our premises such that the spaces can be utilized as zoned parking for our operation. We have documented the leasing of these spaces from Mr. Laussier in writing and have forwarded a copy of the leasing arrangement to your attention at the City. We also have a tentative arrangement with our neighbor, Mr. Larry Davis, to lease three parking spaces located at his residence at 46 Welch Street which is also located within 100 feet of our Premises. If and when a final agreement has been reached and documented in writing, we will forward you a copy.

Because we have leased the additional four spaces from Mr. Lausier, it is our intention to

not immediately build out the two spaces on the far right hand side of our premises. If and when the need arises, we will build the spaces. However, with the leasing of these four spaces and the existing eight spaces on the Premises, we now have twelve spaces which exceed the ten space requirement.

III. Engineering and Utility Considerations

The grounds located under the proposed tent staging are to be leveled and reworked with stone dust as depicted in the revised site plan. We will be responsible for ensuring that all dust, soils or other debris from the grounds are properly swept and kept clear from the designated parking area. We will also ensure that any and all excavated soils will be tested and disposed of either on or off-site in accordance with the Maine Department of Environmental Protection requirements for Special Waste.

There will not be a formal walkway constructed. Access to the tented area will be either via the canopied area on the right side of the building or through an opening in the gated area on the front of the Premises off of Island Avenue.

In regards to drainage, we have revised our site plan to include a French Drainage system to direct runoff to the existing catch basin on Island Avenue. Additionally, a drain will be installed at the northeast corner of the building in order to prevent any deterioration of the gravel located between the two gravel pads located at the northeast corner of the building.

Electrical utilities will be placed underground for the tented area. The only additional lighting we will have will be under the tented area and at the entrance of the tented area for safety considerations.

Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

FEDERAL JACK'S RESTAURANT & BREW PUB

INCLUDING: SHIPYARD, INC./ASHLEIGH, INC. (KBC BREWERY)/
KBC COFFEE/KBC CHOWDER/FGJ HOLDINGS (THE FLORIDA TAP
ROOM)/INDIA ST PASTA/SEA DOG VENTURES, LLC/J&J RETAIL
(DOWNEAST EMPORIUM)/LEGEND MARKETING

FACSIMILE TRANSMITTAL SHEET

TO: Ethan Boxer-Macdonald FROM: Fred Forsley
 COMPANY: City of Portland DATE: 7/8/05
 FAX NUMBER: 756 8258 TOTAL NO. OF PAGES INCLUDING COVER: 2
 PHONE NUMBER: _____
 RE: Inn on Peaks

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

Leased parking arrangement
for Inn on Peaks Island
from James Lawrie

JUL-08-2005 09:59 AM KENNEDYRISCOPO

2077610807

F.05

The Inn on Peaks Island
33 Island Ave.
Peaks Island, ME 04108
207-765-5100

ATTN:
Judy

July 8, 2005

Jim Lausier
40 Adams Rd.
Peaks Island, ME 04108

Dear Jim:

I appreciate your offer to lease The Inn on Peaks Island's parking spaces in your parking lot at 40 Adams Rd. (just behind the Inn) on a continual basis when we have events.

We would rent these spaces from you at a rate of \$10 per space when they are utilized during events. *We will notify you that we will be using spaces at least 2 hours in advance of use.*
If you could sign the bottom of this letter as seen and agreed to, it would be of great assistance to us in meeting the City requirements for parking for special events at the Inn.

We would agree to this parking lease for a 1 year term. This lease will be automatically renewed from year to year unless it is terminated with prior written notice. *of 30 days.*

Thank you again.

Sincerely,

Fred M. Forsley
Fred Forsley
450-1104

Seen and agreed to:
James Lausier
7/8/2005

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	084 L001001
Location	61 WELCH ST
Land Use	SINGLE FAMILY
Owner Address	LAUSIER JAMES R & ROBERT F & CECILE T JTS 40 ADAMS ST PEAKS ISLAND ME 04108
Book/Page	11256/299
Legal	84-L-1 TO 6-13 TO 15 WELCH ST ADAMS ST PEAKS ISLAND 36000 SF

Current Valuation Information

Land	Building	Total
\$90,200	\$105,520	\$195,720

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$315,100	\$100,000	\$415,100	\$305,410

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1995	Cottage	2	1388	0.826	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	5	None	Crawl

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GREENHSE-WD W/ PLASTIC SHED-FRAME	1 1	1995 2000	17X96 12X14	C C	A A

Sales Information

Date	Type	Price	Book/Page
01/01/1994	LAND + BLDING	\$53,000	11256-297

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view by:
[Map](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 084 L012001
 Location 45 WELCH ST
 Land Use VACANT LAND

Owner Address WEINTRAUB PHYLLIS S & MARC R WEINTRAUB TRUSTEES
 7600 BAYSHORE DR 901A
 TREASURE ISLAND FL 33706

Book/Page 21876/141
 Legal 84-L-12
 WELCH ST
 PEAKS ISLAND
 4000 SF

Current Valuation Information

Land	Building	Total
\$630	\$0	\$630

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$900	\$0	\$900	\$765

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.092	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
10/08/2004	LAND	\$51,980	21876-141
09/17/2004	LAND + BLDING	\$25,990	21793-69

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view by:
[Map](#)

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 - 450 - 1104**

July 8, 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue – Walkway and Ground Leveling Application #2005-0134

Dear Ethan:

In response to your letter of July 1, 2005 whereby you requested a comprehensive project narrative which details the complete scope of the requested site plan amendment, I would like to provide you with the following information.

I. Project Overview

The requested amendment to our approved site plan encompasses the addition of a tent on the grounds located to the right of our building. The tent size will be such that once it is erected it will be within the requirements of the ten foot setback as required by the City. We anticipate the maximum size of the tent to be approximately 30 feet wide and 75 feet in length with a height of 18 feet in the middle of the tent where a pole would be erected. We may use smaller tents depending upon the size of the function. We have not drawn the tent on the site plan as we will be utilizing different sizes. The tent will, however, be situated on the lawn to the right of the building within the setback requirements.

The tented area will be properly secured by a fence that will be constructed around the Premises.

It is our intention to utilize the tent to hold and service various food and beverage functions throughout the summer months. While we cannot accurately predict the exact number of functions that would be held under the tented property, we anticipate that we

would have approximately one to two functions a week. The size of the tented functions are anticipated to be anywhere from 75 to 150 occupants. In no event do we anticipate servicing more customers than we are currently licensed to serve.

While there may be events that require the utilization of amplified music and/or a public address system, we will limit this use such that all functions adhere to the existing Noise Ordinances established by the City. It is our initial intent to limit use of the tented area to 9:00pm during the week and until 9:30pm on weekends.

The site plan amendment application also includes a request to pave/resurface the existing gravel driveway located to the left of the building so that we can more easily receive deliveries to our Premises and so that we have the ability to set up tables on this surface to service those customers who would like to be outside. The proposed area to be paved/resurfaced will be utilized in the early morning hours until approximately 10:00 am for delivery receipts and after that time the area will be converted into seating for customers. This will enable us to utilize the area immediately in front of the proposed paved/resurfaced area for parking as we will not be allowing vehicle or delivery access after 10:00am.

Again, it is our intention to limit outside service so that we operate within the requirements of the established noise ordinances. We currently anticipate limiting this service to 9:00p.m. on weekdays and 9:30p.m. on weekends.

II. Parking Requirements

As illustrated on the accompanying Site Plan for the Inn on Peaks Island, there are now ten parking spaces which can be made available for use at our site. Eight spaces currently exist and the two spaces to the far right of the building can be built out. As noted above, we will be utilizing the proposed paved/resurfaced area to the left of the building for customer seating after 10:00 am. This will allow us to utilize the paved area in front of the Premises to the left of the front entrance for three parking spaces which may be used by our customers. An additional seven spaces are available in the front of the Premises to the right of the front entrance to the building for a total of ten spaces.

Additionally, we have entered into an arrangement with our neighbor, James Lausier, to lease four parking spaces at his residence on Welch Street which abuts our property. The spaces can be utilized by our operation on an as-needed basis. The location of these spaces is within 100 feet of our premises such that the spaces can be utilized as zoned parking for our operation. We have documented the leasing of these spaces from Mr. Laussier in writing and have forwarded a copy of the leasing arrangement to your attention at the City. We also have a tentative arrangement with our neighbor, Mr. Larry Davis, to lease three parking spaces located at his residence at 46 Welch Street which is also located within 100 feet of our Premises. If and when a final agreement has been reached and documented in writing, we will forward you a copy.

Because we have leased the additional four spaces from Mr. Lausier, it is our intention to

not immediately build out the two spaces on the far right hand side of our premises. If and when the need arises, we will build the spaces. However, with the leasing of these four spaces and the existing eight spaces on the Premises, we now have twelve spaces which exceed the ten space requirement.

III. Engineering and Utility Considerations

The grounds located under the proposed tent staging are to be leveled and reworked with stone dust as depicted in the revised site plan. We will be responsible for ensuring that all dust, soils or other debris from the grounds are properly swept and kept clear from the designated parking area. We will also ensure that any and all excavated soils will be tested and disposed of either on or off-site in accordance with the Maine Department of Environmental Protection requirements for Special Waste.

There will not be a formal walkway constructed. Access to the tented area will be either via the canopied area on the right side of the building or through an opening in the gated area on the front of the Premises off of Island Avenue.

In regards to drainage, we have revised our site plan to include a French Drainage system to direct runoff to the existing catch basin on Island Avenue. Additionally, a drain will be installed at the northeast corner of the building in order to prevent any deterioration of the gravel located between the two gravel pads located at the northeast corner of the building.

Electrical utilities will be placed underground for the tented area. The only additional lighting we will have will be under the tented area and at the entrance of the tented area for safety considerations.

Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 – 450 – 1104**

July 20, 2005

RECEIVED JUL 21 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue -- Walkway and Ground Leveling Application #2005-0134

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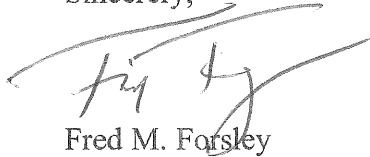
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Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,

A handwritten signature in black ink, appearing to read "Fred M. Forsley", with a large, sweeping flourish above the name.

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 - 450 - 1104

July 8, 2005

RECEIVED JUL 21 2005

Jim Lausier
40 Adams Road
Peaks Island, Maine 04108

Re: Leasing of four parking spaces to Island Operations LLC

Dear Jim:

This correspondence serves to document our agreement regarding the leasing of four parking spaces located on your property by Island Operations LLC d/b/a The Inn on Peaks Island.

It is agreed that The Inn will be able to lease four parking spaces from you on the property you own at 40 Welch Street, directly in front of the nursery/landscaping business you operate.

We are permitted to lease these spaces at a rental price of \$10 per space per day when utilized. We will give you at least a twenty-four hour advance notice prior to utilizing the spaces.

This lease agreement will be in effect for a one year term beginning July 15, 2005 and will automatically be renewed annually unless the agreement is terminated in writing with at least a thirty day notice. We will notify the City of Portland in the event that this agreement is terminated.

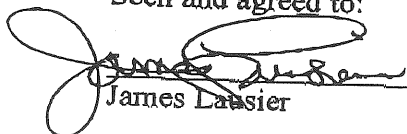
By signing the bottom of this agreement, you are acknowledging and accepting the terms of this agreement.

Thank you for your assistance in this matter.

Sincerely,

Fred Forsley

Seen and agreed to:

 7/20/05
James Lausier

No 84 Peaks Island
City of Portland
Assessors Plan

Scale 1" = 100'



RECEIVED JUL 21 2005

Note: The parking spaces shown on Island Acquisition is leasing from Tim Leabier are within 100' of Island Acquisition PDA #1 lot 12 15 50' and lot 13 15 50'

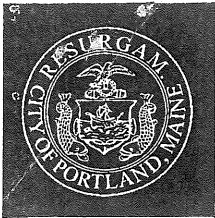
Tim Leabier Property
Lot 13 - 4 Parking Spaces
Access from Welch St.

Island Acquisition
33 Island Ave





7874
8488



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

July 1, 2005

Mr. Fred Forsley
Island Acquisition, LLC
86 Newbury Street
Portland, Maine 04101

RE: Proposed Amendment to an Approved Site Plan
Inn on Peaks – 33 Island Avenue – Walkway and Ground Leveling
Application #2005-0134

Dear Mr. Forsley:

The Portland Planning Division has received the above referenced application for an amendment to an approved site plan. The Portland Planning Board originally granted approval of the Inn project to Mr. Ric Weinschenk on July 24, 2001. On November 1, 2004, you applied for and were granted an administrative amendment to the approved site plan. The 2004 amendment was to for a change of use from a hardware store to a restaurant/bar in a 1,030 square foot portion of the Inn as well as the expansion of an innkeeper's unit in the attic from 608 to 3,040 square feet.

Staff has conducted a comprehensive project review of your current application based on materials submitted to date including a site plan submitted by Pinkham & Greer Engineers and a memo from you dated June 21, 2005. This letter is to summarize the results of that review and to provide you with a clear and comprehensive picture of what will be required for you application to be found complete and approvable.

1. Application Completeness

Generally, staff has noted that the application contains conflicting and confusing information. Moreover, certain relevant information required under the site plan ordinance has not been submitted. Please provide a comprehensive project narrative detailing the complete scope the proposed site plan amendment. Please also revise the site plan to accurately depict existing and proposed conditions. For your convenience, I have attached a copy of the site plan application checklist.

- A. The application submitted May 13, 2005 is for "Walkway and Ground Leveling", however the site plan submitted June 2, 2005 shows no changes to grades and no proposed walkway is identified.
- B. The application form and site plan make no reference to the 3,200 square foot tent, which is detailed in your June 21, 2005 memo. Please provide elevations and specifications of the proposed tent as may be found in vendor's catalog cuts. Please also indicate on the site plan where the tent is proposed to be sited.
- C. Please provide a detailed description of the intended use of the proposed tent including anticipated number of occupants, hours of operation, frequency of use, etc. Please also describe how the project will conform with the City's Noise Ordinance. Will there be amplified music or a public address system used on the proposed tent?
- D. Please provide evidence of right, title, and interest in the subject property.
- E. Please describe any proposed exterior lighting.
- F. Please provide a detailed drainage plan showing existing and proposed conditions.
- G. Please provide a landscape plan including all vegetation and screening, existing and proposed.

2. Engineering

The City's consulting civil engineer, Jim Seymour P.E. of Sebago Technics, Inc., has reviewed the proposed plans and issued comments on June 30, 2005 as follow:

- **Grading/Erosion Control**

- A. The surface conditions under the proposed canopy are brick, but the plans call for stone dust. Will the surface be regarded and reworked under the canopy? Appropriate BMPs will need to be shown installed on the plan. Also the applicant shall be responsible for sweeping and clearing the parking area and all access from tracked soils, and or dust from tracked materials.

- B. Drainage from the canopy will drain under and through the covered area as shown. Please provide means of directing drainage towards the existing catch basin in Island Ave. We recommend a French Drain type of installation along the drip edge and tying it to the street drainage. Due to seasonal use freezing will not be a problem or concern.
- C. The gravel surface between proposed gravel pads on the northeast corner of the building will be problematic unless a drain is installed or unless the entire driveway is capped in concrete or bituminous. Runoff will saturate the gravel and the difference in materials will create ruts along the edges and will further pond water and deteriorate both concrete and gravel surfaces. If the area was paved or installed with concrete both the maintenance conditions and life expectancy will be enhanced.

- **Utility Information**

- A. Will electrical services originally placed underground for the lighting, in the canopy area still be utilized, or will a new service be set in place for lighting or general use?

- **General**

- A. Please be advised that the site previously had contaminated soils (some removed offsite, some disposed on-site). All excavated soils will be tested and disposed of either on or off-site in accordance with MeDEP requirements for Special Waste. Please add notes referencing this concern.
- B. We feel if the applicant submits new drawings that the site work would be easier to follow if the pre-existing conditions were removed so that only current conditions were shown on the drawing. If staff does not have other concerns then the plans could be conditionally approved, per the items above. Please contact our office with any questions.

The project plan and narrative should be revised so as to adequately address these engineering comments and concerns.

3. Zoning

The City's Zoning Administrator reviewed the proposed site plan and offered some preliminary comment and observations on a June 29, 2005 as follows:

- A. Different plans had different dimensions for figuring the size of the existing building.
- B. This project is in an I-B zone where restaurant uses are permitted. The given analysis is inaccurate. It states that the original approval did not require any

parking at that time. That is untrue. Four parking spaces were required. More than four spaces were shown so it was not a zoning issue.

- C. The project would require 10 parking spaces. Currently six (6) on site spaces are being provided. Off site at the Lionel Plante Associates site, five (5) additional spaces are being provided. The submitted information says that they are about 100 feet away. However, my recollection places those spaces much more than 100 feet away. Section 14-334 requires business off-site parking to be within 100' of the business use. We will need an accurately scaled plan to show exactly where these spaces are located. If, as I suspect, the parking is over 100 feet away, they will need to go to the ZBA of PB for approval. The board would need to determine that the off-site parking is within a "reasonable" distance.
- D. The site plan given to determine zoning is inaccurate. The tent hangs over an existing porch in order to meet the setback requirements (ten feet to the side property line). In real space on the face of the earth, that can only mean that the 40' x 80' tent cannot meet the setbacks when placed on site. Perhaps a narrower tent should be considered.
- E. I have also computed the lot coverage. I differ from what has been submitted. The project has only 80 square feet to spare. I would like to confirm building dimensions since different plans scale to different dimensions. Because they are almost right on their maximum lot coverage requirements, I want to be absolutely accurate on my calculations. I would want accurate scaleable plans submitted confirming the current dimensions of the existing building.
- F. Assurances of meeting the City's noise requirements will be a condition of approval.

Please work with your project team to revise the application to address each of the above listed issues. As always, if I can be of assistance, please do not hesitate to contact me at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Ethan Boxer-Macomber, AICP
Planner

CC: Sarah Hopkins, Development Review Services Manager

Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 – 450 – 1104**

July 5, 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue – Walkway and Ground Leveling Application #2005-0134

Dear Ethan:

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Ordinances established by the City. It is our initial intent to limit use of the tented area to 9:00pm during the week and until 9:30pm on weekends.

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Sincerely,

Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

FEDERAL JACK'S RESTAURANT & BREW PUB

INCLUDING: SHIPYARD, INC./ASHLEIGH, INC. (KBC BREWERY)/
KBC COFFEE/KBC CHOWDER/FGJ HOLDINGS (THE FLORIDA TAP
ROOM)/INDIA ST PASTA/SEA DOG VENTURES, LLC/J&J RETAIL
(DOWNEAST EMPORIUM)/LEGEND MARKETING

FACSIMILE TRANSMITTAL SHEET

TO: *Ethan Boxer-Macomber* FROM: *Fred Forsley*

COMPANY: *City of Putnam* DATE: *7/8/05*

FAX NUMBER: *756 8258* TOTAL NO. OF PAGES INCLUDING COVER: *2*

PHONE NUMBER:

RE: *Inn on Peaks*

- URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

*Leased Parking arrangement
for Inn on Peaks Island
from James Lawler*

JUL-08-2005 03:59 AM KENNEDYRISCOPO

2077610807

F.00

The Inn on Peaks Island
33 Island Ave.
Peaks Island, ME 04108
207-765-5100

ATTN:
Judy

July 8, 2005

Jim Lausier
40 Adams Rd.
Peaks Island, ME 04108

Dear Jim:

I appreciate your offer to lease The Inn on Peaks Island ⁴ parking spaces in your parking lot at 40 ~~Adams Rd.~~ ^{Welch St.} (just behind the Inn) on a continual basis when we have events.

We would rent these spaces from you at a rate of \$10 per space when they are utilized during events. *We will notify you that we will be using spaces at least 2 hours in advance of use.*

If you could sign the bottom of this letter as seen and agreed to, it would be of great assistance to us in meeting the City requirements for parking for special events at the Inn.

We would agree to this parking lease for a 1 year term. This lease will be automatically renewed from year to year unless it is terminated with prior written notice. *of 30 days.*

Thank you again.

Sincerely,

Fred M. Forsley
Fred Forsley
450-1104

Seen and agreed to:

James Lausier
7/8/2005

From: Ethan Boxer-Macomber
To: fforsley@shipyard.com
Date: 7/19/05 4:49:50 PM
Subject: Inn on Peaks

Hello, Fred,

As per our conversation a few moments ago, the Zoning Administrator has reviewed your proposed plans (July 6 site plan, July 8 narrative, and July 8 lease agreement) for a tent base and associated parking and site improvements at the Inn on Peaks. The following comments and requests for clarification / further information were generated:

- 1) The lease agreement with Mr. Jim Lausier contains multiple hand edits (location, number of spaces, additional terms) and was delivered to the City via fax (poor, grainy image quality). As a result, the terms of the lease agreement are unclear. Please send an original typed and signed lease agreement.
- 2) We calculate that the proposed tent area combined with existing area will require a total of 9 parking spaces. Your narrative indicates that you have 8 existing spaces when, in fact, only 6 spaces are existing. Three (3) additional spaces must be provided and so you may consider reducing the number in the agreement with Mr. Lausier from four to three.
- 3) No map, plan, or photo has been presented to demonstrate the location of the parking spaces offered in the Lausier lease agreement. Please provide a scalable plan demonstrating (1) the location of the spaces on the Lausier property, (2) their proximity to the Inn site, and (3) parking area layout and point of access. Be advised that the property directly behind the Inn on Welsh Street is currently not owned by Mr. Lausier.
- 4) There is still a discrepancy between the description of the maximum tent size indicated in your 7/8 narrative (30 x 75 feet) and the tent area depicted and engineered around on your 7/6 site plan. Please revise the narrative to describe a tent that would fit within the confines of the tent area presented on the site plan, which we estimate to be approximately 35 x 64 feet based on a scaling of the plan.

As we discussed last week, the City's consulting development review engineer still has some outstanding concerns with the 7/6 site plan as expressed in a 7/14/2005 memo. These concerns will be addressed as conditions of approval. I have attached an additional copy of the 7/14 engineering memo for your information.

Please let me know if I can be of further assistance.

Best regards,

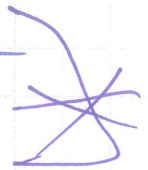
Ethan Boxer-Macomber, AICP
Planner
City of Portland Planning Division
389 Congress Street
Portland, ME 04101

Tel: 207.756.8083
Fax: 207.756.8258

CC: Marge Schmuckal; Sarah Hopkins

MARGE
MEETING
7/19/05

① PROPOSED RENTED PARKING IN IK-2 ZONE
- NOT A PERMITTED USE



② OWNERSHIP ↔ LETTER DON'T MATCH
NO MAP, NO PLAN, NO PHOTOS

OWNER = 3 PERSON
ONLY ONE SIGNED

③ NARRATIVE & MAP REPRESENT MAX SIZE DIFFERENTLY
↳ 30x75 ↳ scales to 35x64

④ TABLES ON DRIVEWAY NOT A PROBLEM

↳ CHECK w/ FIRE PREVENTION

⑤ PARKING @ DRIVEWAY ~~NO~~ NO

⑥ "8 EXISTING" INACCURATE - ONLY 6 EXISTING

⑦ 30x75 TENT = 9 SPACE

$$524.75 / 150 = 34.95 \text{ LESS } 75\% = 8.7365 \dots$$

⑧ LEASE TOO SLOPPY * GET A

REAL CONTRACT

9

!!!

**Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 – 450 – 1104**

July 20, 2005

RECEIVED JUL 21 2005

Mr. Ethan Boxer-Macomber, AICP
City of Portland – Planning Division
City Hall
Portland, Maine 04101

Re: Narrative Description of Requested Amendment to Approved Site Plan for The Inn on Peaks Island – 33 Island Avenue – Walkway and Ground Leveling Application #2005-0134

Dear Ethan:

In response to your letter of July 1, 2005 whereby you requested a comprehensive project narrative which details the complete scope of the requested site plan amendment, I would like to provide you with the following information.

I. Project Overview

The requested amendment to our approved site plan encompasses the addition of a tent on the grounds located to the right of our building. The tent size will be such that once it is erected it will be within the requirements of the ten foot setback as required by the City. We anticipate the maximum size of the tent to be approximately 35 feet wide and 60 feet in length with a height of 18 feet in the middle of the tent where a pole would be erected. We may use smaller tents depending upon the size of the function. We have not drawn the tent on the site plan as we will be utilizing different sizes. The tent will, however, be situated on the lawn to the right of the building within the setback requirements.

The tented area will be properly secured by a fence that will be constructed around the Premises.

It is our intention to utilize the tent to hold and service various food and beverage functions throughout the summer months. While we cannot accurately predict the exact number of functions that would be held under the tented property, we anticipate that we would have approximately one to two functions a week. The size of the tented functions

are anticipated to be anywhere from 75 to 150 occupants. In no event do we anticipate servicing more customers than we are currently licensed to serve.

While there may be events that require the utilization of amplified music and/or a public address system, we will limit this use such that all functions adhere to the existing Noise Ordinances established by the City. It is our initial intent to limit use of the tented area to 9:00pm during the week and until 9:30pm on weekends.

The site plan amendment application also includes a request to pave/resurface the existing gravel driveway located to the left of the building so that we can more easily receive deliveries to our Premises and so that we have the ability to set up tables on this surface to service those customers who would like to be outside. The proposed area to be paved/resurfaced will be utilized in the early morning hours until approximately 10:00 am for delivery receipts and after that time the area will be converted into seating for customers. This will enable us to utilize the area immediately in front of the proposed paved/resurfaced area for parking as we will not be allowing vehicle or delivery access after 10:00am.

Again, it is our intention to limit outside service so that we operate within the requirements of the established noise ordinances. We currently anticipate limiting this service to 9:00p.m. on weekdays and 9:30p.m. on weekends.

II. Parking Requirements

As illustrated on the accompanying Site Plan for the Inn on Peaks Island, there are now ten parking spaces which can be made available for use at our site. Eight spaces currently exist and the two spaces to the far right of the building can be built out. As noted above, we will be utilizing the proposed paved/resurfaced area to the left of the building for customer seating after 10:00 am. This will allow us to utilize the paved area in front of the Premises to the left of the front entrance for three parking spaces which may be used by our customers. An additional seven spaces are available in the front of the Premises to the right of the front entrance to the building for a total of ten spaces.

Additionally, we have entered into an arrangement with our neighbor, James Lausier, to lease four parking spaces at his residence on Welch Street which abuts our property. The spaces can be utilized by our operation on an as-needed basis. The location of these spaces is within 100 feet of our premises such that the spaces can be utilized as zoned parking for our operation. We have documented the leasing of these spaces from Mr. Laussier in writing and have forwarded a copy of the leasing arrangement to your attention at the City. We also have a tentative arrangement with our neighbor, Mr. Larry Davis, to lease three parking spaces located at his residence at 46 Welch Street which is also located within 100 feet of our Premises. If and when a final agreement has been reached and documented in writing, we will forward you a copy.

Because we have leased the additional four spaces from Mr. Lausier, it is our intention to not immediately build out the two spaces on the far right hand side of our premises. If and when the need arises, we will build the spaces. However, with the leasing of these

four spaces and the existing eight spaces on the Premises, we now have twelve spaces which exceed the ten space requirement.

III. Engineering and Utility Considerations

The grounds located under the proposed tent staging are to be leveled and reworked with stone dust as depicted in the revised site plan. We will be responsible for ensuring that all dust, soils or other debris from the grounds are properly swept and kept clear from the designated parking area. We will also ensure that any and all excavated soils will be tested and disposed of either on or off-site in accordance with the Maine Department of Environmental Protection requirements for Special Waste.

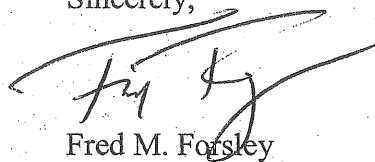
There will not be a formal walkway constructed. Access to the tented area will be either via the canopied area on the right side of the building or through an opening in the gated area on the front of the Premises off of Island Avenue.

In regards to drainage, we have revised our site plan to include a French Drainage system to direct runoff to the existing catch basin on Island Avenue. Additionally, a drain will be installed at the northeast corner of the building in order to prevent any deterioration of the gravel located between the two gravel pads located at the northeast corner of the building.

Electrical utilities will be placed underground for the tented area. The only additional lighting we will have will be under the tented area and at the entrance of the tented area for safety considerations.

Should you have any additional questions and/or concerns in regards to the above information please do not hesitate to contact me at 207-450-1104.

Sincerely,



Fred M. Forsley

Cc Sarah Hopkins, Development Review Services Manager
Alex Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Mike Nugent, Building Inspections

Island Operations LLC
D/b/a The Inn on Peaks Island
33 Island Avenue
Peaks Island, Maine 04108
207 - 450 - 1104

July 8, 2005

RECEIVED JUL 21 2005

Jim Lausier
40 Adams Road
Peaks Island, Maine 04108

Re: Leasing of four parking spaces to Island Operations LLC

Dear Jim:

This correspondence serves to document our agreement regarding the leasing of four parking spaces located on your property by Island Operations LLC d/b/a The Inn on Peaks Island.

It is agreed that The Inn will be able to lease four parking spaces from you on the property you own at 40 Welch Street, directly in front of the nursery/landscaping business you operate.

We are permitted to lease these spaces at a rental price of \$10 per space per day when utilized. We will give you at least a twenty-four hour advance notice prior to utilizing the spaces.

This lease agreement will be in effect for a one year term beginning July 15, 2005 and will automatically be renewed annually unless the agreement is terminated in writing with at least a thirty day notice. We will notify the City of Portland in the event that this agreement is terminated.

By signing the bottom of this agreement, you are acknowledging and accepting the terms of this agreement.

Thank you for your assistance in this matter.

Sincerely,

Fred Forsley

Seen and agreed to:


James Lausier

Nb 84 Peakes Island
City of Portland
Assessors P12M

Scale 1" = 100'



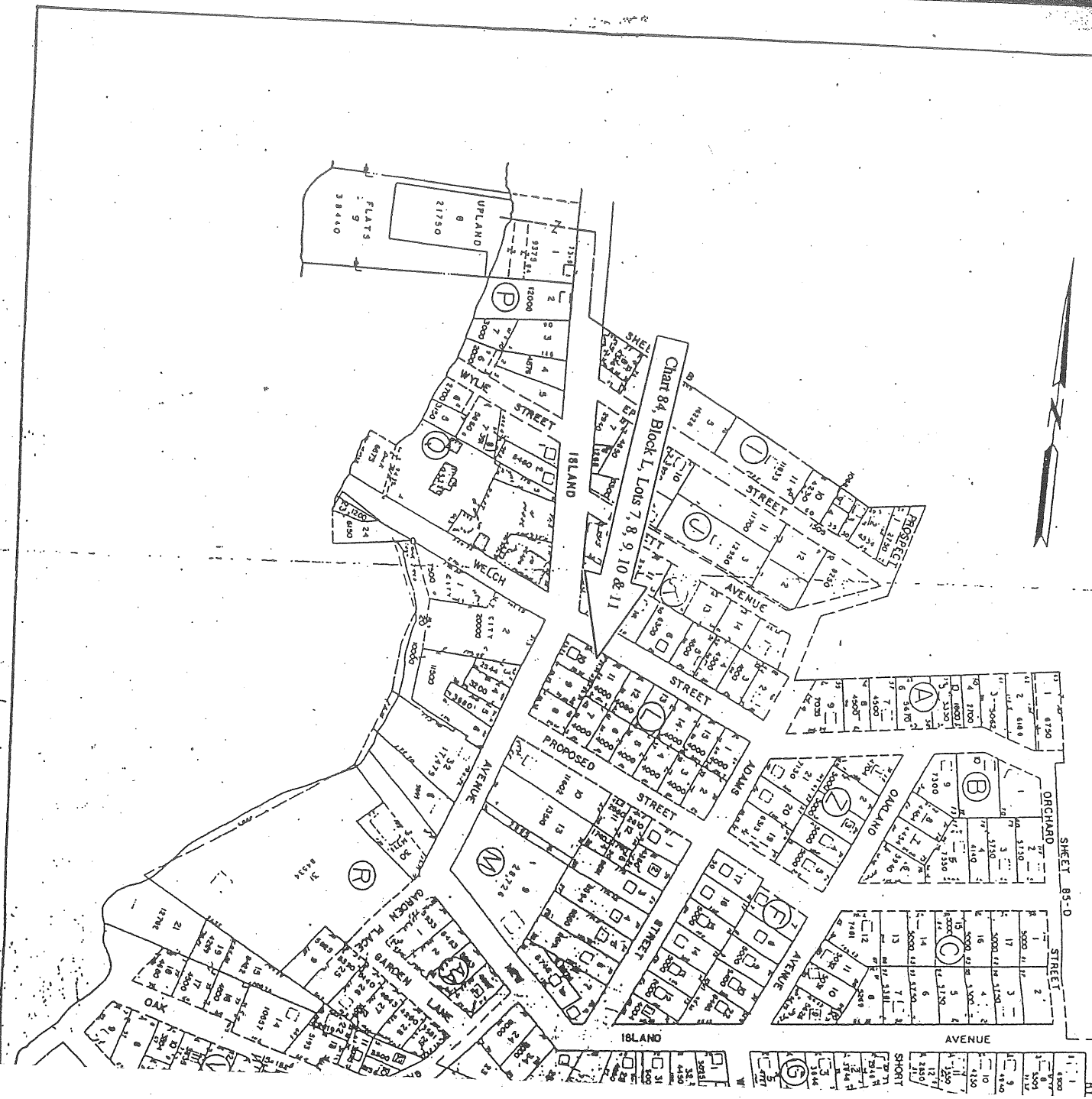
RECEIVED JUL 27 2005

Note: The parking spaces shown Island Acquisition is leasing from Tim Leubler are within 100' of Island Acquisition P0024 Inc Lot 12 15 50' and lot 13 15 50'

Tim Leubler Property
Lot 13-4 Pking Spaces
Access from Welch St.

Island Acquisition
33 Island Ave



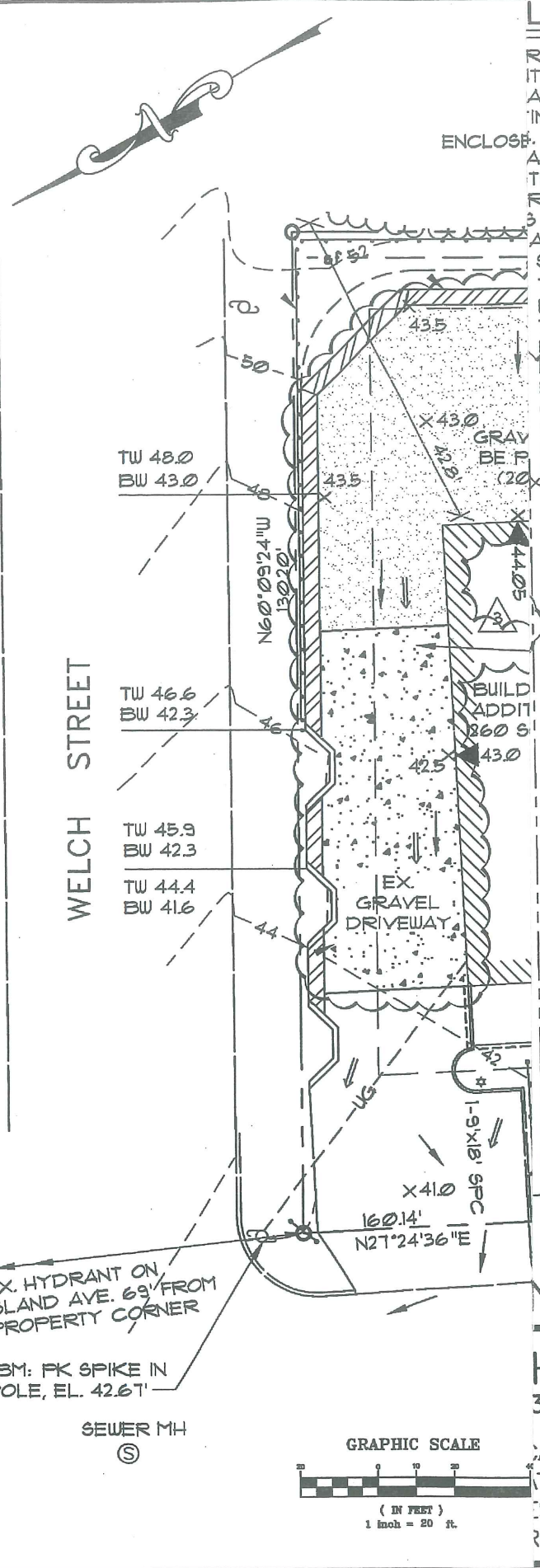


Handwritten note in a circle: "8/1/88" (likely August 1, 1988)

SHEET 85-D

AT

CAD FILE: 00125
FILE SCALE: 1"=20'



L NOTES:

RY AND EX. FEATURES BY DANIEL J. DALFONSO, ITH PORTLAND.
 APHIC SURVEY BY PINKHAM & GREER
 'ING ENGINEERS, INC., FALMOUTH. JOHN D. BELL,
 ENCLOSURE. BENCHMARK TAKEN FROM BOUNDARY SURVEY.
 ARK: PK NAIL IN UTILITY POLE AT CORNER OF
 TREET AND ISLAND AVENUE AS SHOWN ON
 RY PLAN, ASSUMED EL. 42.67'.
 3 SHOWN IN CUMBERLAND COUNTY SOILS SURVEY
 ARE "H&C", HOLLIS.
 SEWER SERVICES ARE UNCHANGED.
 TW = TOP OF BLOCK WALL
 BW = BOTTOM OF BLOCK WALL
 TC = TOP OF GRANITE CURB
 BC = BOTTOM OF GRANITE CURB @ RYMT
 LOT COVERAGE: TOTAL PARCEL = 20,288 SF.
 BUILDING FOOTPRINT = 6,233 SF.
 CONCRETE PATIO/WALKS = 1,851 SF.
 PAVEMENT = 4,979 SF.
 STONE DUST = 2,340 SF.
 BUILDING LOT COVERAGE = 42.26%

EXISTING LEGEND

- PROPERTY LINE
- - - - ABUTTERS PROPERTY
- BUILDING SETBACK
- EDGE OF PAVEMENT
- - - -200 - - - CONTOURS
- ===== CURB
- ⊙ SEWER MANHOLE
- CATCH BASIN
- ⊙ UTILITY POLE
- ⊙ IRON PIPE FOUND
- ⊙ HYDRANT
- SURFACE DRAINAGE
- GRAVEL
- BRICK WALK
- GUARD RAIL FENCE

PROPOSED LEGEND

- ===== EDGE OF PAVEMENT
- ===== CURB
- - - -290 - - - CONTOURS
- ===== BUILDING
- - - UG - - - UNDERGROUND SERVICE
- - - SD - - - UNDERGROUND SERVICE
- - - UD - - - UNDERGROUND SERVICE
- x 50.1 SPOT GRADE
- * LOW VOLTAGE WALK LIGHT
- ⊙ HANDICAP PARKING
- SURFACE DRAINAGE
- BIT. PAVEMENT
- STONE DUST
- CONCRETE PAD
- - - of - - - SILT FENCE

4	7/6/05	ADDED STONE DUST TENT PAD
3	6/12/05	ADDED CONC. TENT PADS
2	6/18/01	ADDED GREASE TRAP, ADDED S2: LANDSCAPE & LIGHTING PLAN
1	5/8/01	REV'D WORK IN PAPER STREET

**THE INN ON PEAKS ISLAND
 3 ISLAND AVENUE**

SCALE: 1" = 20'
 DATE: MARCH 21, 2001
 DESIGNED BY: TSG
 PROJECT: 05159

S1

Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Ethan Boxer-Macomber at 756-8083

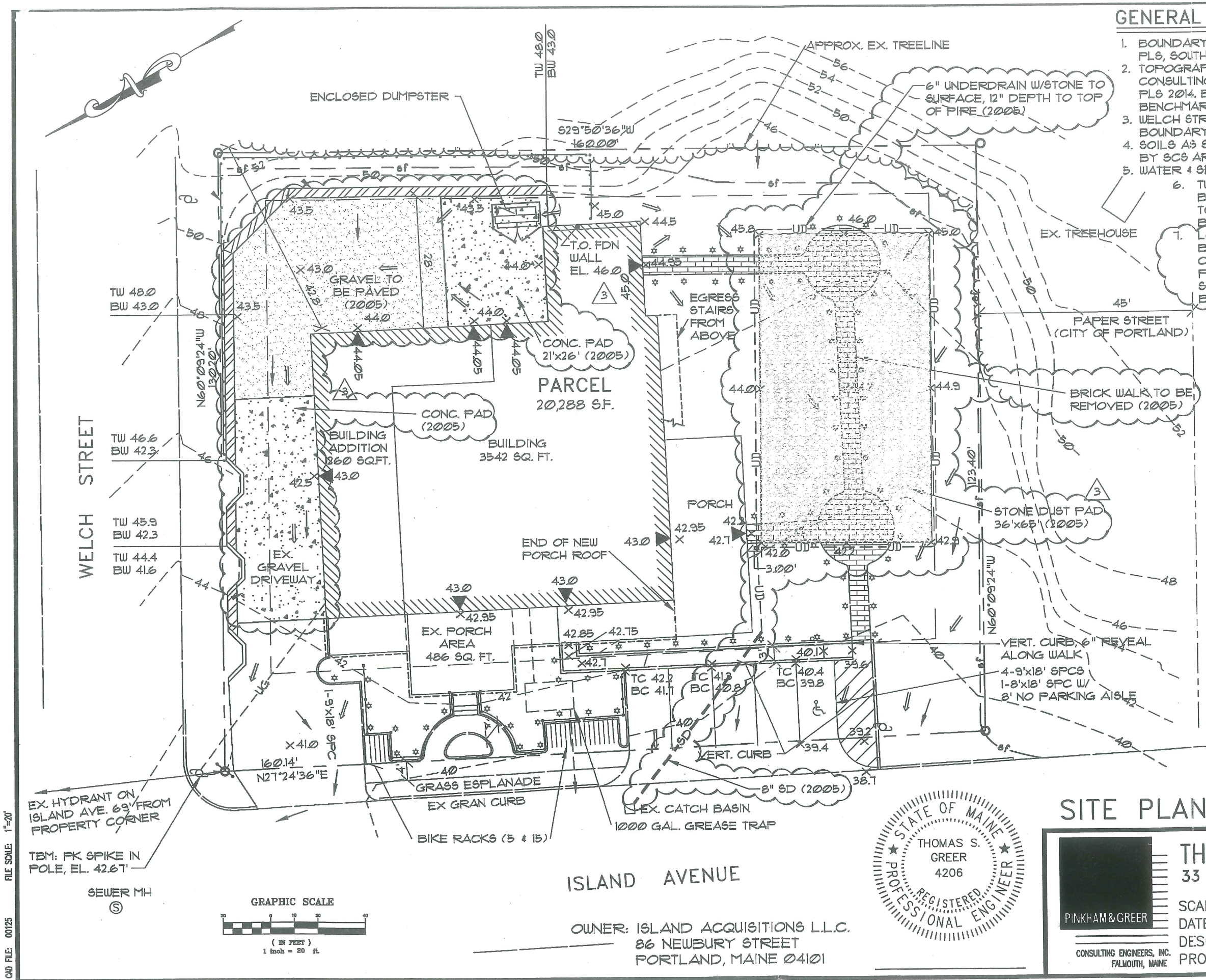
Sincerely,



Alex Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Fire Prevention
Assessor's Office
Approval Letter File

O:\Land Projects\2005\05159-PEAKS ISLAND INN\DWG\00125-PEAKS INN WITH TENT.dwg, Model, 7/6/2005 11:56:50 AM, CAD FILE: 00125

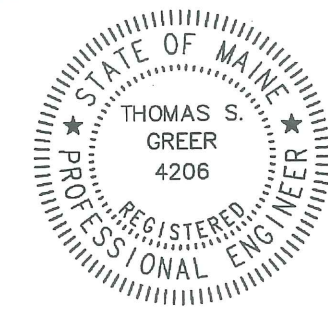


- GENERAL NOTES:**
- BOUNDARY AND EX. FEATURES BY DANIEL J. DALFONSO, PLS, SOUTH PORTLAND.
 - TOPOGRAPHIC SURVEY BY PINKHAM & GREER CONSULTING ENGINEERS, INC., FALMOUTH. JOHN D. BELL, PLS 2014. BENCHMARK TAKEN FROM BOUNDARY SURVEY. BENCHMARK: PK NAIL IN UTILITY POLE AT CORNER OF WELCH STREET AND ISLAND AVENUE AS SHOWN ON BOUNDARY PLAN, ASSUMED EL. 42.61'.
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 - UTILITY POLE
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1	5/8/01	REV'D WORK IN PAPER STREET

SITE PLAN



OWNER: ISLAND ACQUISITIONS L.L.C.
86 NEWBURY STREET
PORTLAND, MAINE 04101

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

THE INN ON PEAKS ISLAND
33 ISLAND AVENUE

SCALE: 1" = 20'
DATE: MARCH 21, 2001
DESIGNED BY: TSG
PROJECT: 05159

S1

Address -

#2006-0052
33 Island Ave. -
Peaks Isl.

minor SP
Sent to
500'



Map 87
↓

Map 87
↓

Map 84
↑

GENERAL NOTES:

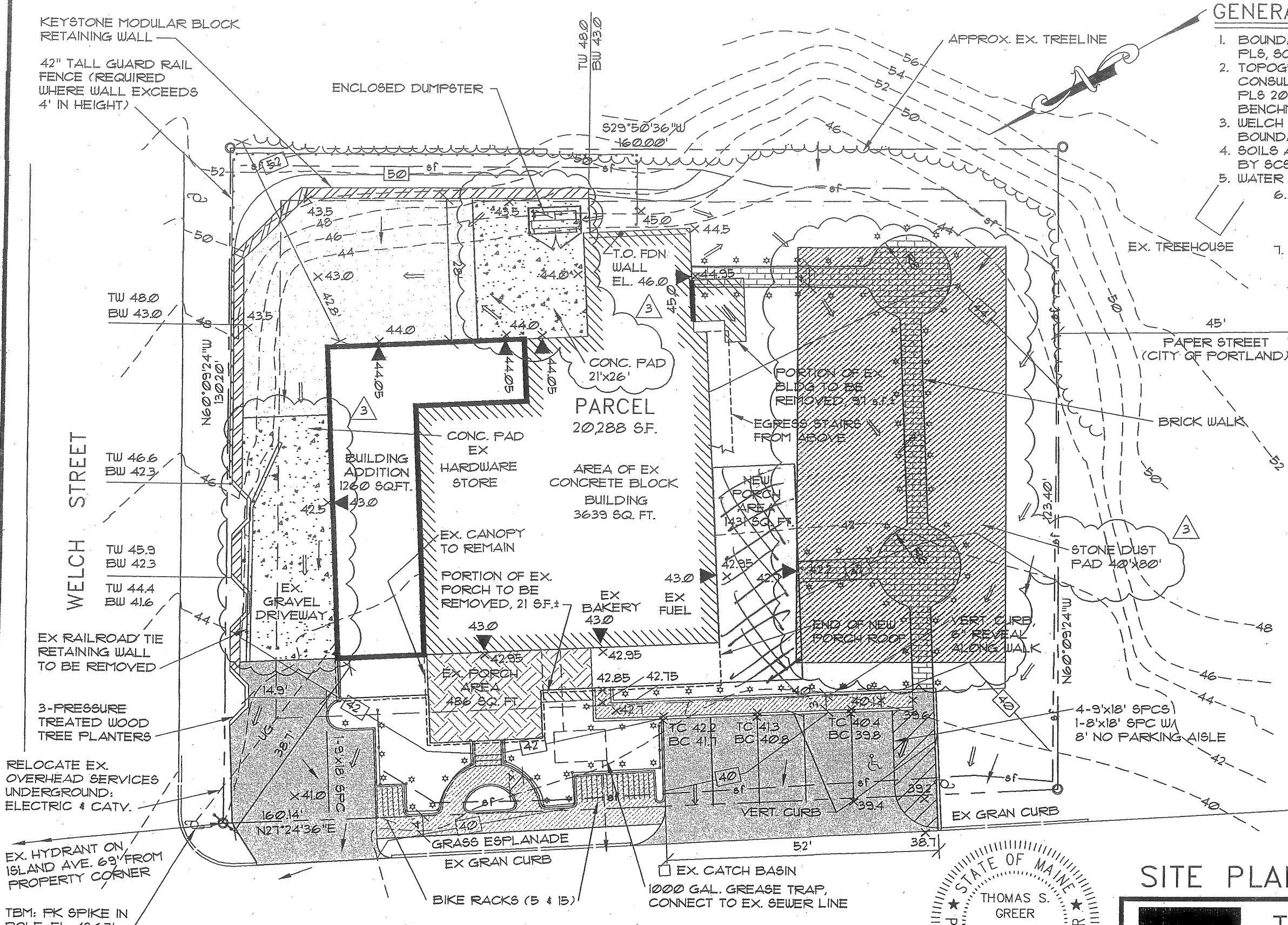
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- CURB
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- BUILDING
- - - UG - - - UNDERGROUND SERVICE
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3	6/2/05	ADDED CONC. TENT PADS
2	6/18/01	ADDED GREASE TRAP, ADDED S2: LANDSCAPE & LIGHTING PLAN
1	5/8/01	REV'D WORK IN PAPER STREET

SITE PLAN

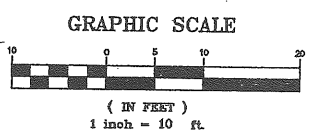
STATE OF MAINE
 THOMAS S. GREER
 4206
 REGISTERED PROFESSIONAL ENGINEER
 6/2/05

PINKHAM & GREER
 CONSULTING ENGINEERS, INC.
 FALMOUTH, MAINE

THE INN
 FORMERLY JACKSON SERVICE CENTER

SCALE: 1" = 20'
 DATE: MARCH 21, 2001
 DESG BY: JDB
 PROJECT: 00125

ISLAND AVENUE
 OWNER: THE PEAKS ISLAND CO., LLC.
 33 ISLAND AVENUE
 PEAKS ISLAND, MAINE 04108



CAD FILE: 00125 FILE SCALE: 1"=20'

KEYSTONE MODULAR BLOCK RETAINING WALL

42" TALL GUARD RAIL FENCE (REQUIRED WHERE WALL EXCEEDS 4' IN HEIGHT)

ENCLOSED DUMPSTER

APPROX. EX. TREELINE

GENERAL NOTES: AH. # 3

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BC = BOTTOM OF GRANITE CURB @ PVMT
- LOT COVERAGE:
TOTAL PARCEL: 20,288 SF.
BUILDING FOOTPRINT: 4,807 SF.
CONCRETE PATIO: 1,431 SF.
COVERAGE: 30.72%

EXISTING LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY
- BUILDING SETBACK
- EDGE OF PAVEMENT
- 200- CONTOURS
- CURB
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- IRON PIPE FOUND
- HYDRANT
- SURFACE DRAINAGE
- GRAVEL

PROPOSED LEGEND

- EDGE OF PAVEMENT
- CURB
- CONTOURS
- BUILDING
- UNDERGROUND SERVICE
- SIGN
- SPOT GRADE
- LOW VOLTAGE WALK LIGHT
- HANDICAP PARKING
- SURFACE DRAINAGE
- BIT. PAVEMENT
- CONCRETE WALKS
- LAWN
- PERENNIAL GARDEN
- BRICK WALK
- LANDSCAPE PLANTS/TREES
- SILT FENCE
- GUARD RAIL FENCE

WELCH STREET

PAPER STREET (CITY OF PORTLAND)

BRICK WALK

PARCEL 20,288 SF.

BUILDING ADDITION 1260 SQ.FT.

EX HARDWARE STORE

AREA OF EX CONCRETE BLOCK BUILDING 3639 SQ. FT.

NEW PORCH AREA 1431 SQ. FT.

EX GRAVEL DRIVEWAY

EX. CANOPY TO REMAIN

PORTION OF EX. PORCH TO BE REMOVED, 21 SF.

EX BAKERY 43.0

EX FUEL

END OF NEW PORCH ROOF

VERT. CURB, 6" REVEAL ALONG WALK

EX PORCH AREA 486 SQ. FT.

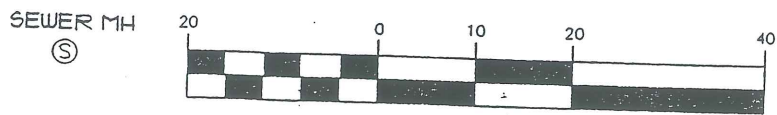
4-9'x18' SPCS
1-8'x18' SPC WA
8' NO PARKING AISLE

RELOCATE EX. OVERHEAD SERVICES UNDERGROUND: ELECTRIC & CATV.

EX. HYDRANT ON ISLAND AVE. 69' FROM PROPERTY CORNER

TBM: PK SPIKE IN POLE, EL. 42.61'

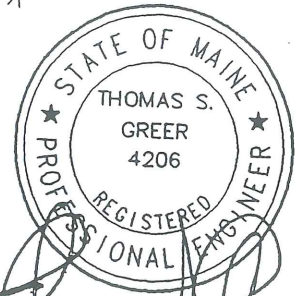
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

ISLAND AVENUE

OWNER: THE PEAKS ISLAND CO., LLC.
33 ISLAND AVENUE
PEAKS ISLAND, MAINE 04108



SITE PLAN

2	6/18/01	ADDED GREASE TRAP, ADDED S2: LANDSCAPE & LIGHTING PLAN
1	5/8/01	REV'D WORK IN PAPER STREET



THE INN
FORMERLY JACKSON SERVICE CENTER

SCALE: 1" = 20'
DATE: MARCH 21, 2001
DESIGNED BY: JDB
PROJECT: 00125

S1

Dave Cleaves 329-2440 please call me to explain to you

FILE SCALE: 1" = 20'
CADD FILE: 00125

KEYSTONE MODULAR BLOCK
RETAINING WALL

42" TALL GUARD RAIL
FENCE (REQUIRED
WHERE WALL EXCEEDS
4' IN HEIGHT)

Stone dust
Concrete Pad

ENCLOSED DUMPSTER

GENERAL NOTES: **AH # 3**

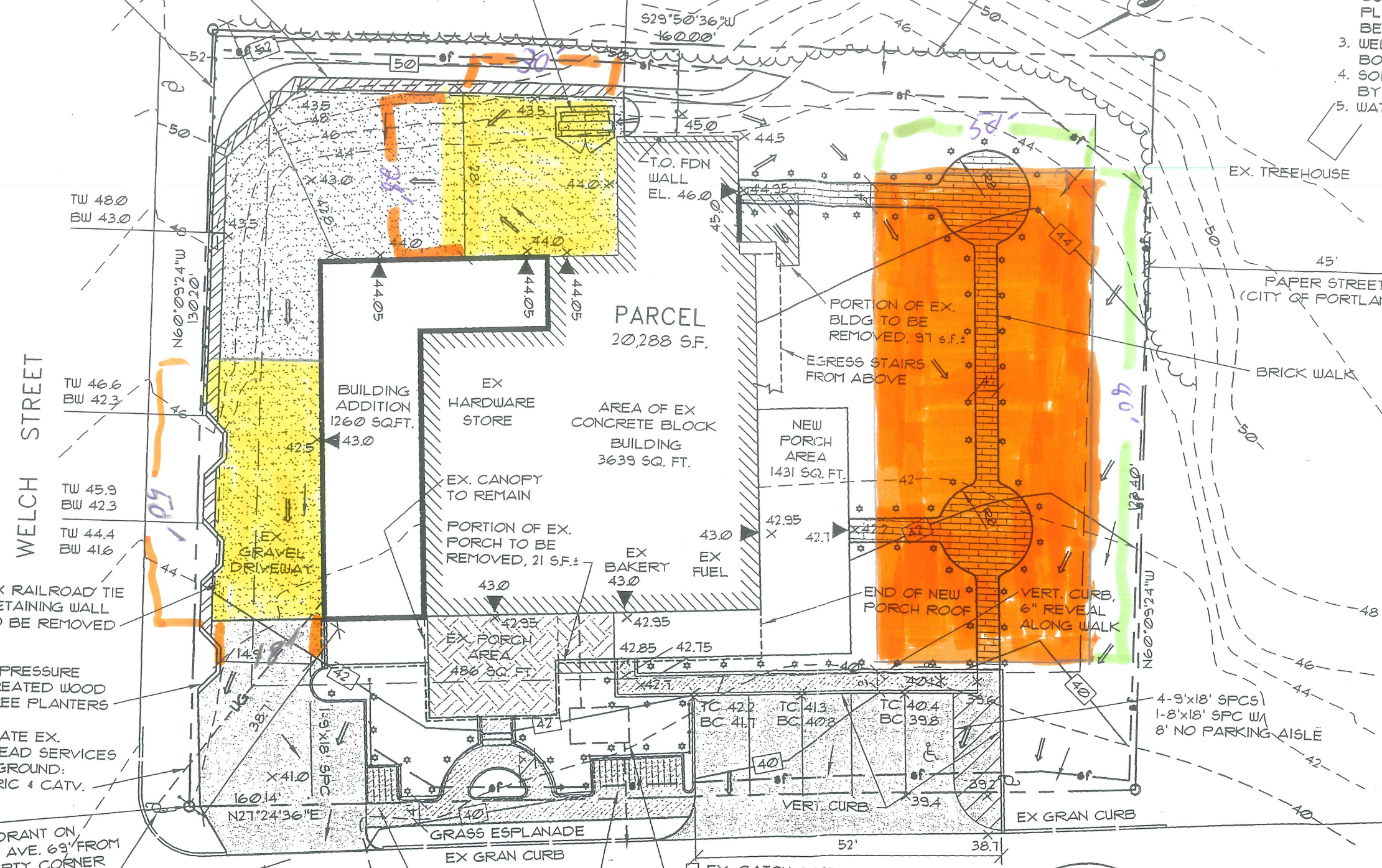
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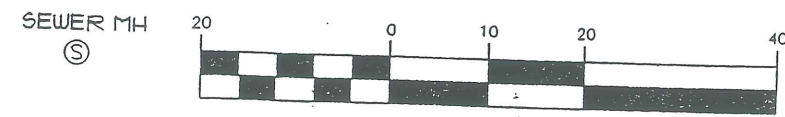
- PROPERTY LINE
- ABUTTEES PROPERTY
- BUILDING SETBACK
- EDGE OF PAVEMENT
- 200- CONTOURS
- CURB
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- IRON PIPE FOUND
- HYDRANT
- SURFACE DRAINAGE
- GRAVEL

PROPOSED LEGEND

- EDGE OF PAVEMENT
- CURB
- CONTOURS
- BUILDING
- UG - UNDERGROUND SERVICE SIGN
- x 50.1 SPOT GRADE
- LOW VOLTAGE WALK LIGHT
- HANDICAP PARKING
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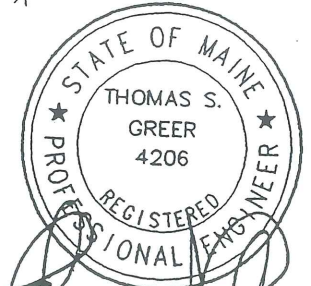


GRAPHIC SCALE



ISLAND AVENUE

OWNER: THE PEAKS ISLAND CO., LLC.
33 ISLAND AVENUE
PEAKS ISLAND, MAINE 04108



SITE PLAN

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THE INN
FORMERLY JACKSON SERVICE CENTER

SCALE: 1" = 20'
DATE: MARCH 21, 2001
DESIGNED BY: JDB
PROJECT: 00125

WELCH STREET

S29°50'36"W
160.00'

10' SETBACK

INNKEEPER'S
PARKING SPACE

EXISTING GRAVEL DRIVE

BULKHEAD

EXISTING
KITCHEN

PROPOSED CHANGE OF
OCCUPANCY. SEE
NOTE BELOW

EXISTING
RESTAURANT

EXISTING
ENTRY

COVERED PORCH

10' SETBACK

123.40'
N60°09'24"W

THE PEAKS ISLAND INN:
LOT SIZE: 20,288#
FOOTPRINT: 4,802#
EXISTING BUILDING AREA: 9604#
PROPOSED BUILDING AREA: 12,036#

EXISTING AREAS BY USE

RESTAURANT	1826#
KITCHEN	962#
HARDWARE STORE	1030#
LODGING	5094# (6 ROOMS)
INNKEEPERS APARTMENT	608#

PROPOSED AREAS BY USE

RESTAURANT	2856#
KITCHEN	962#
LODGING	5094# (6 ROOMS)
INNKEEPERS APARTMENT	3040#

OFF STREET PARKING

RESTAURANT	5 SPACES
LODGING	1 SPACE
INNKEEPERS APARTMENT	2 SPACES

8 SPACES REQUIRED AND PROVIDED

10' SETBACK

RETAIN WALL 160°09'24"W
150.20'

GRAVEL
PAVING

160.14'
N27°24'36"E

20' SETBACK

RAMP UP

EXISTING
UTILITY POLE

ISLAND AVENUE

5 EXISTING PARKING SPACES

PROPOSED CHANGE OF OCCUPANCY:
EXISTING 1030 SF. HARDWARE STORE
CHANGED TO 1300 SF. OF RESTAURANT #6A

2 EXISTING PARKING SPACES

1 SITE PLAN WITH FIRST FLOOR
1/16" = 1'-0"

Owner:
ISLAND ACQUISITION LLC
46 NEWBURY STREET
PORTLAND, MAINE 04101

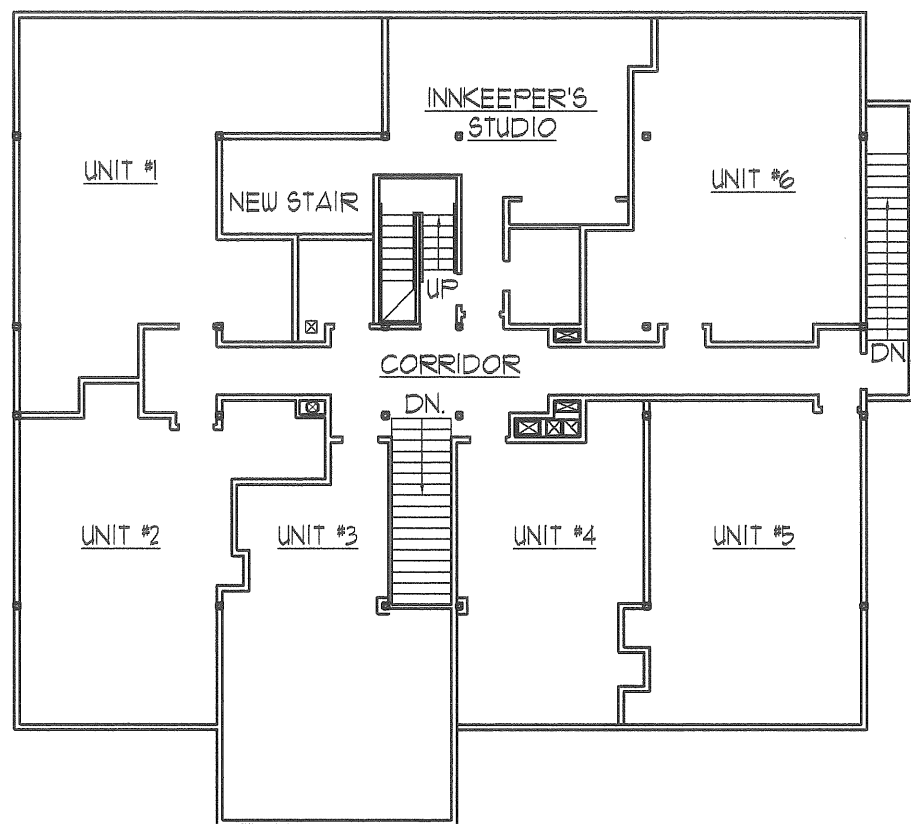
Project:
PEAKS ISLAND INN
PEAKS ISLAND
PORTLAND, MAINE

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

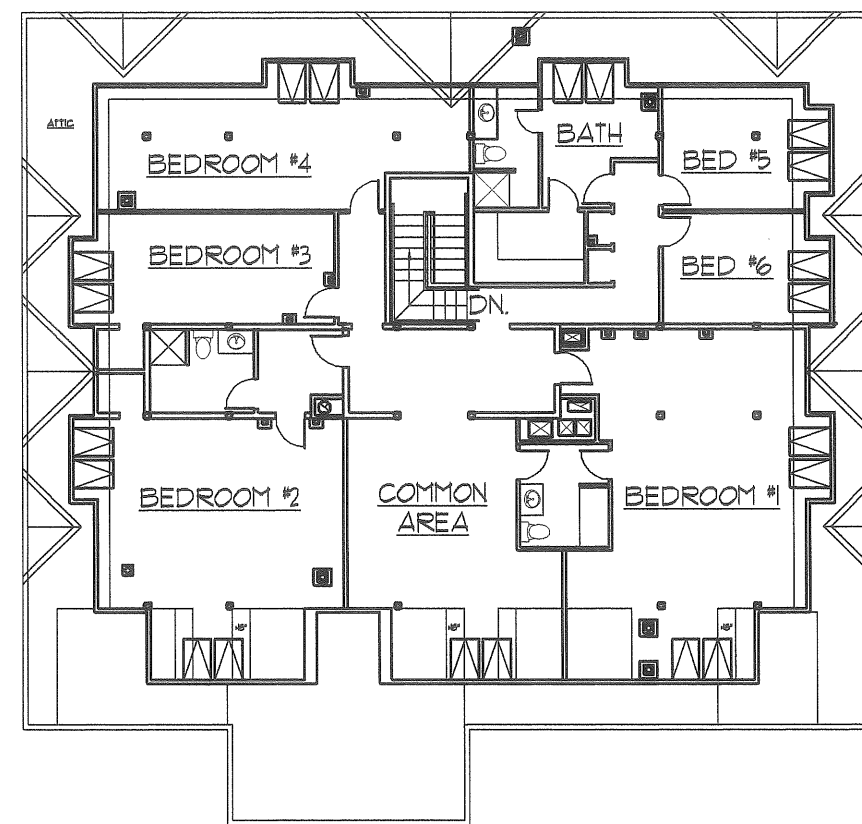
Scale	see drawing
Date	9/30/04
Checked By:	
Drawn By:	
Revisions:	

SITE DESIGN
AND
FIRST FLOOR PLAN

SD1

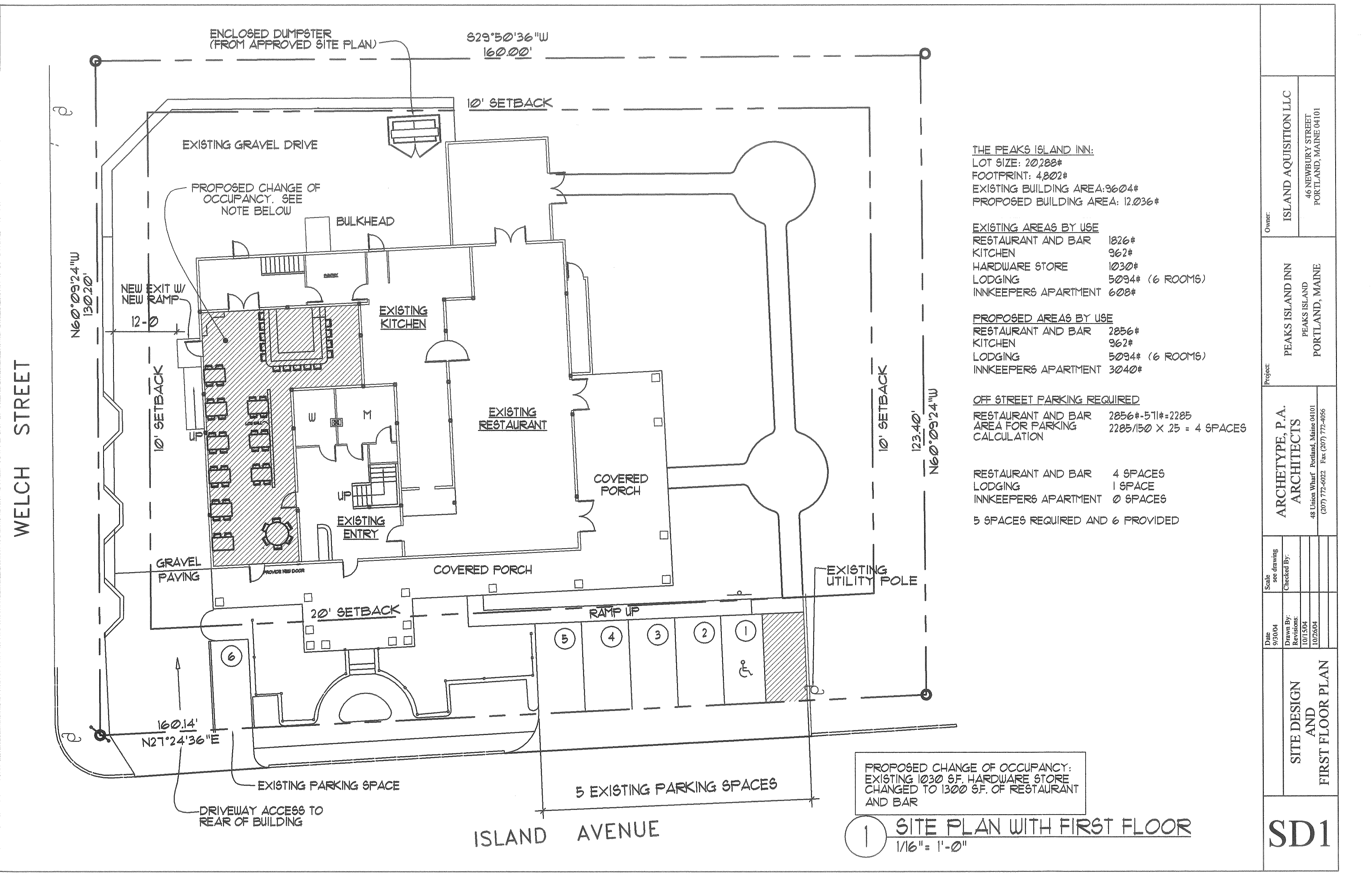


1 SECOND FLOOR PLAN
1/16" = 1'-0"



2 THIRD FLOOR PLAN
1/16" = 1'-0"

ISLAND AQUISITION LLC 46 NEWBURY STREET PORTLAND, MAINE 04101		Owner:	
		ISLAND AQUISITION LLC	
PEAKS ISLAND INN PEAKS ISLAND PORTLAND, MAINE		Project:	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		Architect:	
Date 9/30/04	Scale see drawing	Drawn By:	Checked By:
Revisions:			
2ND & 3RD FLOOR			
SD2			



THE PEAKS ISLAND INN:
 LOT SIZE: 20,288#
 FOOTPRINT: 4,802#
 EXISTING BUILDING AREA: 9604#
 PROPOSED BUILDING AREA: 12,036#

EXISTING AREAS BY USE

RESTAURANT AND BAR	1826#
KITCHEN	962#
HARDWARE STORE	1030#
LODGING	5094# (6 ROOMS)
INNKEEPERS APARTMENT	608#

PROPOSED AREAS BY USE

RESTAURANT AND BAR	2856#
KITCHEN	962#
LODGING	5094# (6 ROOMS)
INNKEEPERS APARTMENT	3040#

OFF STREET PARKING REQUIRED

RESTAURANT AND BAR	2856#-511# = 2285
AREA FOR PARKING	2285/150 X .25 = 4 SPACES
CALCULATION	

RESTAURANT AND BAR	4 SPACES
LODGING	1 SPACE
INNKEEPERS APARTMENT	0 SPACES

5 SPACES REQUIRED AND 6 PROVIDED

ISLAND ACQUISITION LLC
 46 NEWBURY STREET
 PORTLAND, MAINE 04101

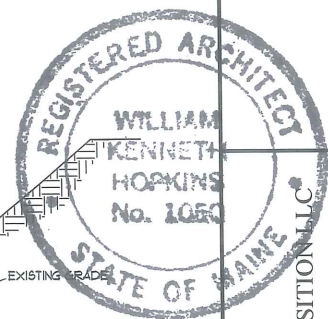
PEAKS ISLAND INN
 PEAKS ISLAND
 PORTLAND, MAINE

ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Date	9/30/04
Drawn By:	
Revisions:	10/15/04
	10/26/04
Scale	see drawing
Checked By:	

SITE DESIGN
 AND
 FIRST FLOOR PLAN

SD1



OWNER:
ISLAND ACQUISITION LLC
 46 NEWBURY STREET
 PORTLAND, MAINE 04101

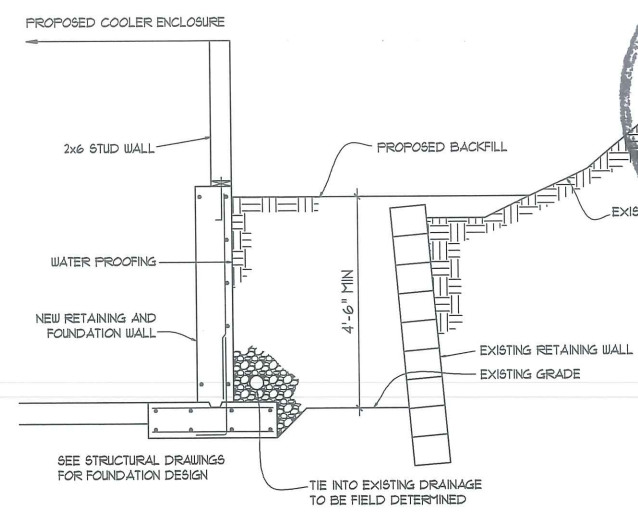
ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Project:
PEAKS ISLAND INN
 FITNESS RM. & COOLER ENCLOSURE
 PEAKS ISLAND
 PORTLAND, MAINE

Date	Scale	AS NOTED
MARCH, 2006		
Revisions: April 6, 2006		

SITE PLAN

SD-1



② **SITE DETAIL**
 SCALE 1/8" = 1'

THE PEAKS ISLAND INN AREA CALCULATIONS:

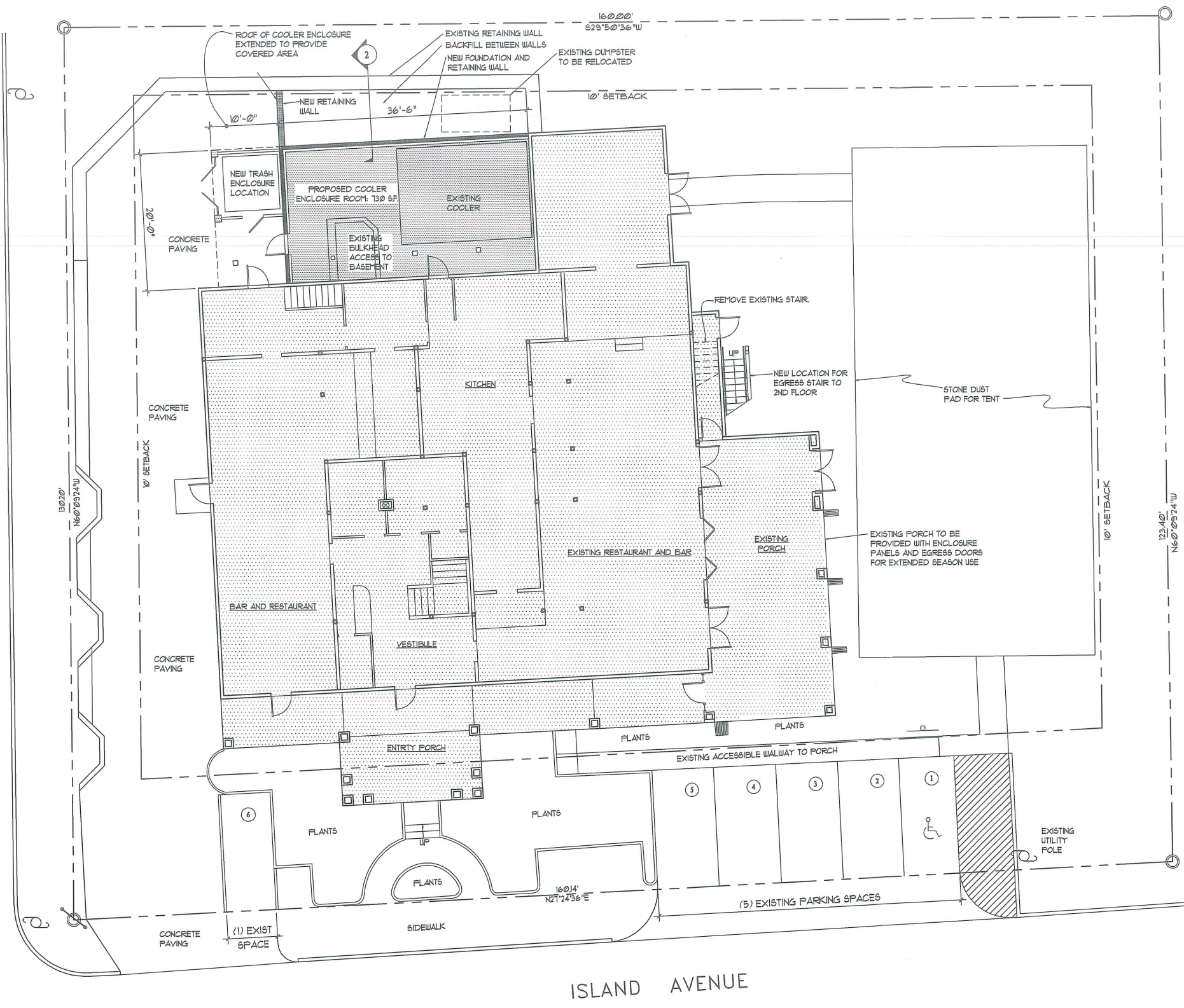
SITE DATA	
LOT SIZE:	20,288 ^{sq}
EXISTING FOOTPRINT:	4,802 ^{sq}
EXISTING COVERAGE:	23.1%
PROPOSED FOOTPRINT:	5,686 ^{sq}
PROPOSED COVERAGE:	28.0%

BUILDING DATA	
EXISTING BUILDING AREA:	12,036 ^{sq}
PROPOSED AREA INCREASE:	1530 ^{sq}
PROPOSED BUILDING AREA:	13,566 ^{sq}

EXISTING AREAS BY USE	
RESTAURANT AND BAR (1ST FLR.)	2856 ^{sq}
KITCHEN (1ST FLR.)	362 ^{sq}
LODGING (2ND FLR.)	5034 ^{sq} (6 ROOMS)
INNKEEPERS APT. (2ND AND 3RD FLR.)	3040 ^{sq}

PROPOSED ADDITIONAL AREAS	
1ST FLOOR COOLER ENCLOSURE	730 ^{sq}
2ND FLR FITNESS RM, 4 READING RM.	800 ^{sq}
TOTAL ADDITIONAL AREA	1530 ^{sq}

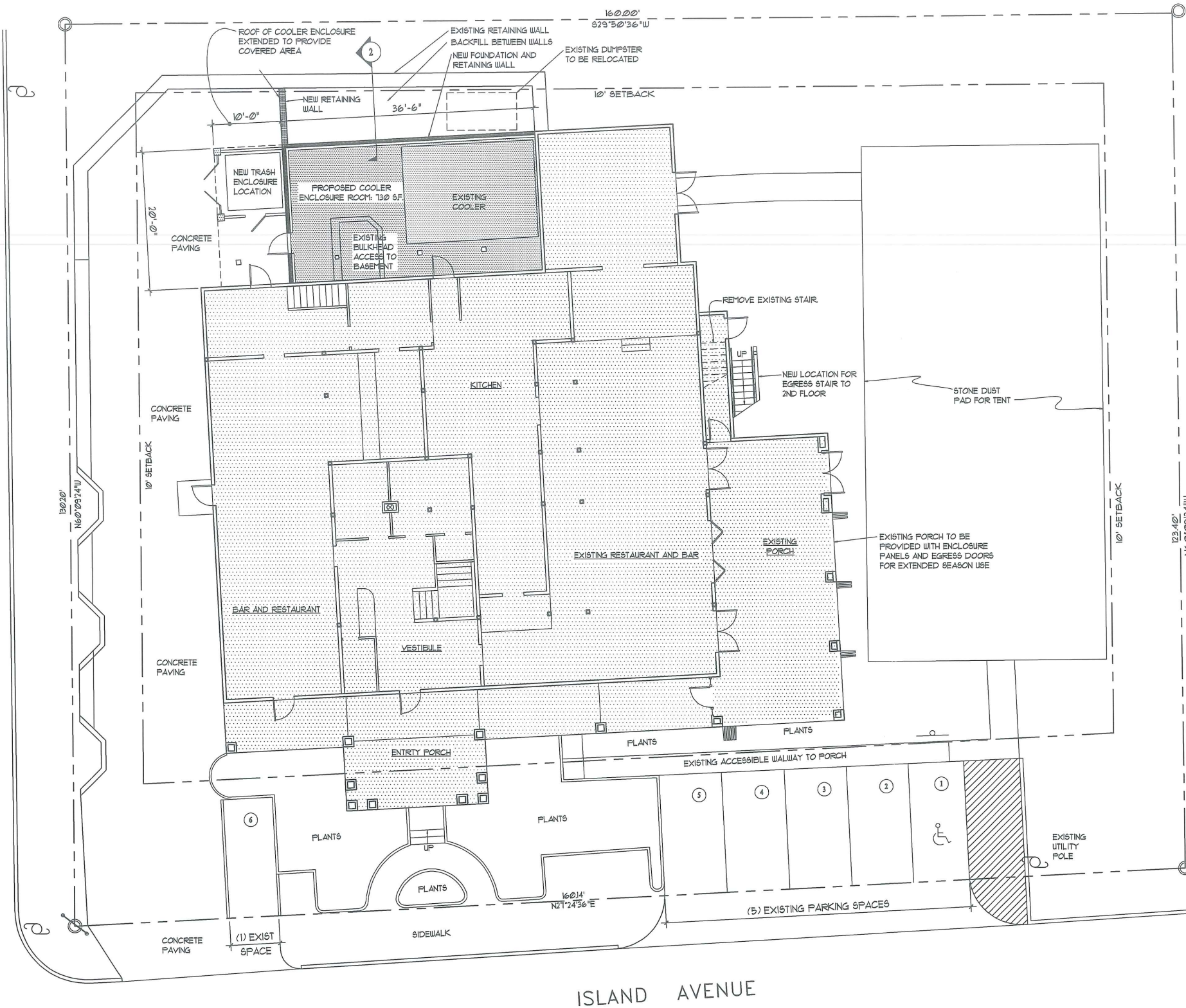
OFF STREET PARKING REQUIREMENTS:
 ORIGINAL PERMIT REQUIRED NO PARKING FOR THIS BUILDING. SUBSEQUENT PERMITS REQUIRED A TOTAL OF 2 SPACES. NOTE THAT 6 SPACES ARE PROVIDED.



① **SITE PLAN**
 SCALE 1/8" = 1'

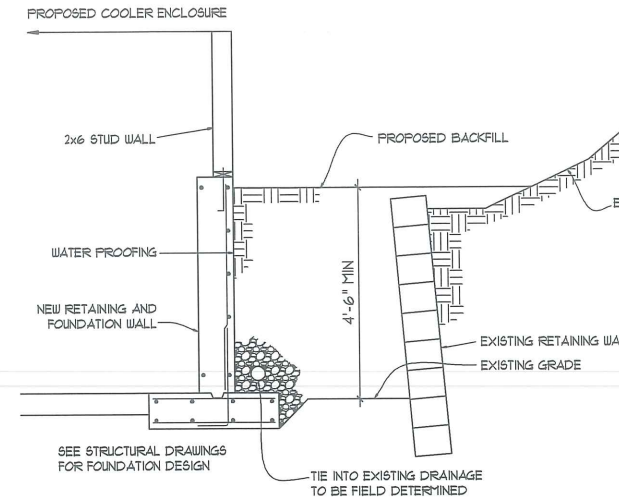


WELCH STREET



1 SITE PLAN
SCALE 1/8" = 1'

north

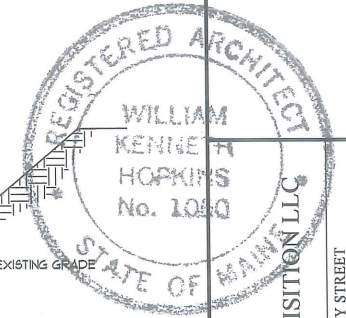


2 SITE DETAIL
SCALE 1/8" = 1'

THE PEAKS ISLAND INN AREA CALCULATIONS:

SITE DATA	
LOT SIZE:	20,288 ^{sq}
EXISTING FOOTPRINT:	4,802 ^{sq}
EXISTING COVERAGE:	23.7%
PROPOSED FOOTPRINT:	5,686 ^{sq}
PROPOSED COVERAGE:	28.0%
BUILDING DATA	
EXISTING BUILDING AREA:	12,036 ^{sq}
PROPOSED AREA INCREASE:	1530 ^{sq}
PROPOSED BUILDING AREA:	13,566 ^{sq}
EXISTING AREAS BY USE	
RESTAURANT AND BAR (1ST FLR.)	2856 ^{sq}
KITCHEN (1ST FLR.)	962 ^{sq}
LODGING (2ND FLR.)	5094 ^{sq} (6 ROOMS)
INNKEEPERS APT. (2ND AND 3RD FLR.)	3040 ^{sq}
PROPOSED ADDITIONAL AREAS	
1ST FLOOR COOLER ENCLOSURE	730 ^{sq}
2ND FLR FITNESS RM, 4 READING RM.	800 ^{sq}
TOTAL ADDITIONAL AREA	1530 ^{sq}

OFF STREET PARKING REQUIREMENTS:
ORIGINAL PERMIT REQUIRED NO PARKING FOR THIS BUILDING. SUBSEQUENT PERMITS REQUIRED A TOTAL OF 2 SPACES. NOTE THAT 6 SPACES ARE PROVIDED.



OWNER:
ISLAND ACQUISITION LLC
46 NEWBURY STREET
PORTLAND, MAINE 04101

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax: (207) 772-4056

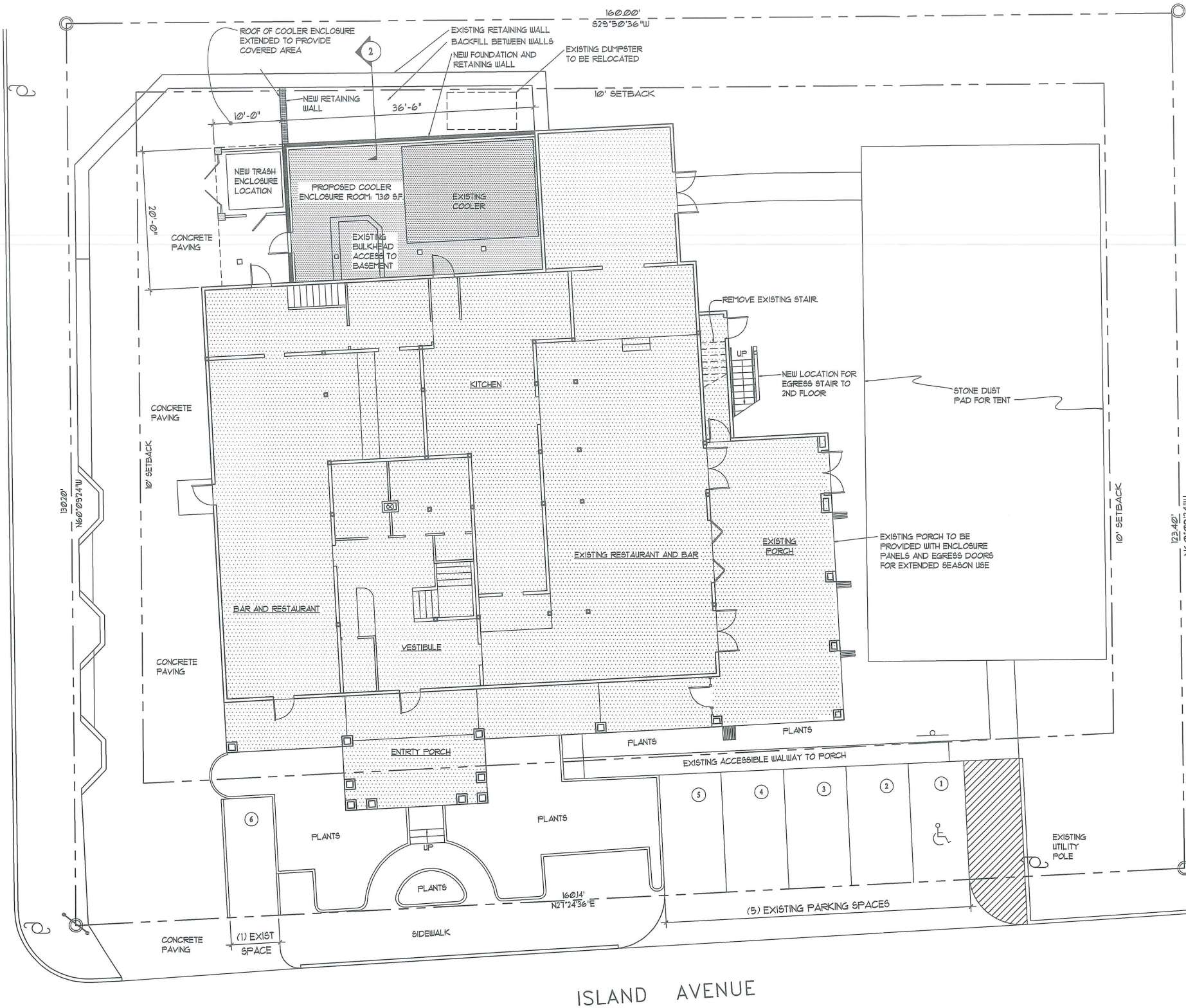
Project: PEAKS ISLAND INN
FITNESS RM. & COOLER ENCLOSURE
PEAKS ISLAND
PORTLAND, MAINE

Date	Scale	AS NOTED
MARCH, 2006		
Revisions:		
April 6, 2006		

SITE PLAN

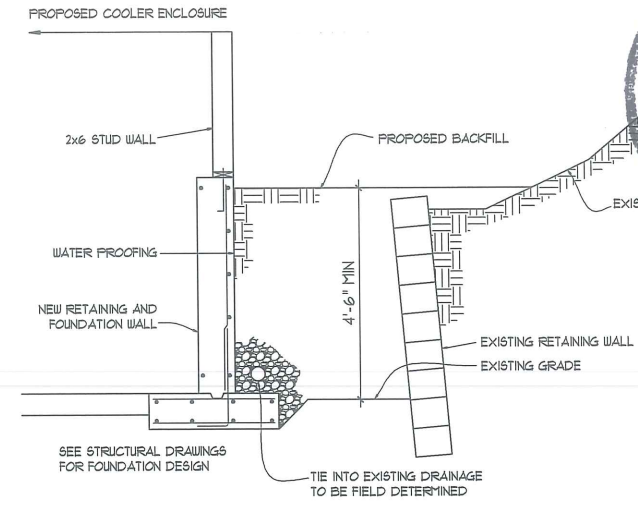
SD-1

WELCH STREET



1 SITE PLAN
SCALE 1/8" = 1'

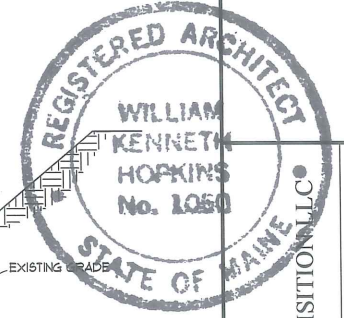
north



2 SITE DETAIL
SCALE 1/8" = 1'

THE PEAKS ISLAND INN AREA CALCULATIONS:

SITE DATA	
LOT SIZE:	20,288*
EXISTING FOOTPRINT:	4,807*
EXISTING COVERAGE:	23.7%
PROPOSED FOOTPRINT:	5,886*
PROPOSED COVERAGE:	29.0%
BUILDING DATA	
EXISTING BUILDING AREA:	12,036*
PROPOSED AREA INCREASE:	1530*
PROPOSED BUILDING AREA:	13,566*
EXISTING AREAS BY USE	
RESTAURANT AND BAR (1ST FLR.)	2856*
KITCHEN (1ST FLR.)	962*
LODGING (2ND FLR.)	5034* (6 ROOMS)
INNKEEPERS APT. (2ND AND 3RD FLR.)	3040*
PROPOSED ADDITIONAL AREAS	
1ST FLOOR COOLER ENCLOSURE	130*
2ND FLR FITNESS RM, 4 READING RM.	800*
TOTAL ADDITIONAL AREA	1530*
OFF STREET PARKING REQUIREMENTS:	
ORIGINAL PERMIT REQUIRED NO PARKING FOR THIS BUILDING. SUBSEQUENT PERMITS REQUIRED A TOTAL OF 2 SPACES. NOTE THAT 6 SPACES ARE PROVIDED.	



OWNER:
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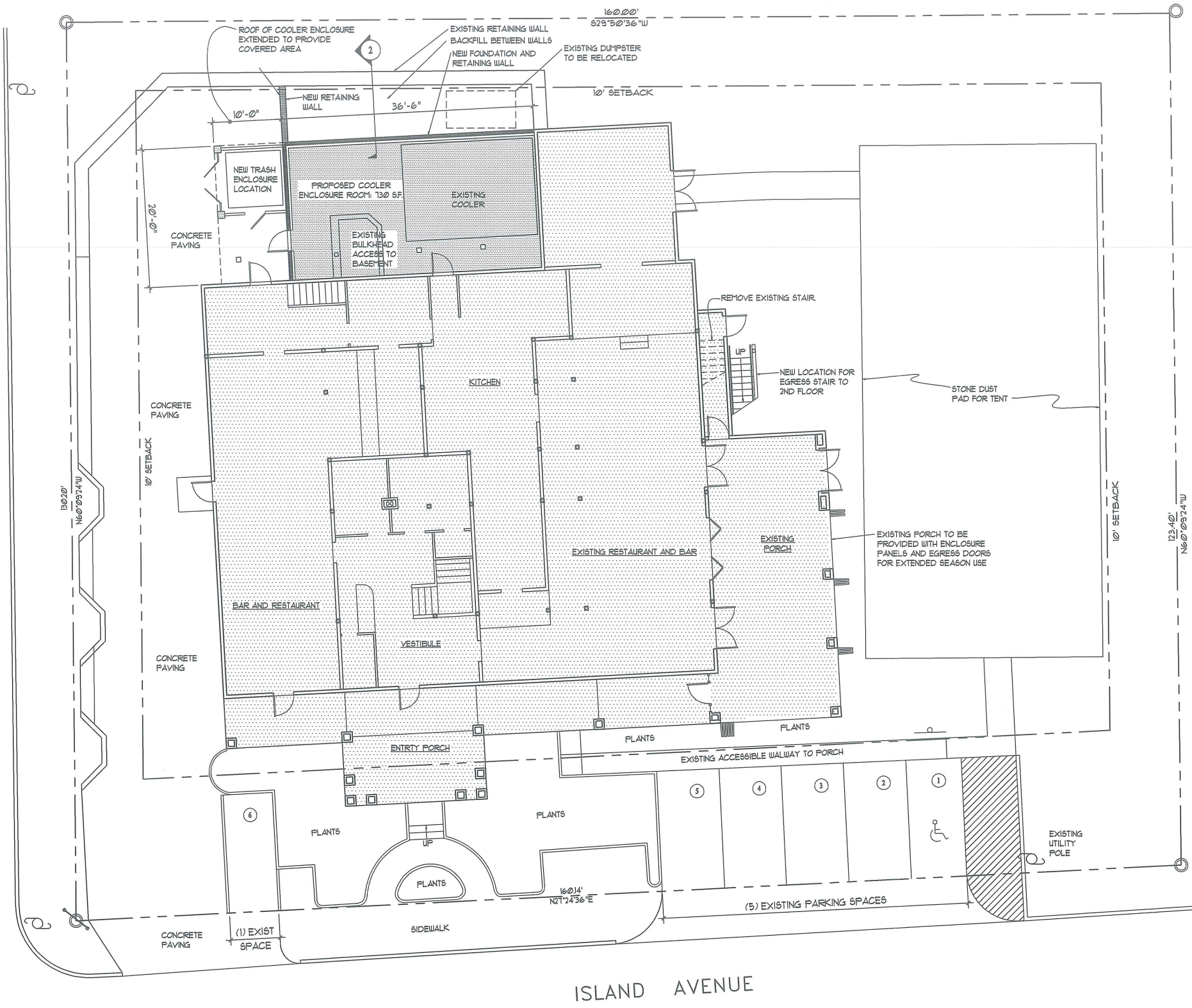
Project: PEAKS ISLAND INN
FITNESS RM. & COOLER ENCLOSURE
PEAKS ISLAND
PORTLAND, MAINE

Date	Scale	AS NOTED
MARCH, 2006		
Revisions:		
April 6, 2006		

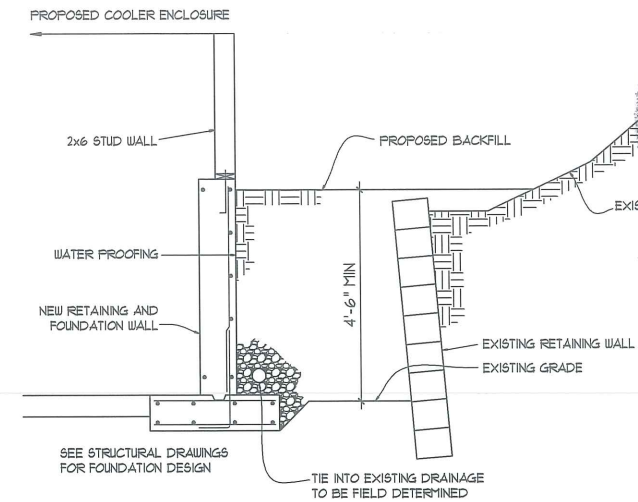
SITE PLAN

SD-1

WELCH STREET



1 SITE PLAN
SCALE 1/8" = 1'



2 SITE DETAIL
SCALE 1/8" = 1'

THE PEAKS ISLAND INN AREA CALCULATIONS:

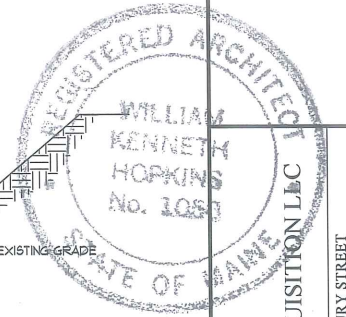
SITE DATA
 LOT SIZE: 20,288#
 EXISTING FOOTPRINT: 4,802#
 EXISTING COVERAGE: 23.7%
 PROPOSED FOOTPRINT: 5,686#
 PROPOSED COVERAGE: 28.0%

BUILDING DATA
 EXISTING BUILDING AREA: 12,036#
 PROPOSED AREA INCREASE: 1,530#
 PROPOSED BUILDING AREA: 13,566#

EXISTING AREAS BY USE
 RESTAURANT AND BAR (1ST FLR.) 2856#
 KITCHEN (1ST FLR.) 962#
 LODGING (2ND FLR.) 5094# (6 ROOMS)
 INNKEEPERS APT. (2ND AND 3RD FLR.) 3040#

PROPOSED ADDITIONAL AREAS
 1ST FLOOR COOLER ENCLOSURE 130#
 2ND FLR FITNESS RM, 4 READING RM. 800#
 TOTAL ADDITIONAL AREA 1530#

OFF STREET PARKING REQUIREMENTS:
 ORIGINAL PERMIT REQUIRED NO PARKING FOR THIS BUILDING. SUBSEQUENT PERMITS REQUIRED A TOTAL OF 2 SPACES. NOTE THAT 6 SPACES ARE PROVIDED.



OWNER:

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 46 NEWBURY STREET
 PORTLAND, MAINE 04101

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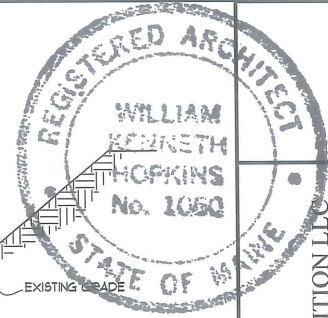
Project: PEAKS ISLAND INN
 FITNESS RM. & COOLER ENCLOSURE
 PEAKS ISLAND
 PORTLAND, MAINE

Scale AS NOTED

Date MARCH, 2006
 Revisions: April 6, 2006

SITE PLAN

SD-1



OWNER:
ISLAND ACQUISITION LLC
46 NEWBURY STREET
PORTLAND, MAINE 04101

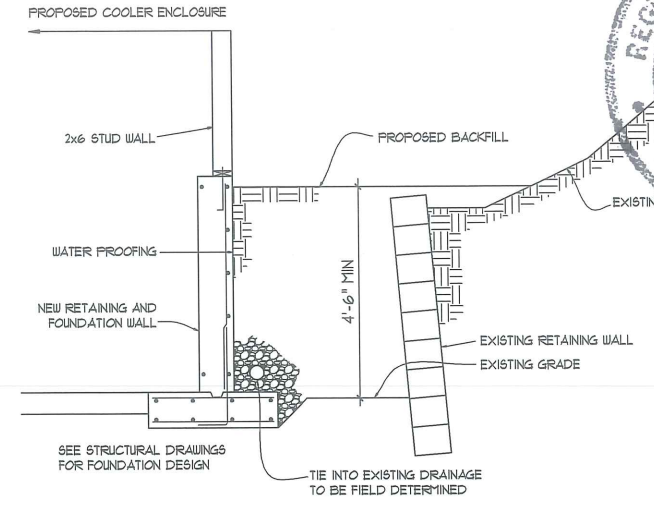
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project: PEAKS ISLAND INN
FITNESS RM. & COOLER ENCLOSURE
PEAKS ISLAND
PORTLAND, MAINE

Date	MARCH, 2006
Revisions	April 6, 2006
Scale	AS NOTED

SITE PLAN

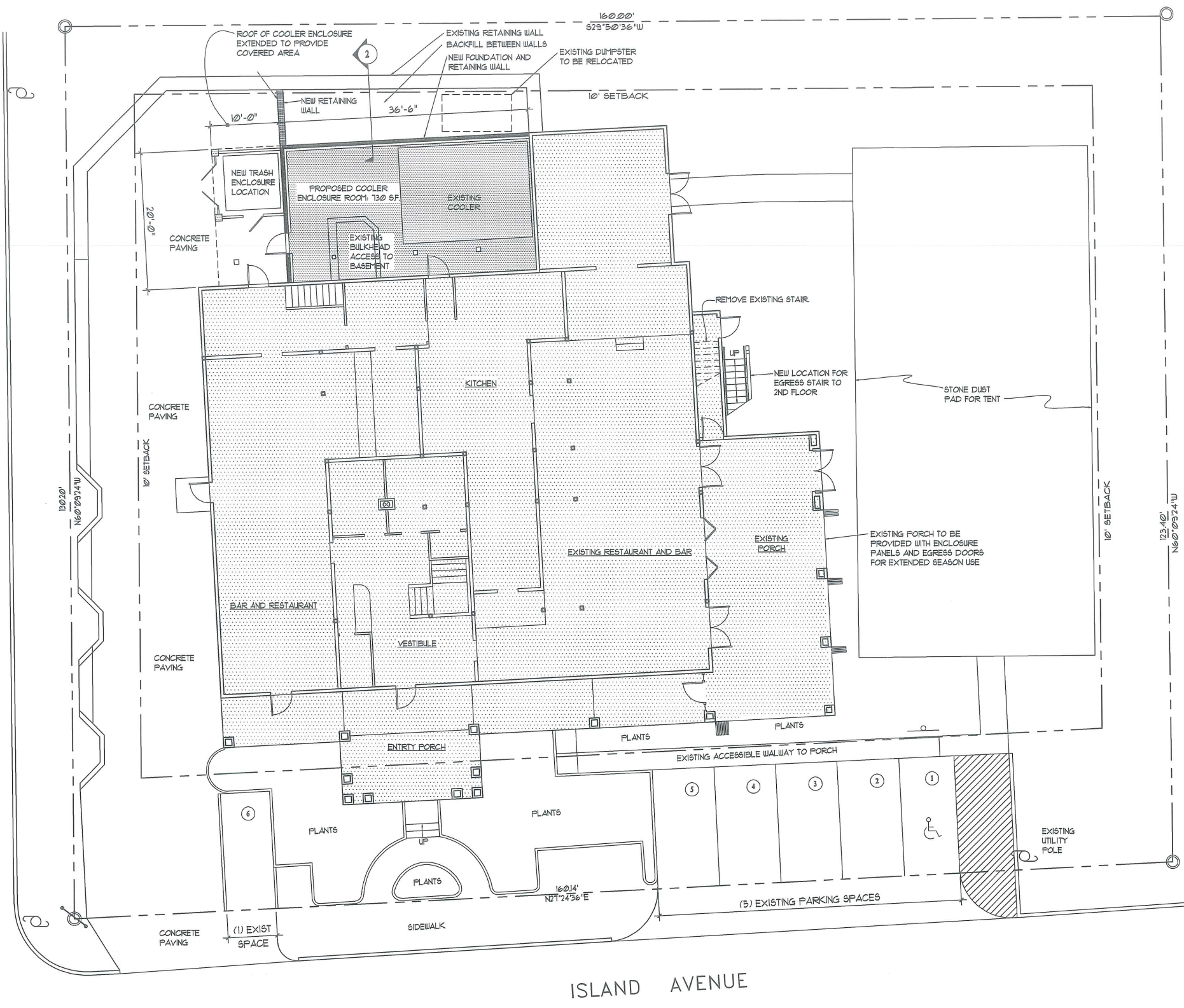
SD-1



2 SITE DETAIL
SCALE 1/8" = 1'

THE PEAKS ISLAND INN AREA CALCULATIONS:

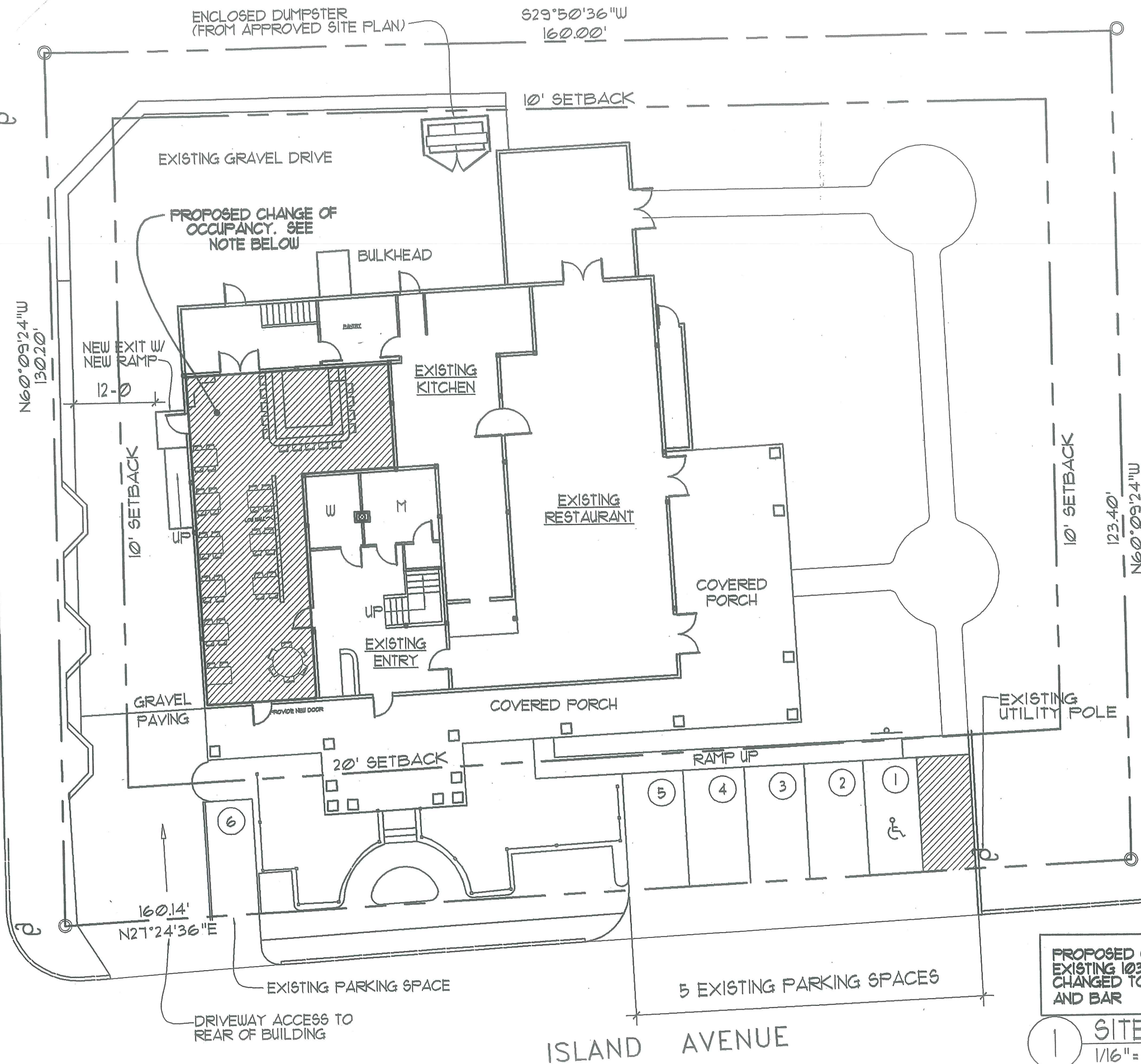
SITE DATA	
LOT SIZE:	20,289*
EXISTING FOOTPRINT:	4,802*
EXISTING COVERAGE:	23.7%
PROPOSED FOOTPRINT:	5,886*
PROPOSED COVERAGE:	28.0%
BUILDING DATA	
EXISTING BUILDING AREA:	12,036*
PROPOSED AREA INCREASE:	1530*
PROPOSED BUILDING AREA:	13,566*
EXISTING AREAS BY USE	
RESTAURANT AND BAR (1ST FLR.)	2856*
KITCHEN (1ST FLR.)	962*
LODGING (2ND FLR.)	5034* (6 ROOMS)
INNKEEPERS APT. (2ND AND 3RD FLR.)	3040*
PROPOSED ADDITIONAL AREAS	
1ST FLOOR COOLER ENCLOSURE	730*
2ND FLR. FITNESS RM. & READING RM.	800*
TOTAL ADDITIONAL AREA	1530*
OFF STREET PARKING REQUIREMENTS:	
ORIGINAL PERMIT REQUIRED NO PARKING FOR THIS BUILDING. SUBSEQUENT PERMITS REQUIRED A TOTAL OF 2 SPACES. NOTE THAT 6 SPACES ARE PROVIDED.	



1 SITE PLAN
SCALE 1/8" = 1'



WELCH STREET



THE PEAKS ISLAND INN:
 LOT SIZE: 20,288#
 FOOTPRINT: 4,802#
 EXISTING BUILDING AREA: 9,604#
 PROPOSED BUILDING AREA: 12,036#

EXISTING AREAS BY USE

RESTAURANT AND BAR	1826#
KITCHEN	962#
HARDWARE STORE	1030#
LODGING	5094# (6 ROOMS)
INKEEPERS APARTMENT	608#

PROPOSED AREAS BY USE

RESTAURANT AND BAR	2856#
KITCHEN	962#
LODGING	5094# (6 ROOMS)
INKEEPERS APARTMENT	3040#

OFF STREET PARKING REQUIREMENTS:
 PREVIOUS PERMIT REQUIRED NO PARKING FOR THIS BUILDING

PARKING REQUIRED FOR ADDITIONAL 1030#:
 RESTAURANT AND BAR:
 1030 / 150 X 25 = 1.72 = 2 CARS
 2 SPACES REQUIRED AND PROVIDED
 (NOTE: 6 EXISTING SPACES)

RECEIVED
 OCT 28 REC'D
 PORTLAND PLANNING OFFICE

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11/01/04

PROPOSED CHANGE OF OCCUPANCY:
 EXISTING 1030 SF. HARDWARE STORE
 CHANGED TO 1030 SF. OF RESTAURANT
 AND BAR

1 SITE PLAN WITH FIRST FLOOR
 1/16" = 1'-0"

ISLAND ACQUISITION LLC
 46 NEWBURY STREET
 PORTLAND, MAINE 04101

PEAKS ISLAND INN
 PEAKS ISLAND
 PORTLAND, MAINE

ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Date	9/30/04
Drawn By:	
Revisions:	10/15/04
	10/26/04

SITE DESIGN
 AND
 FIRST FLOOR PLAN

SD1

REVISED

GENERAL NOTES:

- BOUNDARY AND EX. FEATURES BY DANIEL J. DALFONSO, PLS, SOUTH FORTLAND.
- TOPOGRAPHIC SURVEY BY PINKHAM & GREER CONSULTING ENGINEERS, INC., FALMOUTH. JOHN D. BELL, PLS 2014. BENCHMARK TAKEN FROM BOUNDARY SURVEY. BENCHMARK: PK NAIL IN UTILITY POLE AT CORNER OF WELCH STREET AND ISLAND AVENUE AS SHOWN ON BOUNDARY PLAN, ASSUMED EL. 42.61'.
- WELCH STREET AND ISLAND AVENUE AS SHOWN ON BOUNDARY PLAN, ASSUMED EL. 42.61'.
- SOILS AS SHOWN IN CUMBERLAND COUNTY SOILS SURVEY BY SCS ARE "H₂C", HOLLIS.
- WATER & SEWER SERVICES ARE UNCHANGED.

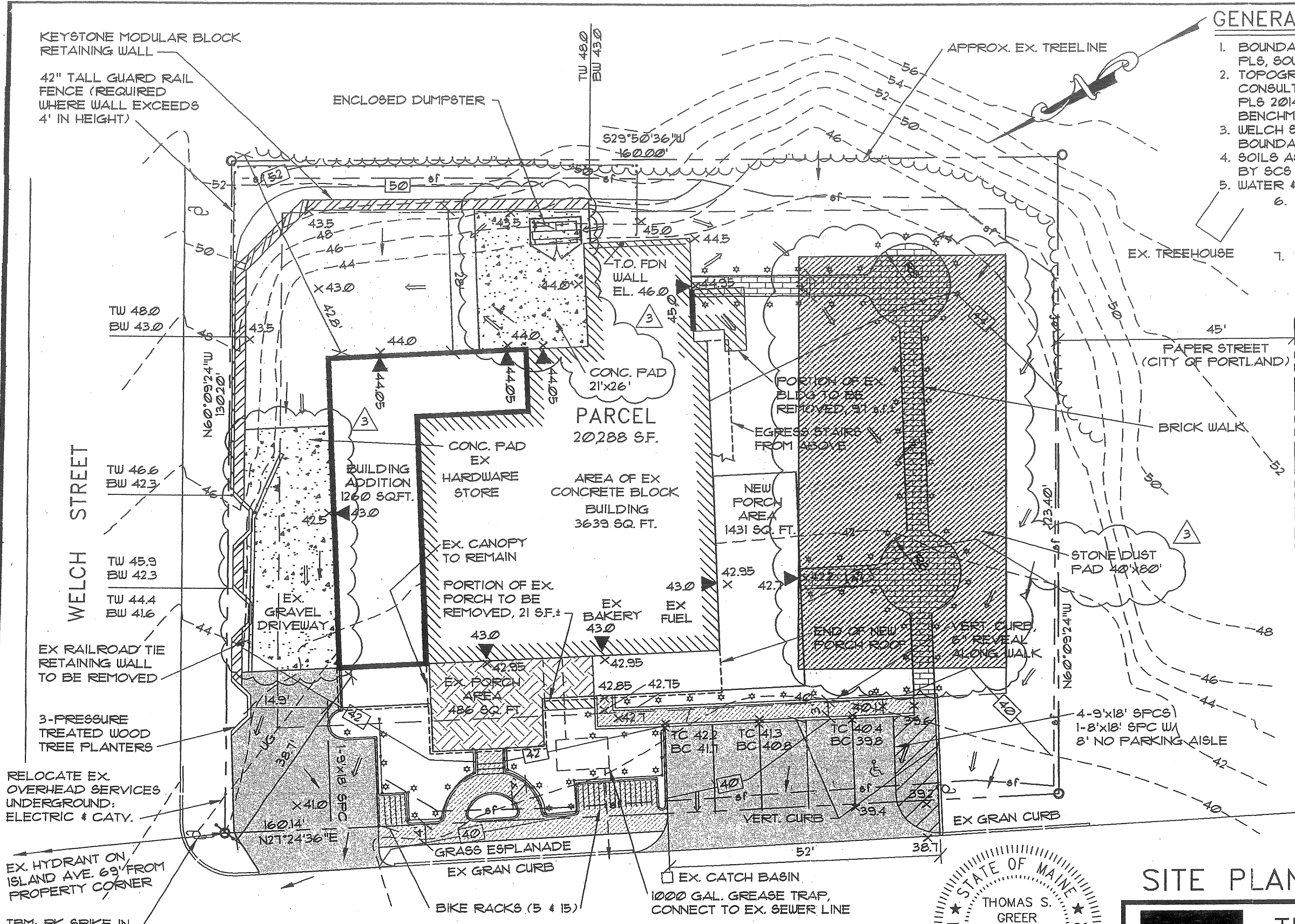
- TW = TOP OF BLOCK WALL
BW = BOTTOM OF BLOCK WALL
TC = TOP OF GRANITE CURB
BC = BOTTOM OF GRANITE CURB @ PVMT
- LOT COVERAGE:
TOTAL PARCEL: 20,288 SF.
BUILDING FOOTPRINT: 4,802 SF.
CONCRETE PATIO: 1,431 SF.
COVERAGE: 30.12%

EXISTING LEGEND

- PROPERTY LINE
- ABUTTERS PROPERTY
- BUILDING SETBACK
- EDGE OF PAVEMENT
- CONTOURS
- CURB
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- IRON PIPE FOUND
- HYDRANT
- SURFACE DRAINAGE
- GRAVEL

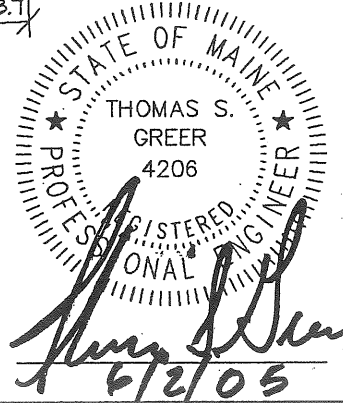
PROPOSED LEGEND

- EDGE OF PAVEMENT
- CURB
- CONTOURS
- BUILDING
- UG - UNDERGROUND SERVICE SIGN
- SPOT GRADE
- LOW VOLTAGE WALK LIGHT
- HANDICAP PARKING
- SURFACE DRAINAGE
- BIT. PAVEMENT
- CONCRETE WALKS
- LAWN
- PERENNIAL GARDEN
- BRICK WALK
- LANDSCAPE PLANTS/TREES
- SILT FENCE
- GUARD RAIL FENCE



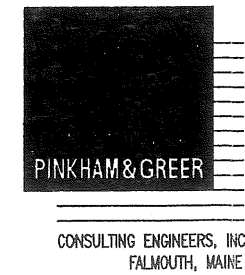
3	6/2/05	ADDED CONC. TENT PADS
2	6/18/01	ADDED GREASE TRAP, ADDED S2: LANDSCAPE & LIGHTING PLAN
1	5/8/01	REV'D WORK IN PAPER STREET

SITE PLAN



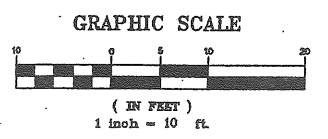
ISLAND AVENUE

OWNER: THE PEAKS ISLAND CO., LLC.
33 ISLAND AVENUE
PEAKS ISLAND, MAINE 04108



THE INN
FORMERLY JACKSON SERVICE CENTER

SCALE: 1" = 20'
DATE: MARCH 21, 2001
DESG BY: JDB
PROJECT: 00125



FILE SCALE: 1"=20'
CAD FILE: 00125

ORIGINAL

GENERAL NOTES: AH. # 3

- BOUNDARY AND EX. FEATURES BY DANIEL J. DALFONSO PLS, SOUTH PORTLAND.
- TOPOGRAPHIC SURVEY BY PINKHAM & GREER CONSULTING ENGINEERS, INC., FALMOUTH. JOHN D. BELL, PLS 2014. BENCHMARK TAKEN FROM BOUNDARY SURVEY. BENCHMARK: FK NAIL IN UTILITY POLE AT CORNER OF WELCH STREET AND ISLAND AVENUE AS SHOWN ON BOUNDARY PLAN, ASSUMED EL. 42.61'.
- SOILS AS SHOWN IN CUMBERLAND COUNTY SOILS SURVEY BY SCS ARE "H&C", HOLLIS.
- WATER & SEWER SERVICES ARE UNCHANGED.
- TW = TOP OF BLOCK WALL
BW = BOTTOM OF BLOCK WALL
TC = TOP OF GRANITE CURB
BC = BOTTOM OF GRANITE CURB @ PVTT
- LOT COVERAGE:
TOTAL PARCEL: 20,288 SF.
BUILDING FOOTPRINT: 4,800 SF.
CONCRETE PATIO: 1,431 SF.
COVERAGE: 30.12%

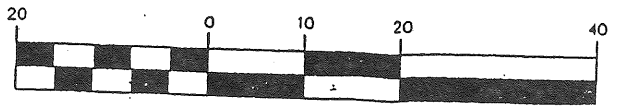
EXISTING LEGEND

- PROPERTY LINE
- ABUTTERS PROPERTY
- BUILDING SETBACK
- EDGE OF PAVEMENT
- CONTOURS
- CURB
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- IRON PIPE FOUND
- HYDRANT
- SURFACE DRAINAGE
- GRAVEL

PROPOSED LEGEND

- EDGE OF PAVEMENT
- CURB
- CONTOURS
- BUILDING
- UG - UNDERGROUND SERVICE SIGN
- x 50.1 SPOT GRADE
- LOW VOLTAGE WALK LIGHT
- HANDICAP PARKING
- SURFACE DRAINAGE
- BIT. PAVEMENT
- CONCRETE WALKS
- LAWN
- PERENNIAL GARDEN
- BRICK WALK
- LANDSCAPE PLANTS/TREES
- SILT FENCE
- GUARD RAIL FENCE

GRAPHIC SCALE



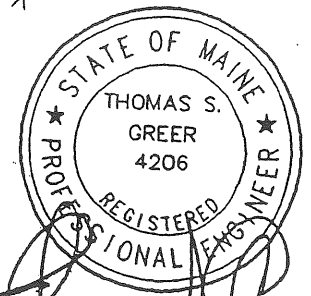
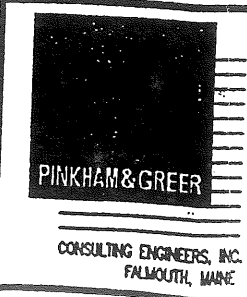
SITE PLAN

2	6/18/01	ADDED GREASE TRAP, ADDED 52' LANDSCAPE & LIGHTING PLAN
1	5/8/01	REV'D WORK IN PAPER STREET

THE INN

FORMERLY JACKSON SERVICE CENTER

SCALE: 1" = 20'
DATE: MARCH 21, 2001
DESIGNED BY: JDB
PROJECT: 00125



OWNER: THE PEAKS ISLAND CO., LLC.
33 ISLAND AVENUE
PEAKS ISLAND, MAINE 04108

KEYSTONE MODULAR BLOCK RETAINING WALL

42" TALL GUARD RAIL FENCE (REQUIRED WHERE WALL EXCEEDS 4' IN HEIGHT)

ENCLOSED DUMPSTER

APPROX. EX. TREELINE

EX. TREEHOUSE

PAPER STREET (CITY OF PORTLAND)

BRICK WALK

WELCH STREET

PARCEL 20,288 SF.

BUILDING ADDITION 1260 SQ.FT.

EX HARDWARE STORE

AREA OF EX CONCRETE BLOCK BUILDING 3639 SQ. FT.

NEW PORCH AREA 1431 SQ. FT.

EX. CANOPY TO REMAIN

PORTION OF EX. PORCH TO BE REMOVED, 21 SF.

EX. PORCH AREA 486 SQ. FT.

EX BAKERY 430

EX FUEL

END OF NEW PORCH ROOF

VERT. CURB, 6" REVEAL ALONG WALK

4-9'x18' SPCS
1-8'x18' SPC WA
8' NO PARKING AISLE

EX. GRAVEL DRIVEWAY

EX RAILROAD TIE RETAINING WALL TO BE REMOVED

3-PRESSURE TREATED WOOD TREE PLANTERS

RELOCATE EX. OVERHEAD SERVICES UNDERGROUND: ELECTRIC & CATV.

EX. HYDRANT ON ISLAND AVE. 63' FROM PROPERTY CORNER

TBM: FK SPIKE IN POLE, EL. 42.61'

SEWER MH

ISLAND AVENUE

EX. CATCH BASIN
1000 GAL. GREASE TRAP, CONNECT TO EX. SEWER LINE

BIKE RACKS (5 & 15)

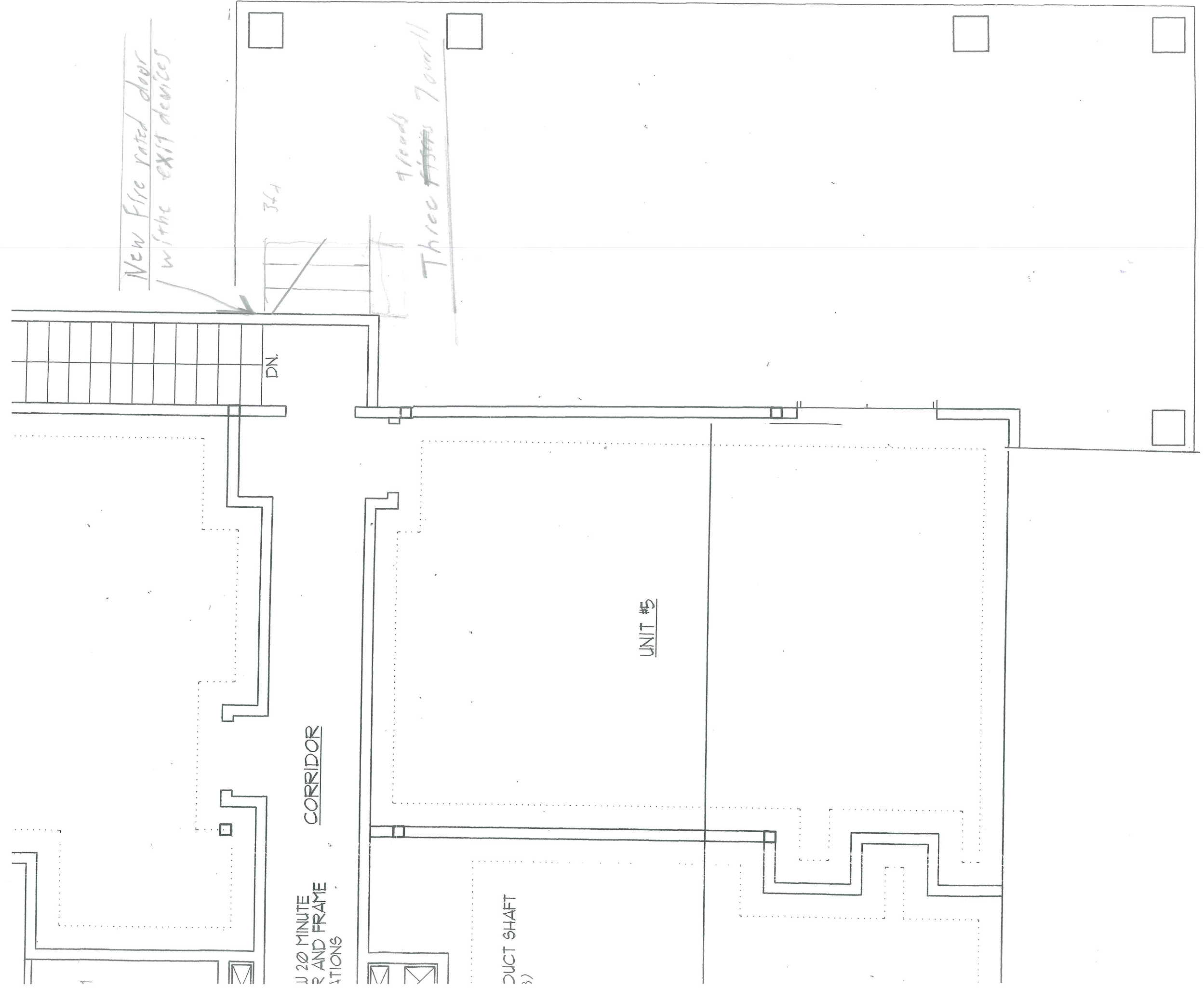
GRASS ESPLANADE

EX GRAN CURB

CAD FILE: 00125
FILE SCALE: 1"=20'

Island Acquisition LLC
The Inn on Peaks Island
33 Island Ave Peaks Island ME

Second Floor Plan
1/4" = 1'-0"



New Fire rated door
with the EXIT devices

344

3 leads to
Three floors 7 over 11

DN

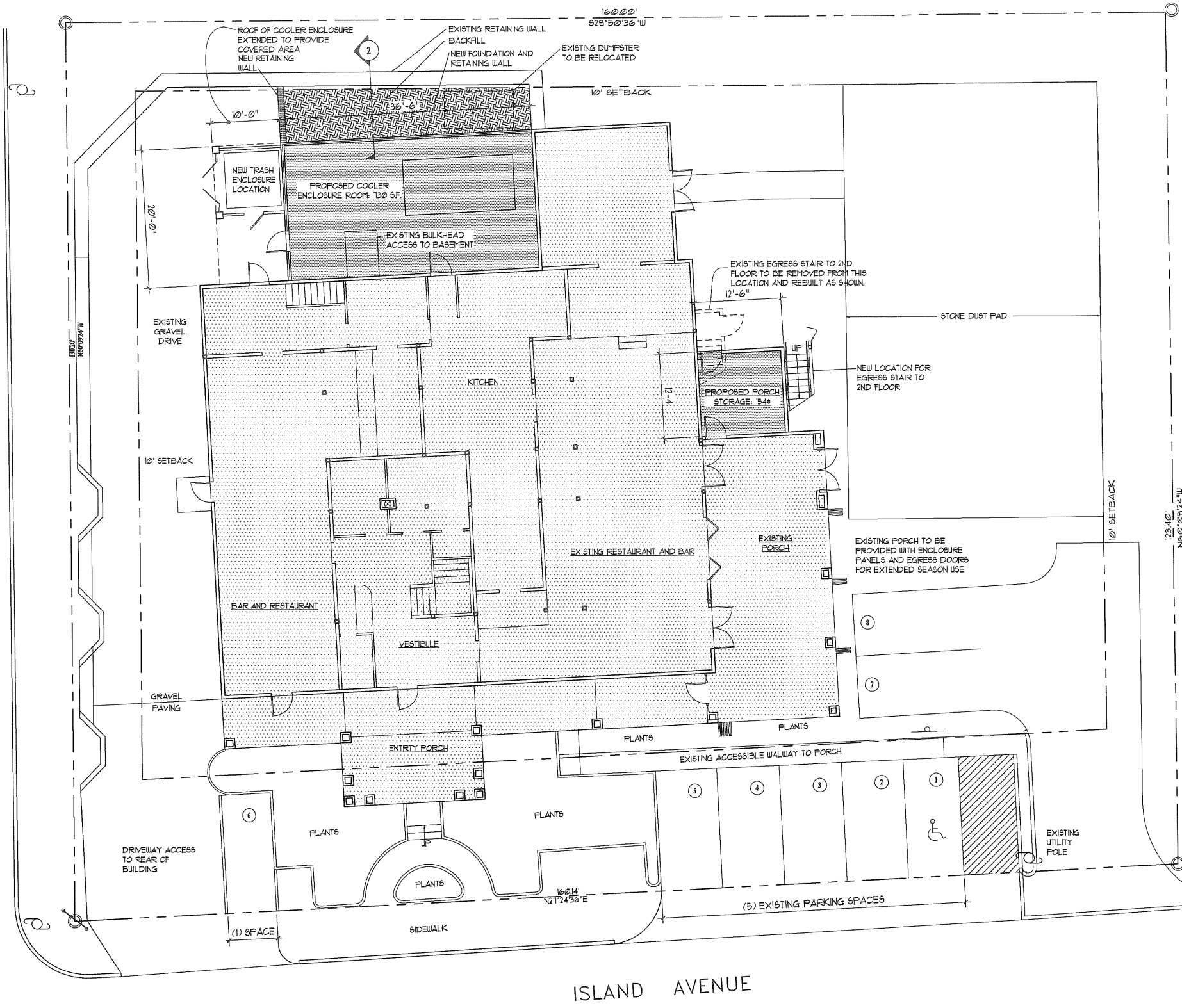
CORRIDOR

U 20 MINUTE
R AND FRAME
ATIONS

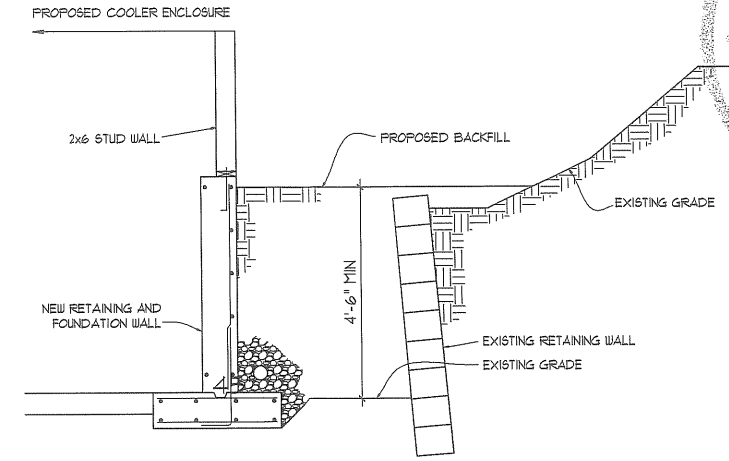
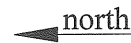
DUCT SHAFT

UNIT #5

WELCH STREET



1 SITE PLAN
SCALE 1/8" = 1'

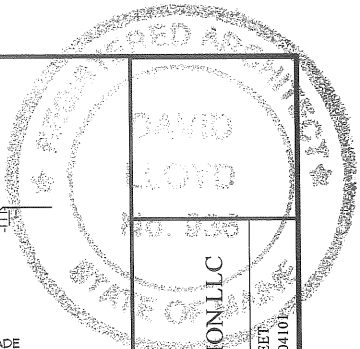


2 SITE DETAIL
SCALE 1/8" = 1'

THE PEAKS ISLAND INN AREA CALCULATIONS:

LOT SIZE:	20,288#
EXISTING FOOTPRINT:	4,802#
EXISTING COVERAGE:	23.1%
PROPOSED FOOTPRINT:	5,686#
EXISTING COVERAGE:	28.0%
EXISTING BUILDING AREA:	12,036#
PROPOSED BUILDING AREA:	13,172#
EXISTING AREAS BY USE:	
RESTAURANT AND BAR (1ST FLR.)	2856#
KITCHEN (1ST FLR.)	962#
LODGING (2ND FLR.)	5,094# (6 ROOMS)
INNKEEPERS APT. (2ND AND 3RD FLR.)	3,040#
PROPOSED ADDITIONAL AREAS:	
1ST FLOOR COOLER ENCLOSURE	130#
1ST FLOOR PORCH STORAGE	154#
2ND FLOOR (GROSS)	
FITNESS STUDIO & READING ROOM	852#
TOTAL ADDITIONAL AREA	1,136#

OFF STREET PARKING REQUIREMENTS:
ORIGINAL PERMIT REQUIRED NO PARKING FOR THIS BUILDING. SUBSEQUENT PERMITS REQUIRED A TOTAL OF 2 SPACES. NOTE THAT 6 SPACES ARE PROVIDED.



OWNER:
ISLAND ACQUISITION LLC
46 NEWBURY STREET
PORTLAND, MAINE 04101

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project
PEAKS ISLAND INN
FITNESS RM. & COOLER ENCLOSURE
PEAKS ISLAND
PORTLAND, MAINE

Scale
AS NOTED

Date
MARCH, 2006

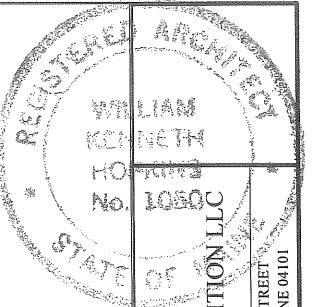
Revisions:

Schematic Design
NOT FOR CONSTRUCTION

SITE PLAN

SITE PLAN REVIEW DRAWING

LEGEND
 --- EXISTING WALL TO BE REMOVED
 = NEW WALL
 --- EXISTING WALL TO REMAIN



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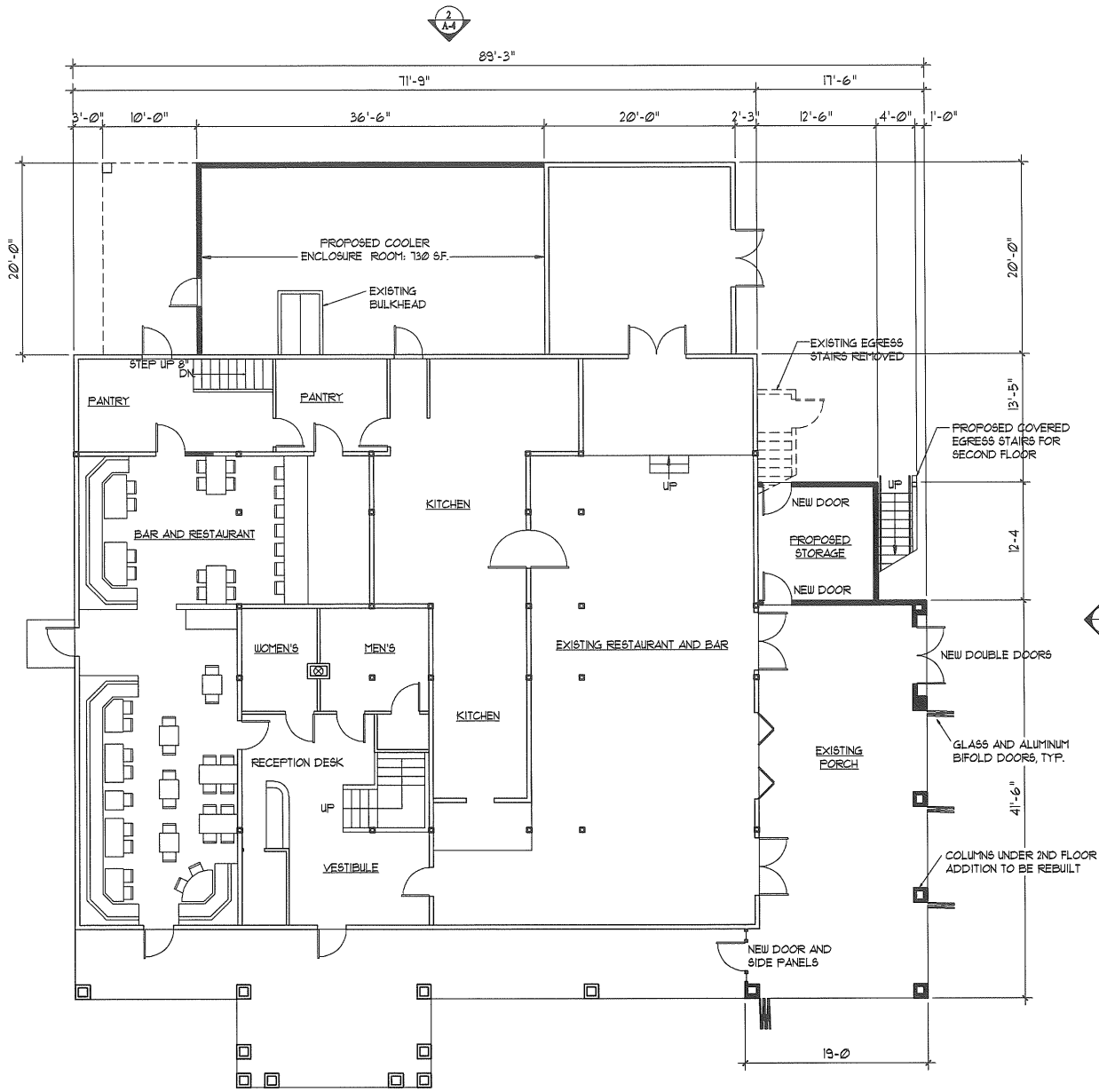
ARCHETYPE, P.A.
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 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Project
 PEAKS ISLAND INN
 FITNESS RM. & COOLER ENCLOSURE
 PEAKS ISLAND
 PORTLAND, MAINE

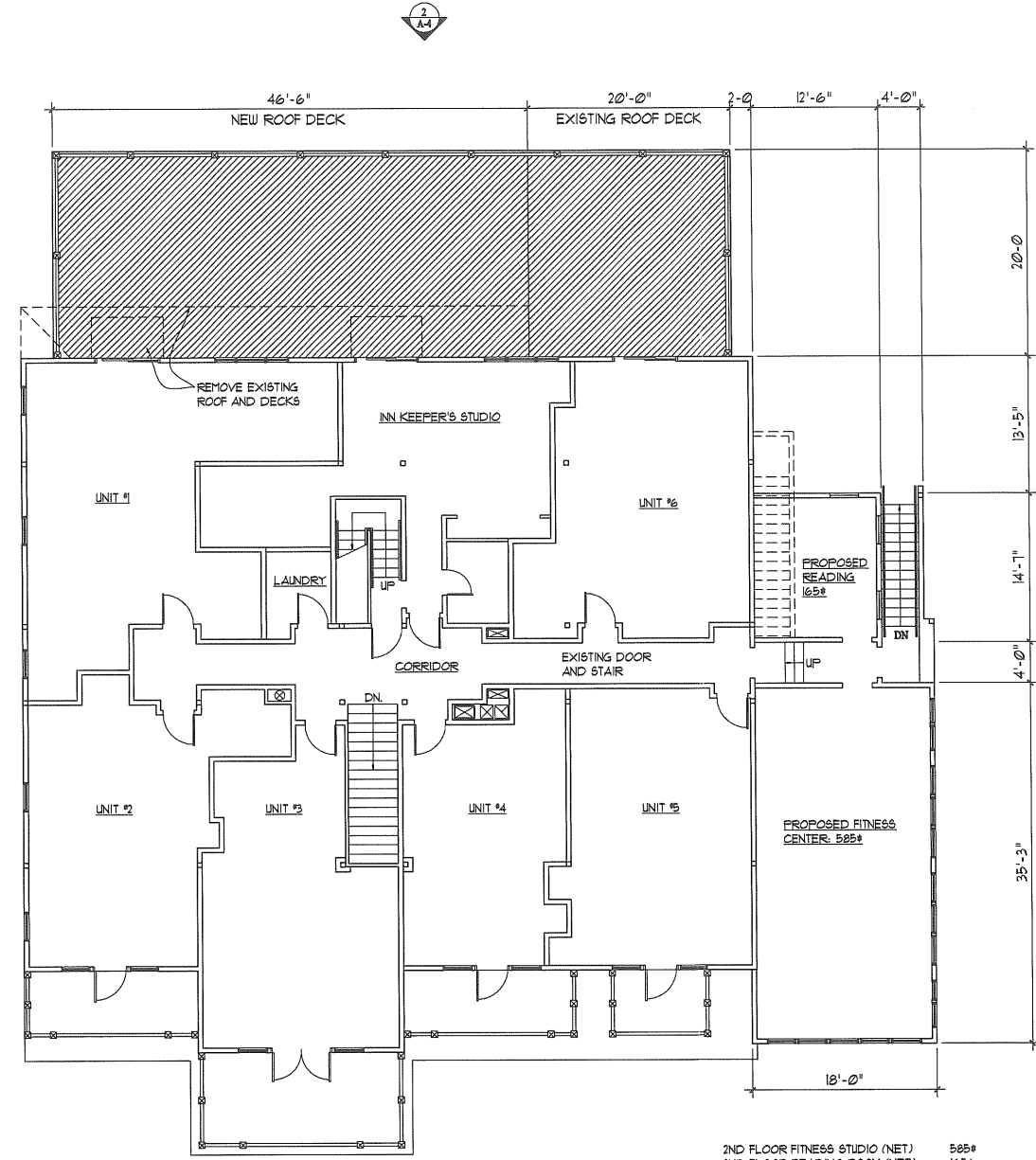
Scale AS NOTED
 Date MARCH, 2006
 Revisions:

SCHEMATIC DESIGN
 NOT FOR CONSTRUCTION
 1ST & 2ND FLR PLAN
 SITE PLAN REVIEW DRAWING

A-2

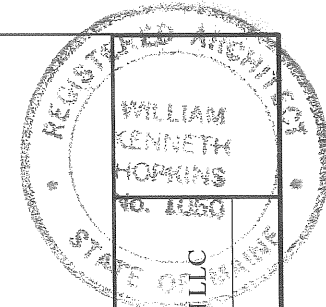


1 FIRST FLOOR PLAN
 SCALE 1/8" = 1'



1 SECOND FLOOR PLAN
 SCALE 1/8" = 1'

2ND FLOOR FITNESS STUDIO (NET) 565#
 2ND FLOOR READING ROOM (NET) 165#
 TOTAL ASSEMBLY USE 2ND FLR (NET) 730#



① ELEVATION
SCALE 1/4" = 1'



① ELEVATION
SCALE 1/4" = 1'

OWNER:

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PEAKS ISLAND INN
FITNESS RM. & COOLER ENCLOSURE

PEAKS ISLAND
PORTLAND, MAINE

Scale
AS NOTED

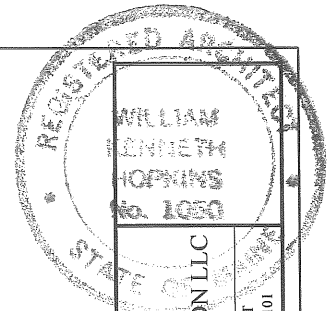
Date
MARCH, 2006

Revisions:

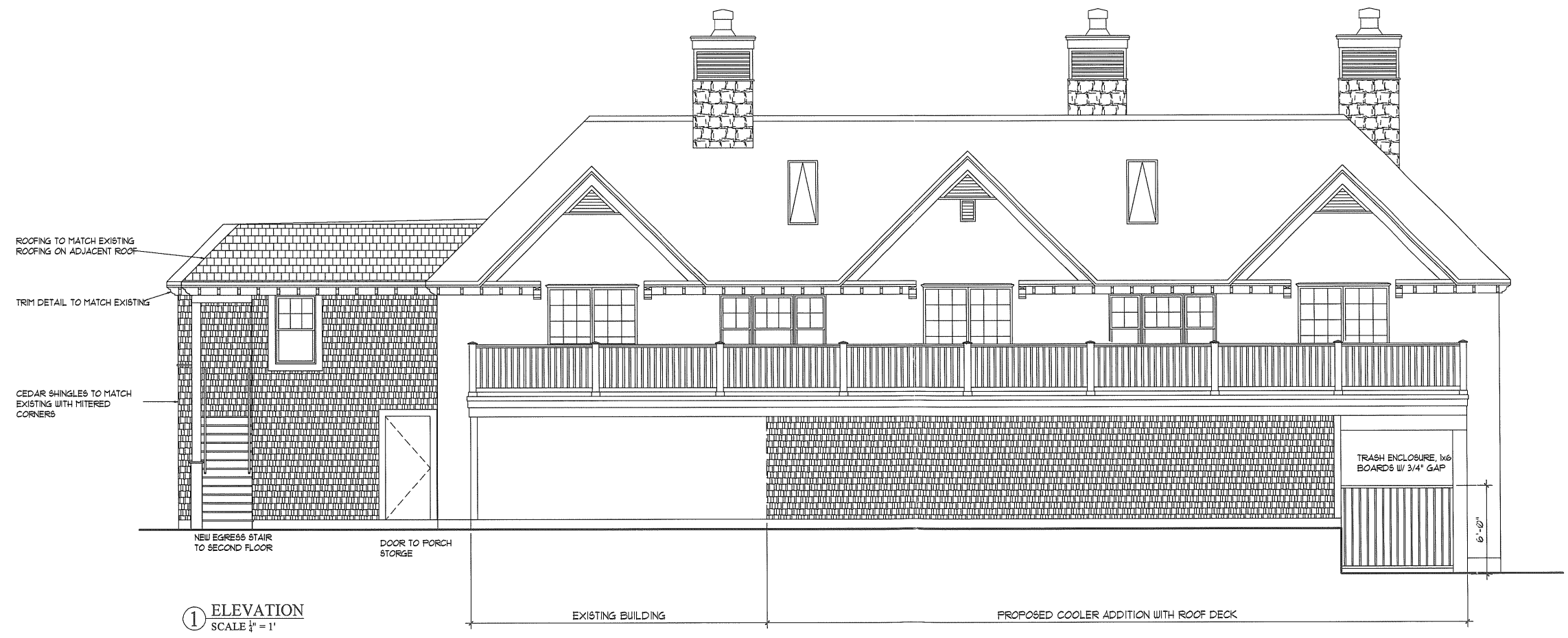
SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

ELEVATION

SITE PLAN REVIEW DRAWING



① ELEVATION
SCALE 1/4" = 1'



① ELEVATION
SCALE 1/4" = 1'

EXISTING BUILDING PROPOSED COOLER ADDITION WITH ROOF DECK

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PEAKS ISLAND INN
FITNESS RM. & COOLER ENCLOSURE
PEAKS ISLAND
PORTLAND, MAINE

Scale: AS NOTED
Date: MARCH, 2006
Revisions:

Schematic Design
NOT FOR CONSTRUCTION
REAR/SIDE ELEVATION
SITE PLAN REVIEW DRAWING

A-4

GENERAL NOTES:

- BOUNDARY AND EX. FEATURES BY DANIEL J. DALFONSO, PLS, SOUTH PORTLAND.
- TOPOGRAPHIC SURVEY BY PINKHAM & GREER CONSULTING ENGINEERS, INC., FALMOUTH. JOHN D. BELL, PLS 2014. BENCHMARK TAKEN FROM BOUNDARY SURVEY. BENCHMARK: PK NAIL IN UTILITY POLE AT CORNER OF BOUNDARY PLAN, ASSUMED EL. 42.67'.
- WELCH STREET AND ISLAND AVENUE AS SHOWN ON BOUNDARY PLAN, ASSUMED EL. 42.67'.
- SOILS AS SHOWN IN CUMBERLAND COUNTY SOILS SURVEY BY SCS ARE "H&C", HOLLIS.
- WATER & SEWER SERVICES ARE UNCHANGED.
- TW = TOP OF BLOCK WALL
BW = BOTTOM OF BLOCK WALL
TC = TOP OF GRANITE CURB
BC = BOTTOM OF GRANITE CURB & PVMT
LOT COVERAGE: TOTAL PARCEL = 20,288 SF.
BUILDING FOOTPRINT = 6,209 SF.
CONCRETE PATIO/WALKS = 1,251 SF.
PAVEMENT = 4,979 SF.
STONE DUST = 2,340 SF.
BUILDING LOT COVERAGE = 42.13%

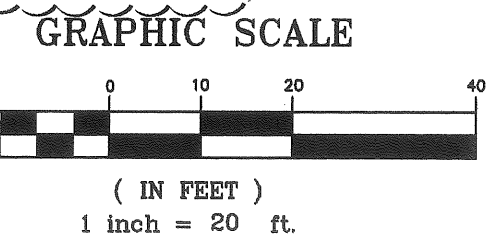
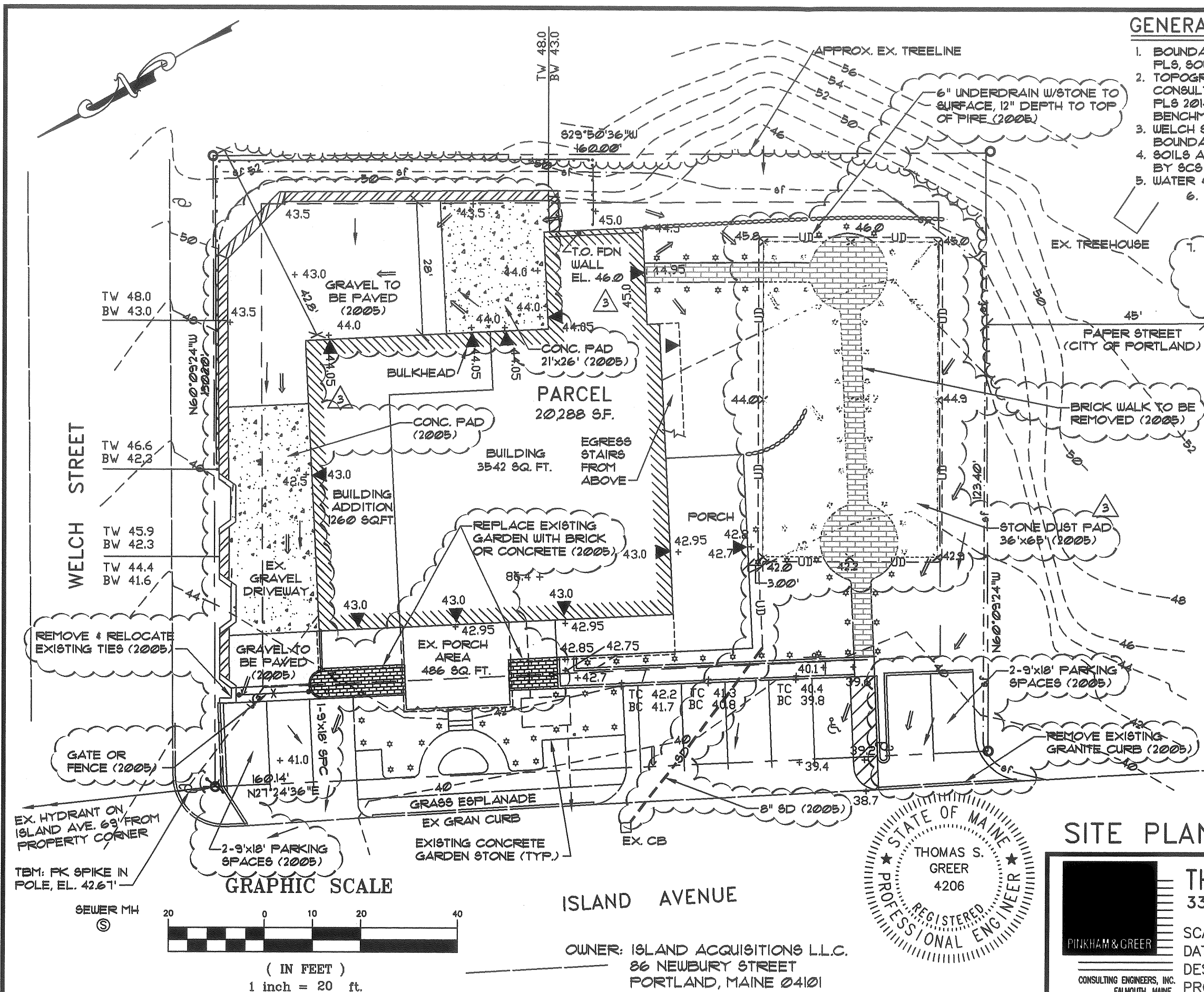
EXISTING LEGEND

- PROPERTY LINE
- - - ABUTTERS PROPERTY
- - - BUILDING SETBACK
- - - EDGE OF PAVEMENT
- - - CONTOURS
- CURB
- ⊙ SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- IRON PIPE FOUND
- ⊗ HYDRANT
- SURFACE DRAINAGE
- GRAVEL
- BRICK WALK
- GUARD RAIL FENCE

PROPOSED LEGEND

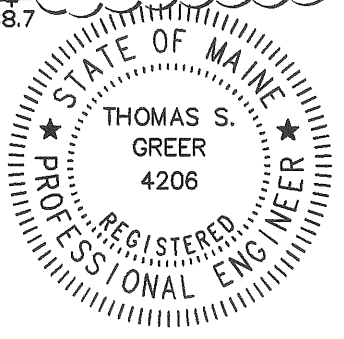
- EDGE OF PAVEMENT
- CURB
- - - CONTOURS
- BUILDING
- - - UG - - - UNDERGROUND SERVICE
- - - SD - - - UNDERGROUND SERVICE
- - - UD - - - UNDERGROUND SERVICE
- × 50.1 SPOT GRADE
- * LOW VOLTAGE WALK LIGHT
- ♿ HANDICAP PARKING
- SURFACE DRAINAGE
- BIT. PAVEMENT
- STONE DUST
- CONCRETE PAD
- - - SILT FENCE

4	7/6/05	ADDED STONE DUST TENT PAD
3	6/2/05	ADDED CONC. TENT PADS
2	6/18/01	ADDED GREASE TRAP, ADDED S2: LANDSCAPE & LIGHTING PLAN
1	5/8/01	REV'D WORK IN PAPER STREET

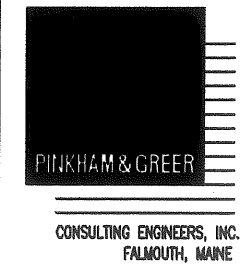


ISLAND AVENUE

OWNER: ISLAND ACQUISITIONS L.L.C.
 86 NEWBURY STREET
 PORTLAND, MAINE 04101

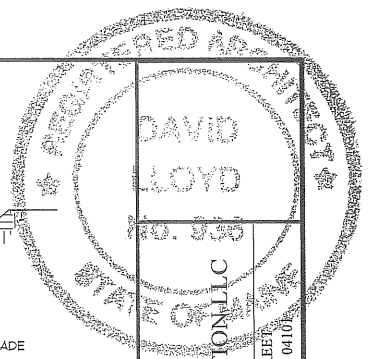


SITE PLAN



THE INN ON PEAKS ISLAND
 33 ISLAND AVENUE

SCALE: 1" = 20'
 DATE: MARCH 21, 2001
 DESG BY: TSG
 PROJECT: 05159



OWNER:
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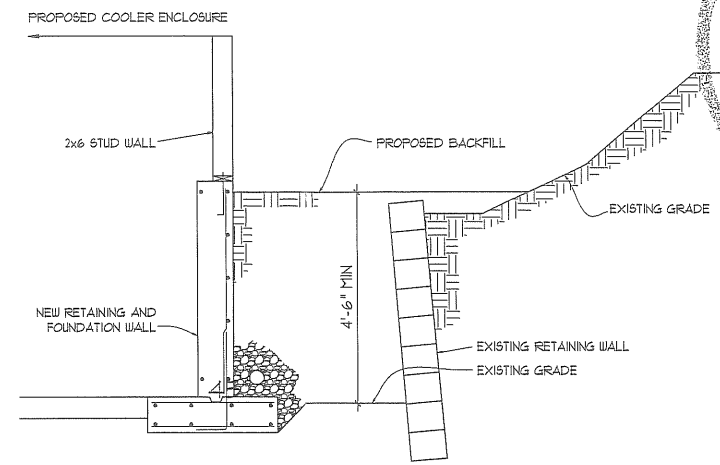
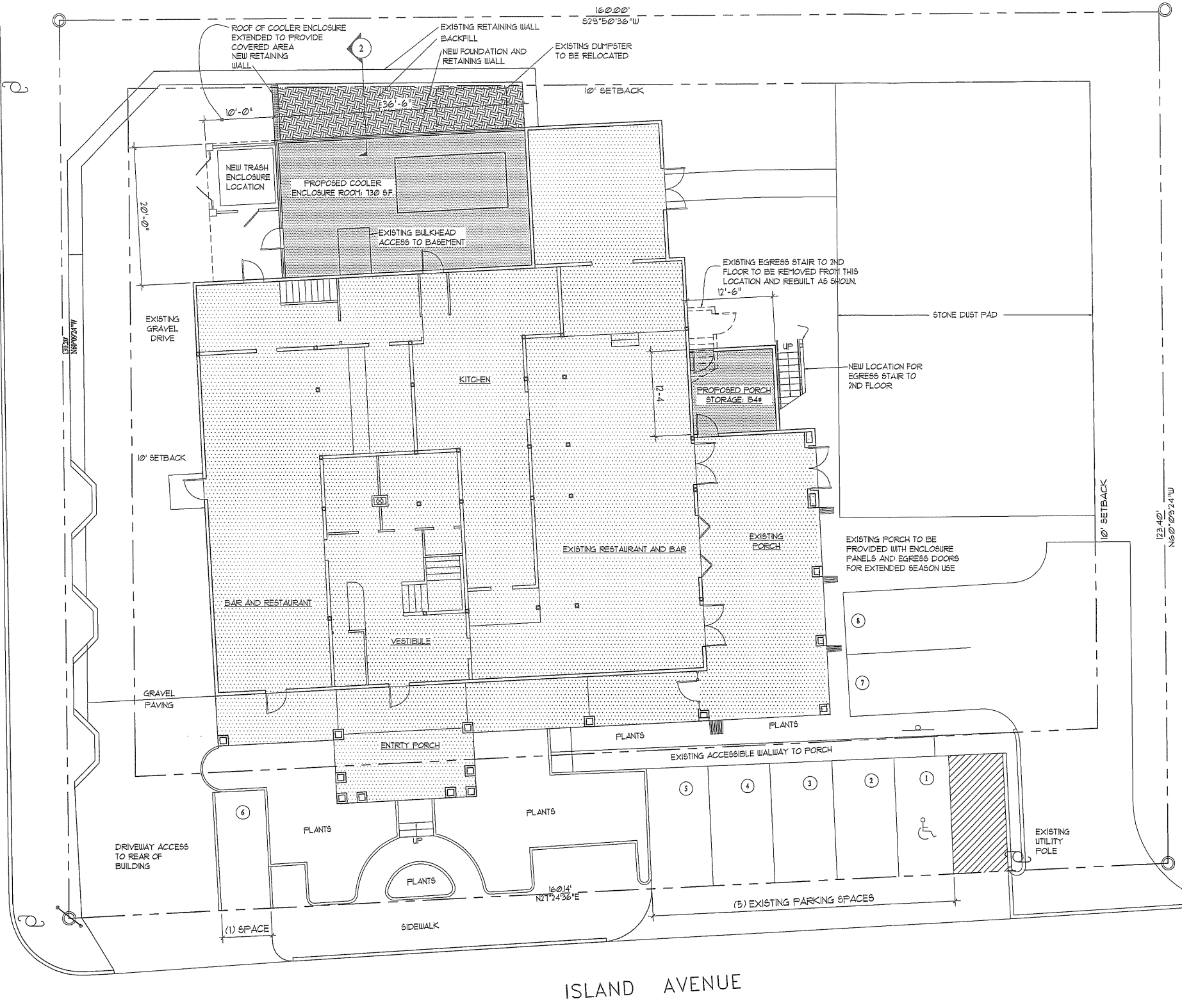
Scale	AS NOTED
Date	MARCH, 2006
Revisions:	

SCHEMATIC DESIGN
 NOT FOR CONSTRUCTION

SITE PLAN

SITE PLAN REVIEW DRAWING

A-1



2 SITE DETAIL
 SCALE 1/8" = 1'

THE PEAKS ISLAND INN AREA CALCULATIONS:

LOT SIZE:	20,288*
EXISTING FOOTPRINT:	4,807*
EXISTING COVERAGE:	23.7%
PROPOSED FOOTPRINT:	5,886*
EXISTING COVERAGE:	28.0%

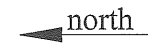
EXISTING BUILDING AREA:	12,036*
PROPOSED BUILDING AREA:	13,772*

EXISTING AREAS BY USE	
RESTAURANT AND BAR (1ST FLR.)	2856*
KITCHEN (1ST FLR.)	967*
LODGING (2ND FLR.)	5024* (6 ROOMS)
INNKEEPERS APT. (2ND AND 3RD FLR.)	3040*

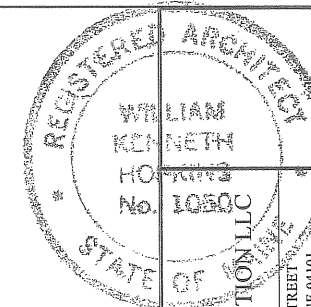
PROPOSED ADDITIONAL AREAS	
1ST FLOOR COOLER ENCLOSURE	130*
1ST FLOOR PORCH STORAGE	154*
2ND FLOOR (GROSS)	
FITNESS STUDIO & READING ROOM	852*
TOTAL ADDITIONAL AREA	1136*

OFF STREET PARKING REQUIREMENTS:
 ORIGINAL PERMIT REQUIRED NO PARKING FOR THIS BUILDING. SUBSEQUENT PERMITS REQUIRED A TOTAL OF 2 SPACES. NOTE THAT 5 SPACES ARE PROVIDED.

1 SITE PLAN
 SCALE 1/8" = 1'



LEGEND
 --- EXISTING WALL TO BE REMOVED
 = NEW WALL
 --- EXISTING WALL TO REMAIN



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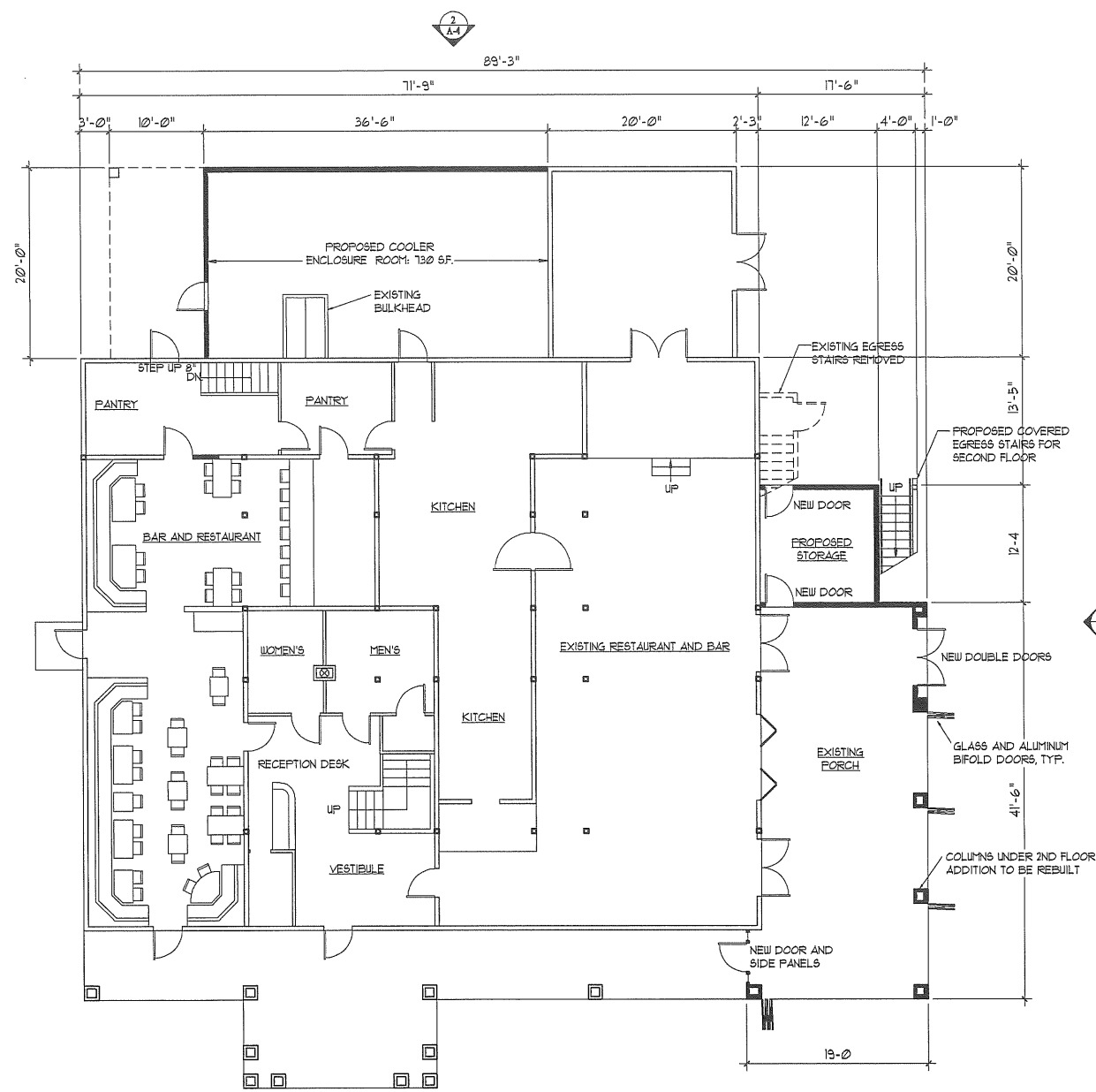
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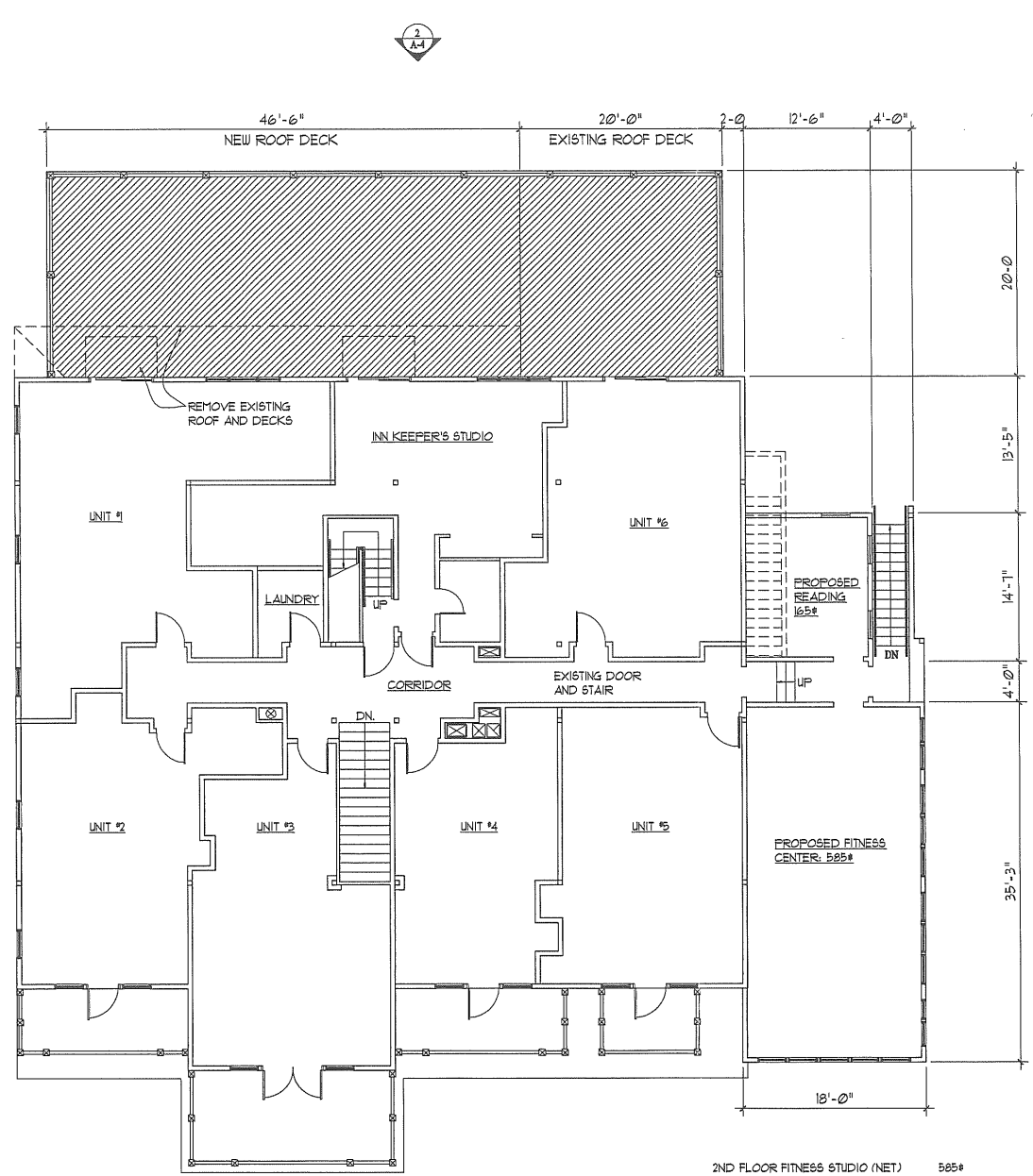
Date: MARCH, 2006
 Revisions:

Schematic Design
 NOT FOR CONSTRUCTION
 1ST & 2ND FLR PLAN
 SITE PLAN REVIEW DRAWING

A-2

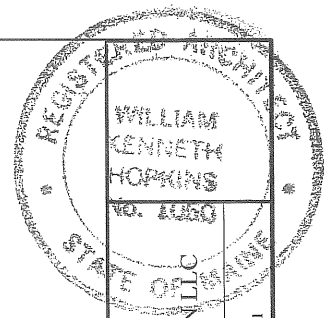


1 FIRST FLOOR PLAN
 SCALE 1/8" = 1'



1 SECOND FLOOR PLAN
 SCALE 1/8" = 1'

2ND FLOOR FITNESS STUDIO (NET) 585 SF
 2ND FLOOR READING ROOM (NET) 165 SF
 TOTAL ASSEMBLY USE 2ND FLR (NET) 750 SF



① ELEVATION
SCALE 1/4" = 1'



① ELEVATION
SCALE 1/4" = 1'

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PORTLAND, MAINE

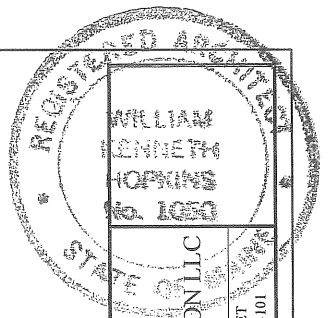
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Date: MARCH, 2006
Revisions:

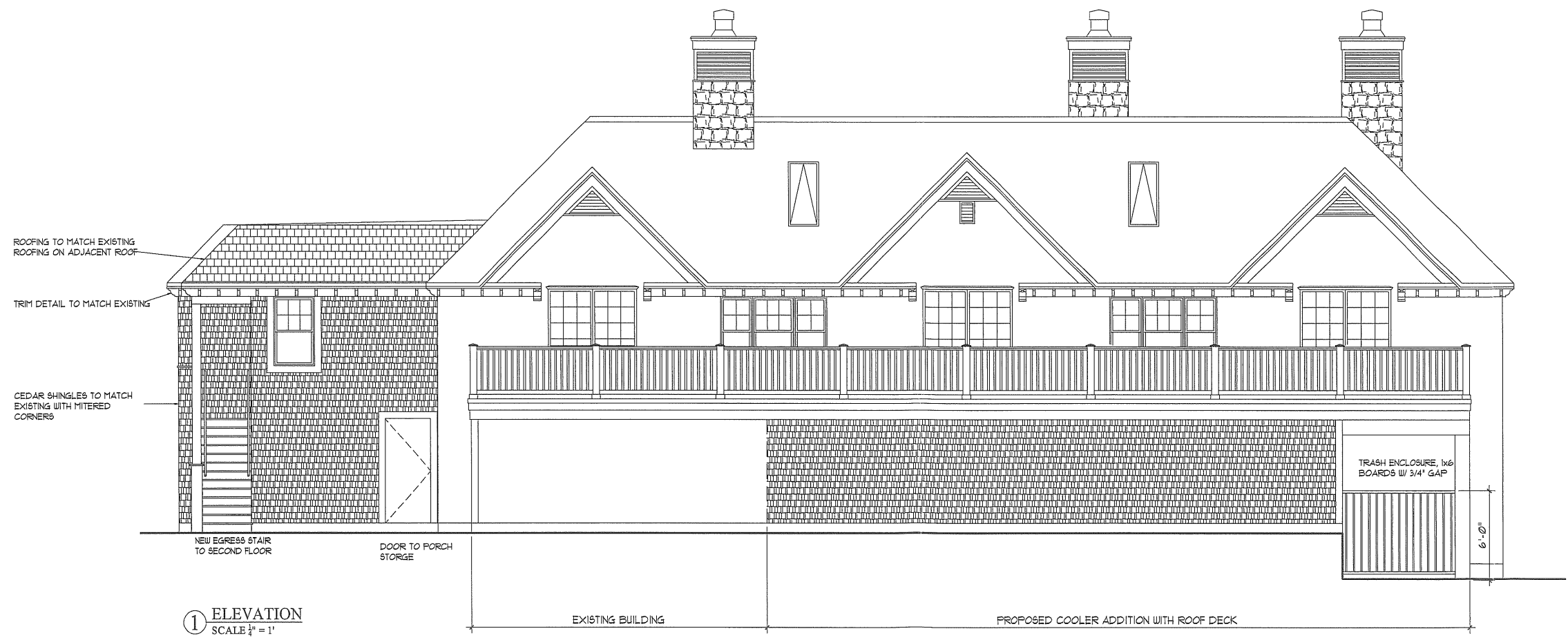
Schematic Design
NOT FOR CONSTRUCTION

ELEVATION

SITE PLAN REVIEW DRAWING



① ELEVATION
SCALE 1/4" = 1'



① ELEVATION
SCALE 1/4" = 1'

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REAR/SIDE ELEVATION
SITE PLAN REVIEW DRAWING