

■ Indicates Location Of Building 3 1/2" x 3 1/2" LVL Posts. The Post At Lrps 1/4" And All Posts From Framing From Framing Only. All Other Posts Go From Foundation To Roof Framing.
 → Indicates Span Direction Of 3/4" TMS Plywood Sheathing
 All Other Framing Shown Is New
 Sdfr Framing By Others
 Field Measure All Existing Conditions And Dimensions Refer To Architectural Drawings For Additional Info.

Indicates 4" x 8" Sheets Of The Plywood Sheathing. See Notes As Shown.

Existing Exterior Walls, Typical.

Roof Danner Outline, TYP.

PLAN VIEW - THIRD FLOOR FRAMING OVERLAY
 Scale: 1/8" = 1'-0"

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SHEET TITLE:
 THIRD FLOOR FRAMING OVERLAY PLAN
 S1 of 3



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 Fax (207) 864-8708
 www.ShelleyEngineering.com

THE PEAKS ISLAND INN
 ATTIC RENOVATION
 PEAKS ISLAND MAINE

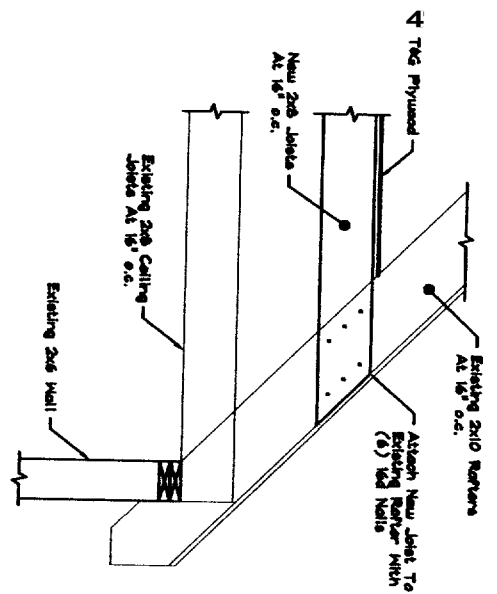
DRAWN BY: PWF
 CHECK'D BY: TGS
 DATE: OCTOBER 14, 2004
 SCALE: AS NOTED
 JOB NO.: 2004-432

This Drawing Is Issued

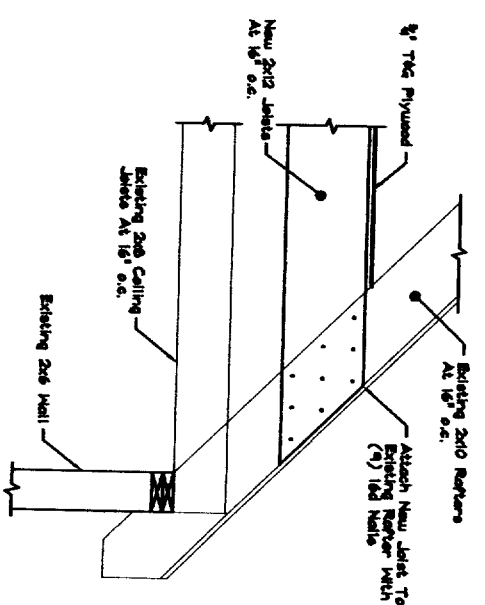
Not For Construction For Construction

Current Revision

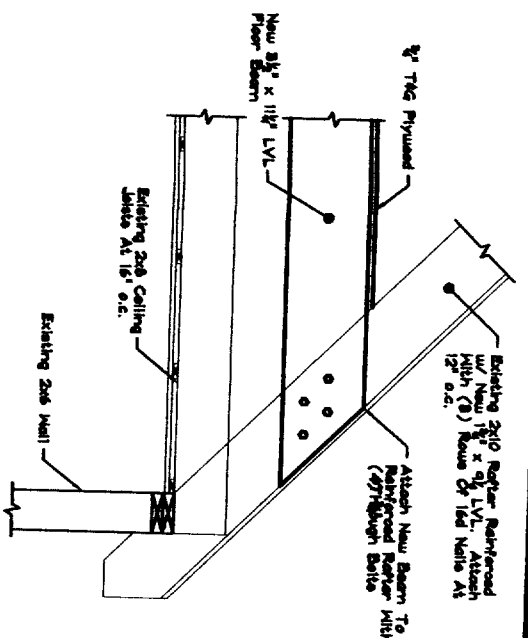
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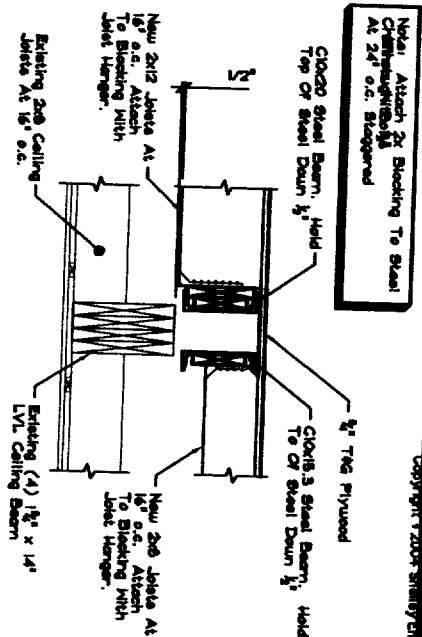
SECTION 1
Scale: 1/2" = 1'-0"
SI



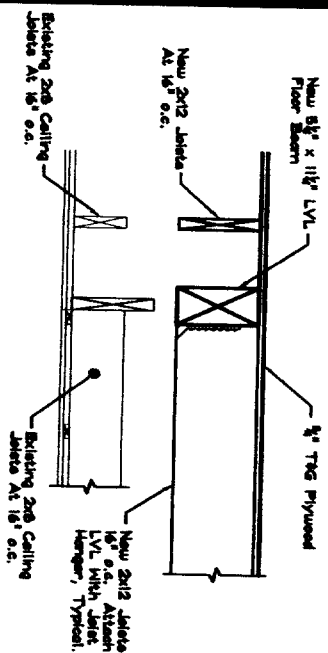
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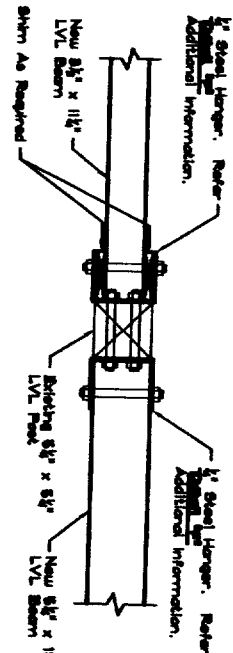
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SI



SECTION 4
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SI

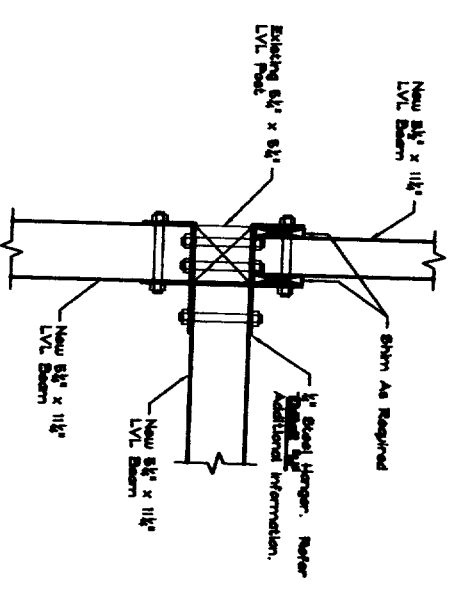


SECTION 5
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SI

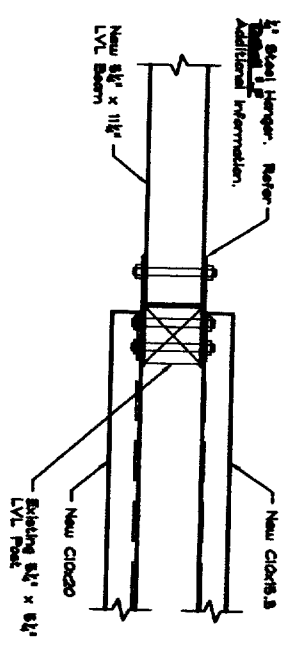


DETAIL A
Scale: 1/2" = 1'-0"
SI

Existing 8 1/2" x LVL Foot



DETAIL C
Scale: 1/2" = 1'-0"
SI



DETAIL D
Scale: 1/2" = 1'-0"
SI



DETAIL E
Scale: 1/2" = 1'-0"
SI

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This Drawing is Issued:

Not For Construction For Construction

Current Revision

#	DATE	DESCRIPTION

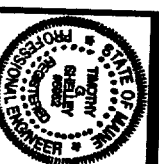
DRN BY:	PHF
CHK'D BY:	TGS
DATE:	OCTOBER 14, 2004
SCALE:	AS NOTED
JOB NO.:	2004-432

THE PEAKS ISLAND INN
ATTIC RENOVATION

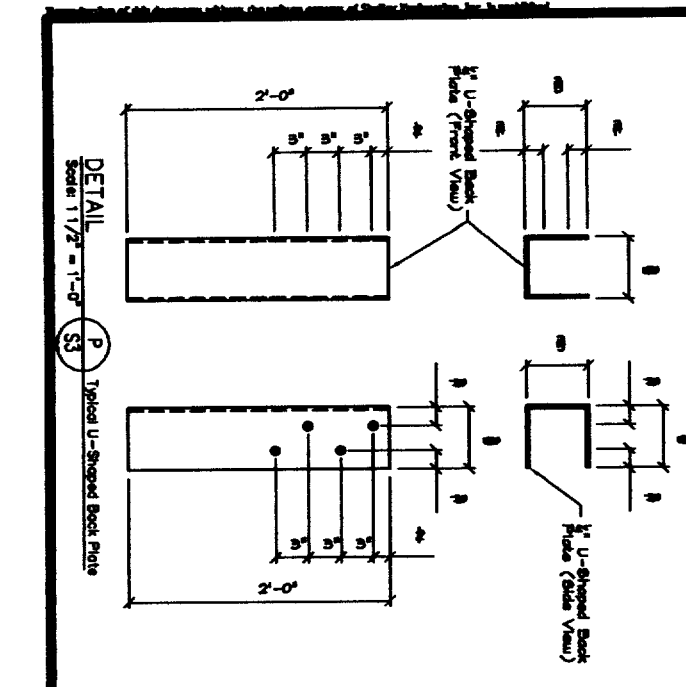
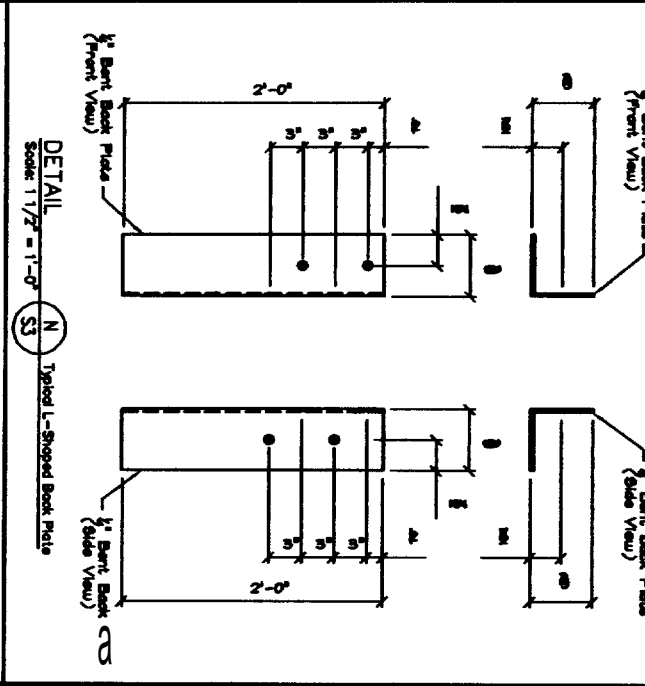
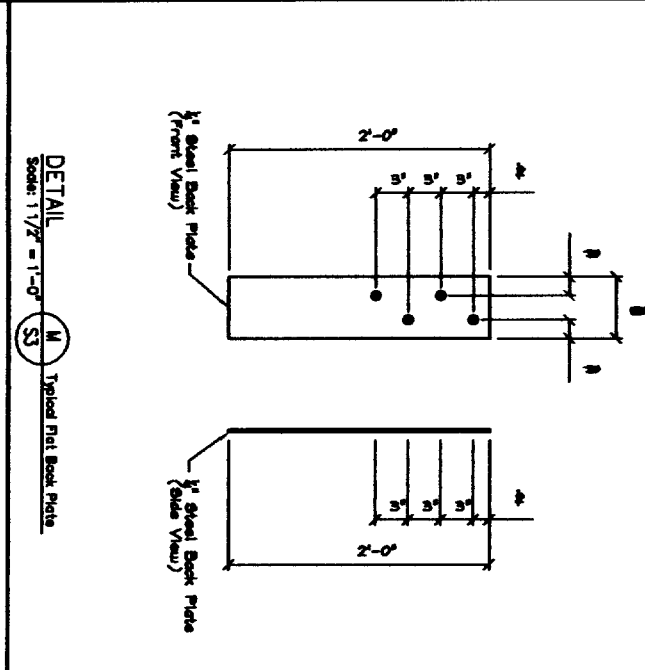
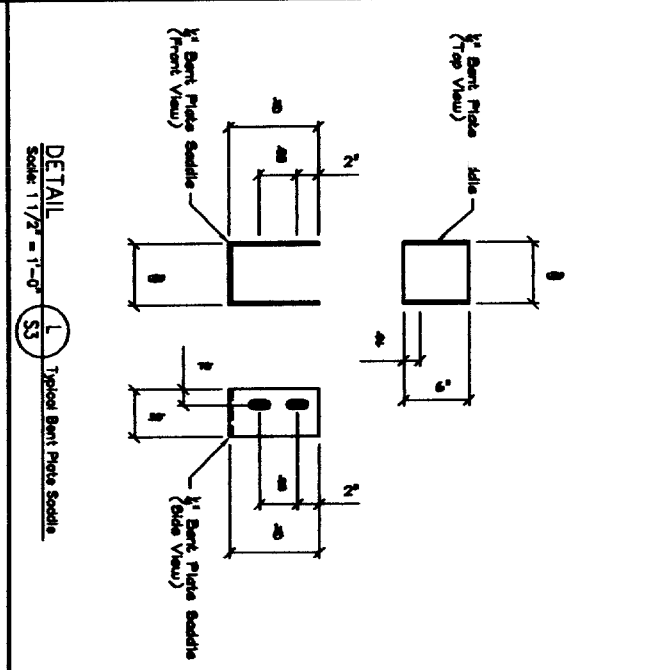
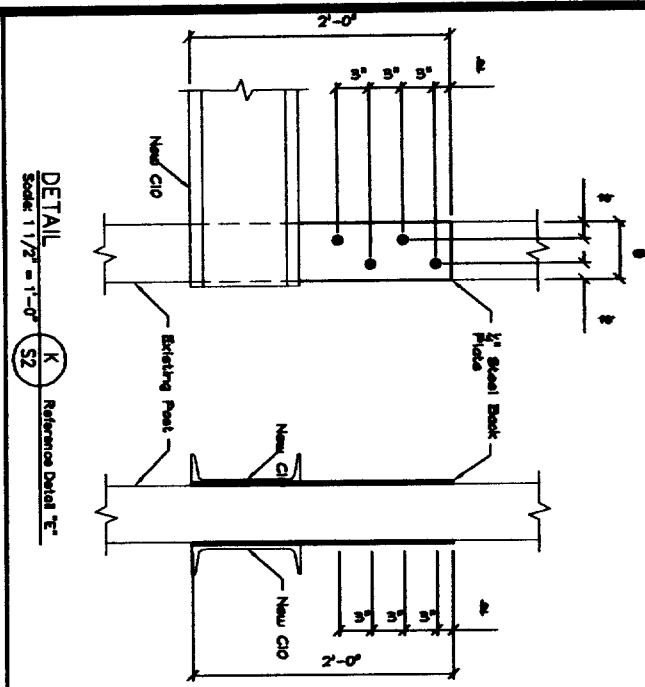
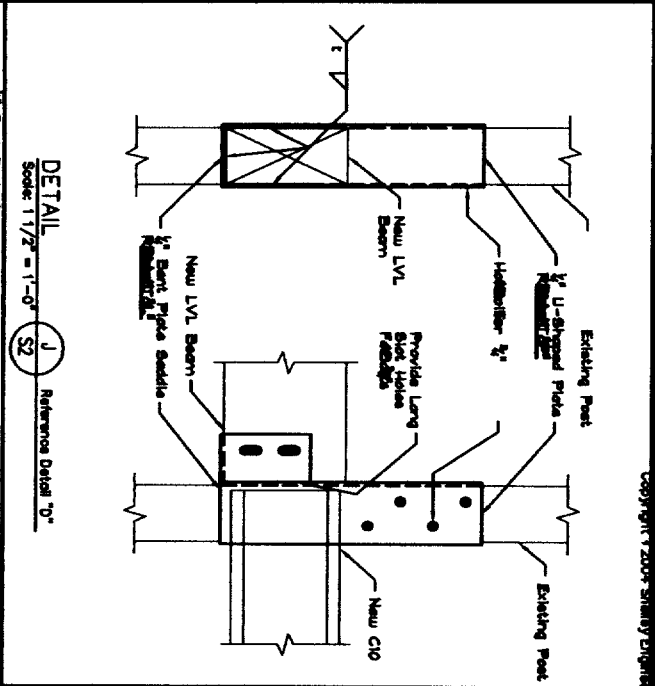
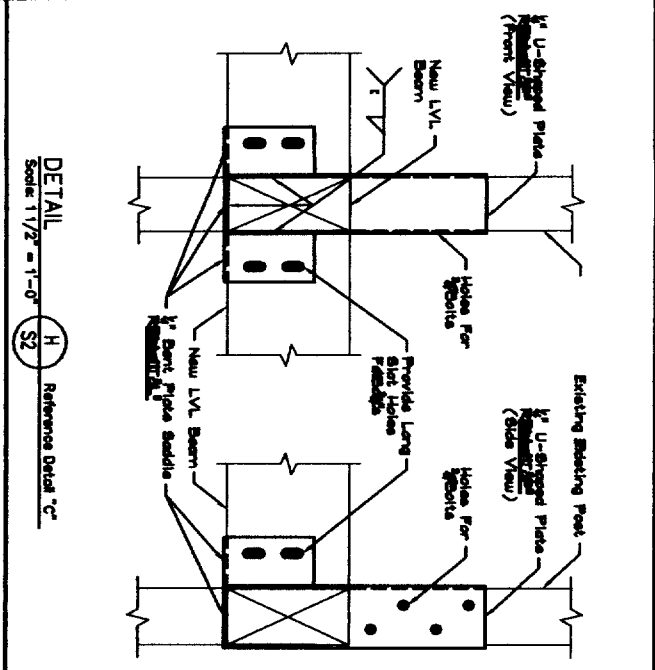
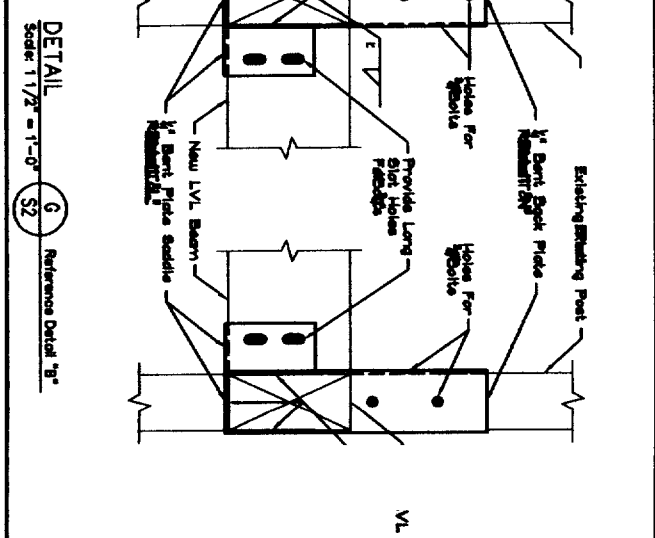
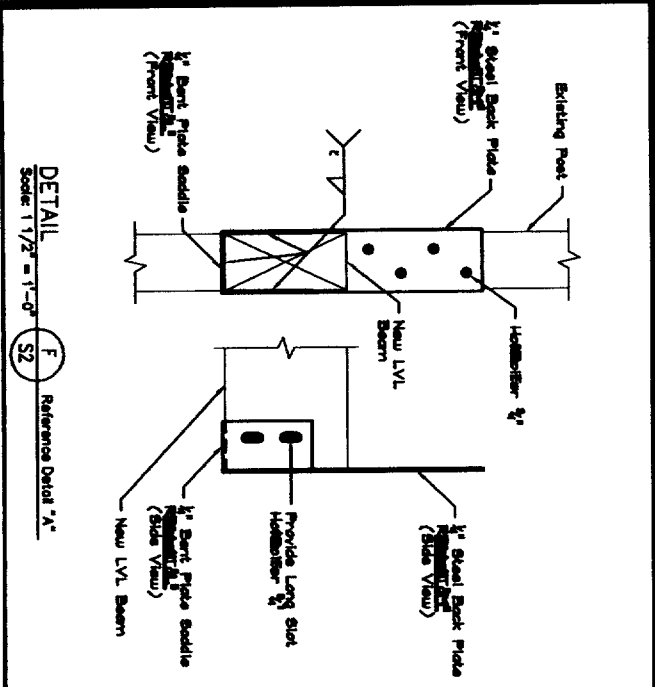
PEAKS ISLAND

MAINE

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SHEET TITLE:
SECTIONS AND DETAILS
S2 of 3



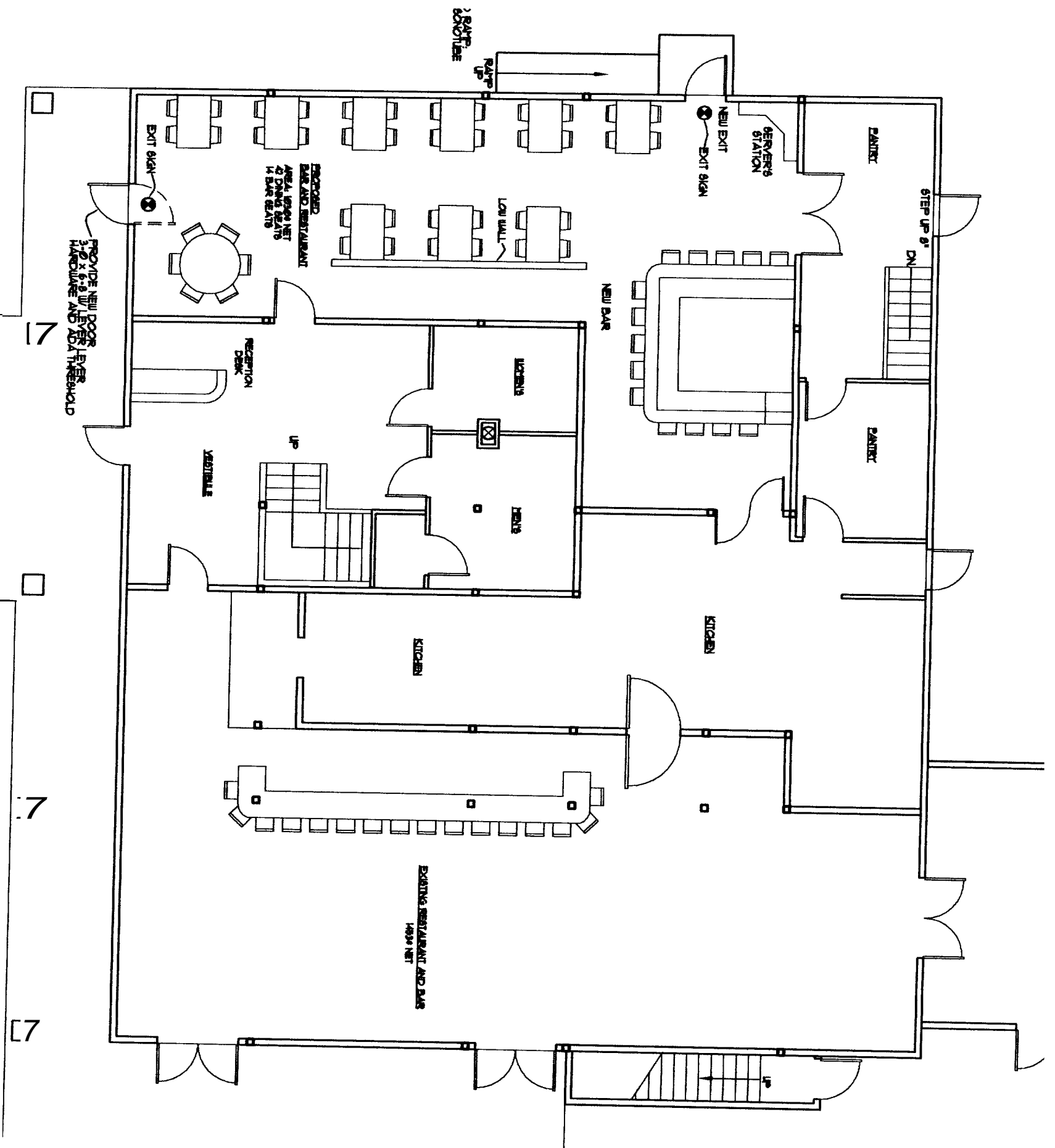
GENERAL NOTES

- STRUCTURAL DESIGN GENERAL**
- BUILDING CODE: 1991 EDITION OF THE BOCA NATIONAL BUILDING CODE
 - SNOW:
 - GROUND SNOW LOAD = 60 PSF
 - IMPORTANCE FACTOR, I = 1.0
 - EXPOSURE FACTOR, Ce = 0.7
 - FLAT ROOF SNOW LOAD = 24 PSF
 - ROOF DEAD LOAD = 18 PSF
 - FLOOR LOADS:
 - DEAD LOAD = 10 PSF
 - LIVE LOAD = 50 PSF
- STRUCTURAL STEEL NOTES - GENERAL**

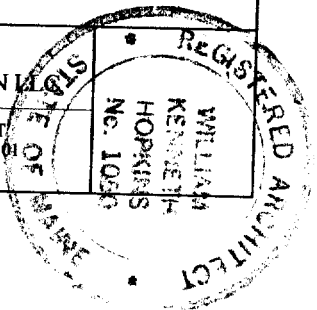
WOOD FINISHING NOTES

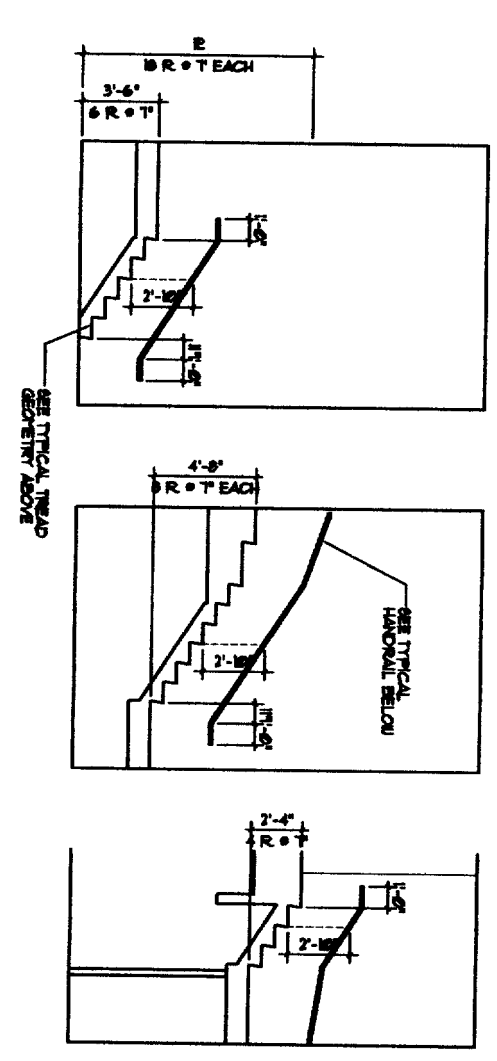
	<p>THE PEAKS ISLAND INN ATTIC RENOVATION</p>	DRN BY: PHF CHK'D BY: TGS DATE: OCTOBER 14, 2004 SCALE: AS NOTED JOB NO.: 2004-432	<p>This Drawing is Issued:</p> <p><input type="checkbox"/> Not For Construction <input checked="" type="checkbox"/> For Construction</p> <p>Current Revision</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	DATE	DESCRIPTION			
	#	DATE	DESCRIPTION						
SHEET TITLE: DETAILS AND NOTES S3 of 3	PEAKS ISLAND MAINE								

1 2ND FLOOR PLAN
EXISTING AND FLOOR AREA 4600



A0	2ND FLR. PLAN	Date 9/22/04	Scale see drawing	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Project PEAKS ISLAND INN PEAKS ISLAND PORTLAND, MAINE	Owner ISLAND AQUISITION 46 NEWBURY STREET PORTLAND, MAINE 04101
		Drawn By: 10-22-04	Checked By:			

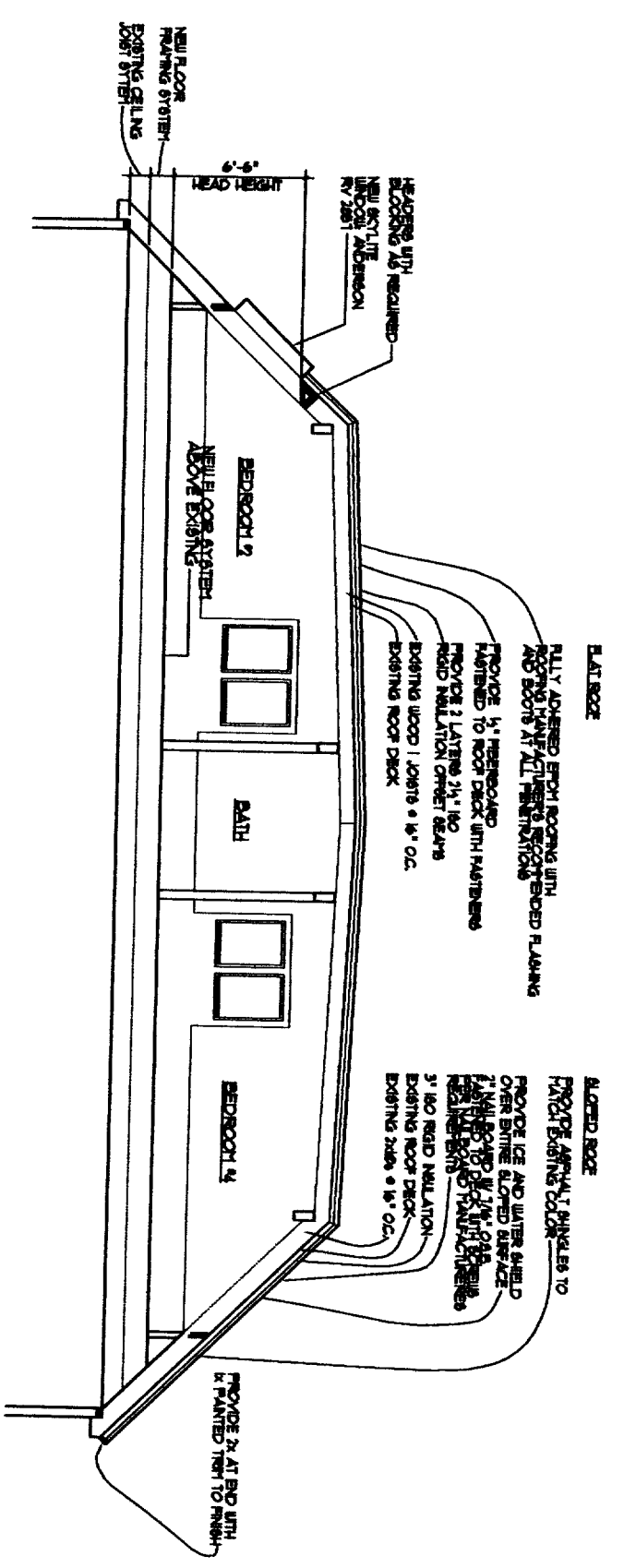




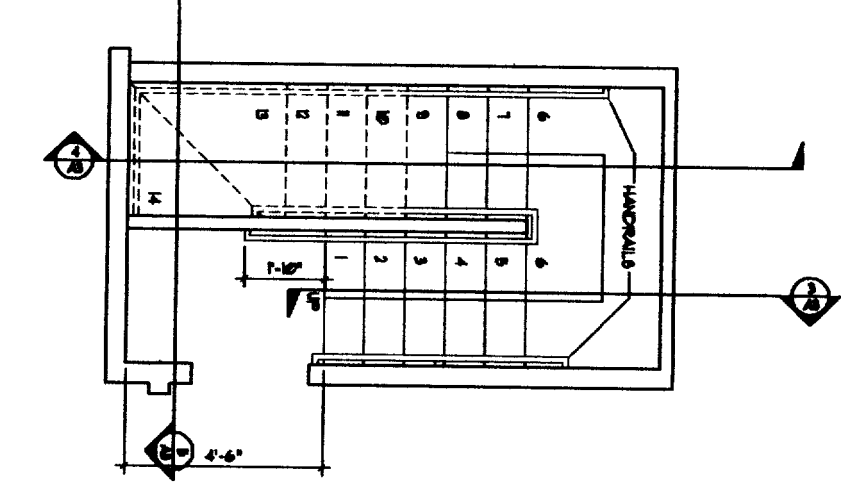
3 STAIR SECTION/ELEVATION
1/4" = 1'-0"

4 STAIR SECTION/ELEVATION
1/4" = 1'-0"

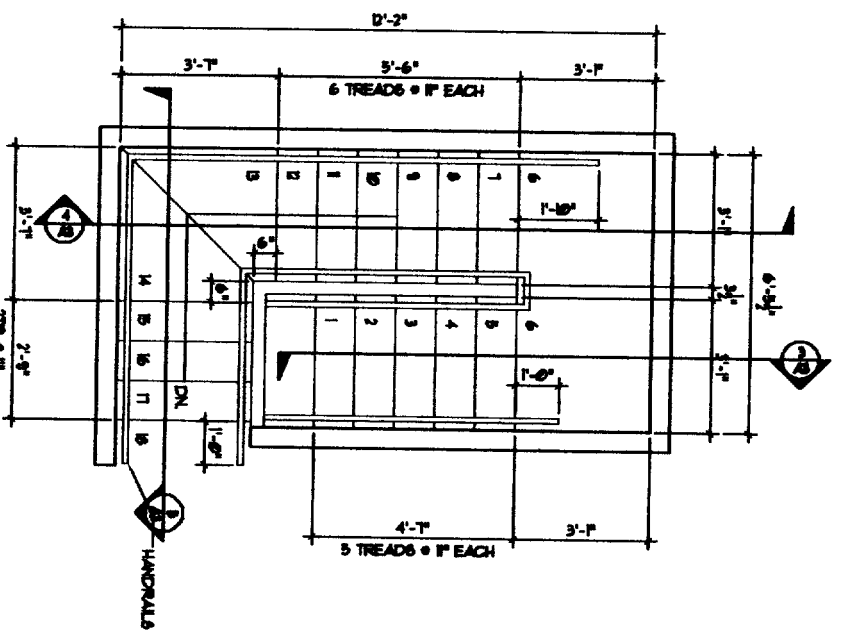
5 STAIR SECTION/ELEVATION
1/4" = 1'-0"



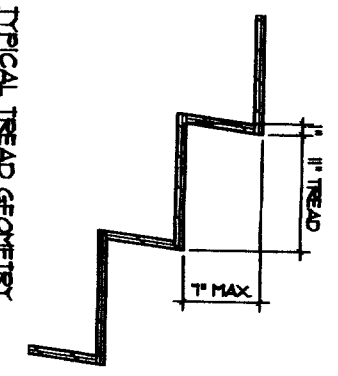
7 BUILDING SECTION AT THIRD FLOOR
1/4" = 1'-0"



1 STAIR PLAN • SECOND FLOOR
1/4" = 1'-0"



2 STAIR PLAN • THIRD FLOOR
1/4" = 1'-0"



TYPICAL HANDRAIL

TYPICAL TREAD GEOMETRY

6 STAIR DETAILS
1/4" = 1'-0"

8 ROOF PLAN
1/4" = 1'-0"

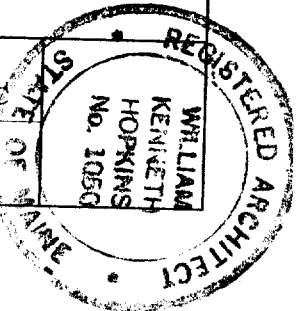
SECTION & DETAILS

Date	9/22/04	Scale	see drawing
Drawn By:		Checked By:	
Revisions:	10-22-04		

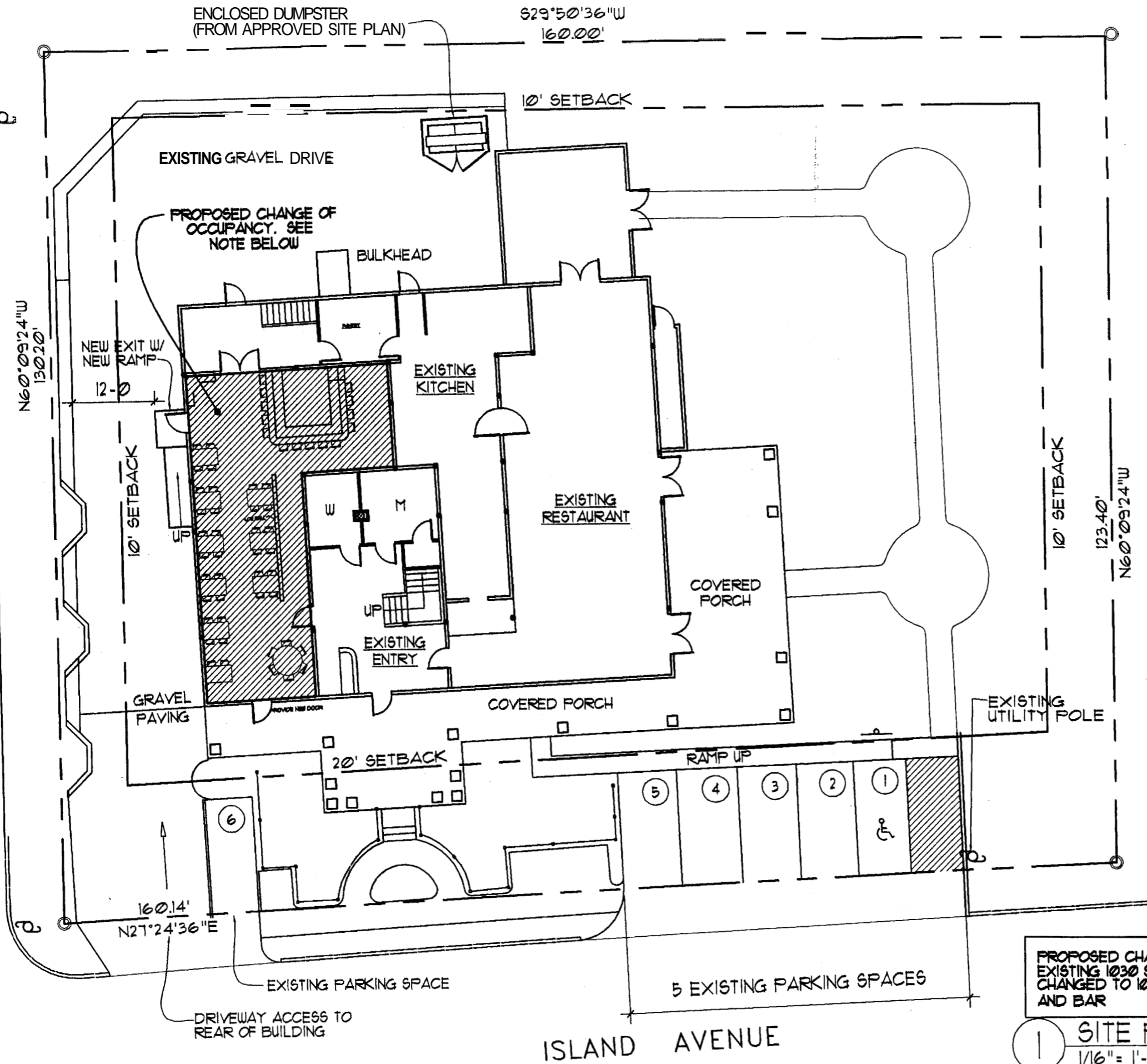
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project
PEAKS ISLAND INN
PEAKS ISLAND
PORTLAND, MAINE

Owner
ISLAND AQUISITION LLC
46 NEWBURY STREET
PORTLAND, MAINE 04101



WELCH STREET



THE PEAKS ISLAND INN:
 LOT SIZE: 20,288*
 FOOTPRINT: 4,802*
 EXISTING BUILDING AREA: 9,604*
 PROPOSED BUILDING AREA: 12,036*

EXISTING AREAS BY USE
 RESTAURANT AND BAR 1826*
 KITCHEN 962*
 HARDWARE STORE 1030*
 LODGING 5094* (6 ROOMS)
 INNKEEPERS APARTMENT 608*

PROPOSED AREAS BY USE
 RESTAURANT AND BAR 2856*
 KITCHEN 962*
 LODGING 5094* (6 ROOMS)
 INNKEEPERS APARTMENT 3040*

OFF STREET PARKING REQUIREMENTS:
 PREVIOUS PERMIT REQUIRED NO PARKING FOR THIS BUILDING

PARKING REQUIRED FOR ADDITIONAL 1030* RESTAURANT AND BAR:
 1030 / 150 X 25 = LT2 = 2 CARS
 2 SPACES REQUIRED AND PROVIDED BUILDING IMPROVEMENTS CITY OF PORTLAND
 (NOTE: 6 EXISTING SPACES)

RECEIVED
 OCT 28 RECD
 PORTLAND PLANNING OFFICE

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10/01/07

PROPOSED CHANGE OF OCCUPANCY:
 EXISTING 1030 SF. HARDWARE STORE
 CHANGED TO 1030 SF. OF RESTAURANT
 AND BAR

1 SITE PLAN WITH FIRST FLOOR
 1/16" = 1'-0"

Owner:
 ISLAND ACQUISITION LLC
 46 NEWBURY STREET
 PORTLAND, MAINE 04101

Project:
 PEAKS ISLAND INN
 PEAKS ISLAND
 PORTLAND, MAINE

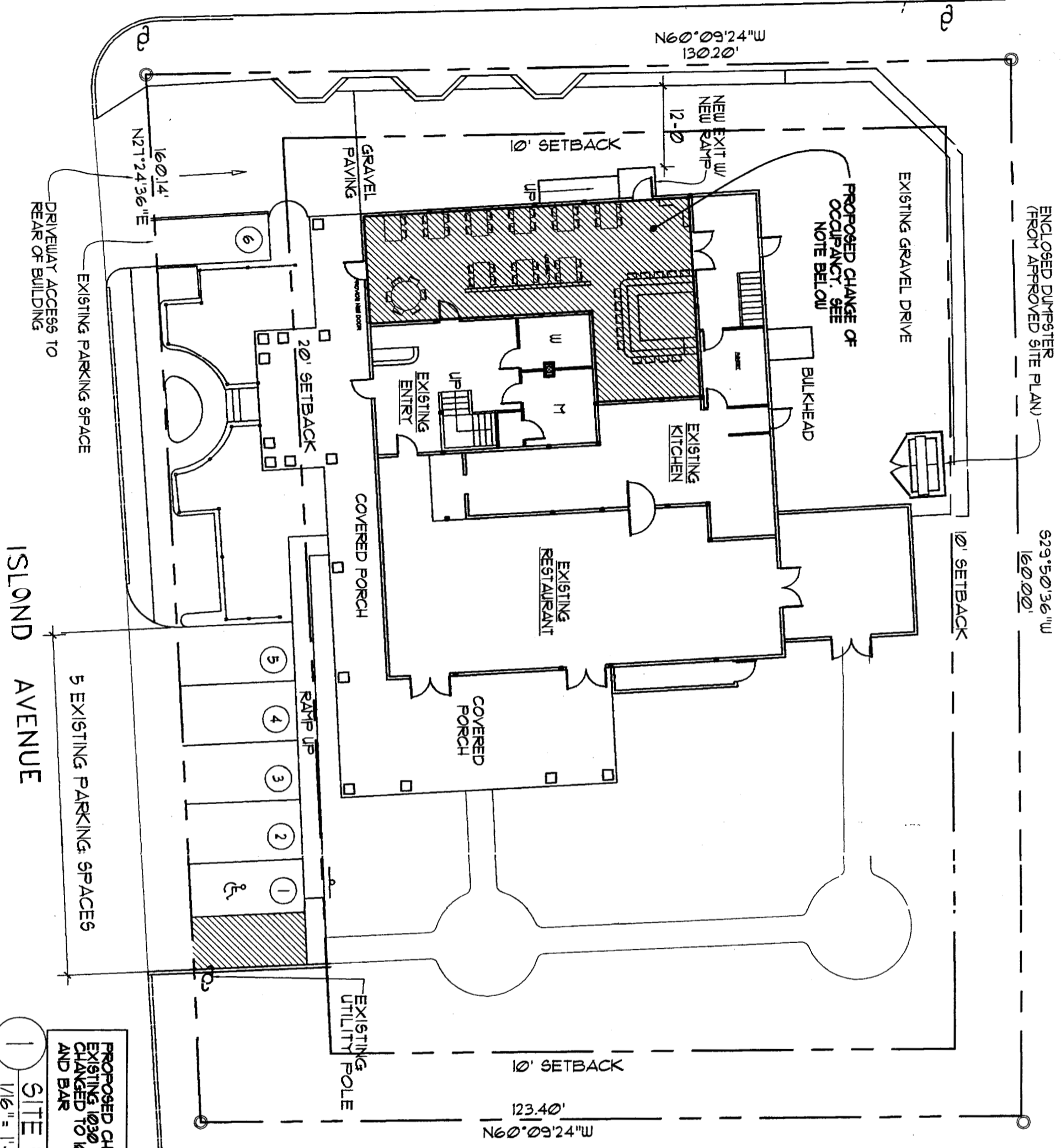
ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf, Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Date	9/20/04
Drawn By	Revisions
10/15/04	10/26/04
Scale	see drawing
Checked By:	

SITE DESIGN
 AND
 FIRST FLOOR PLAN

SD1

WELCH STREET



ENCLOSED DUMPSTER
(FROM APPROVED SITE PLAN)
629'50"36" W
160'00"

ISLAND AVENUE
5 EXISTING PARKING SPACES

1 SITE PLAN WITH FIRST FLOOR
1/16" = 1'-0"

THE PEAKS ISLAND INN:
 LOT SIZE: 20289'
 FOOTPRINT: 4802'
 EXISTING BUILDING AREA: 9604'
 PROPOSED BUILDING AREA: 12036'

EXISTING AREAS BY USE:
 RESTAURANT AND BAR 1026'
 KITCHEN 962'
 HARDWARE STORE 1030'
 LODGING 5094' (6 ROOMS)
 INKEEPERS APARTMENT 609'

PROPOSED AREAS BY USE:
 RESTAURANT AND BAR 2056'
 KITCHEN 962'
 LODGING 5094' (6 ROOMS)
 INKEEPERS APARTMENT 3040'

OFF STREET PARKING REQUIREMENTS:
 PREVIOUS PERMIT REQUIRED NO PARKING FOR THIS BUILDING

PARKING REQUIRED FOR ADDITIONAL 1030' RESTAURANT AND BAR:
 1030 / 50 X 25 = 172.2 CARS
 2 SPACES REQUIRED AND PROVIDED (NOTE: 6 EXISTING SPACES)

RECEIVED
 OCT 28 RECD
 PORTLAND PLANNING OFFICE
 NOV 15 2004

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11/01/04

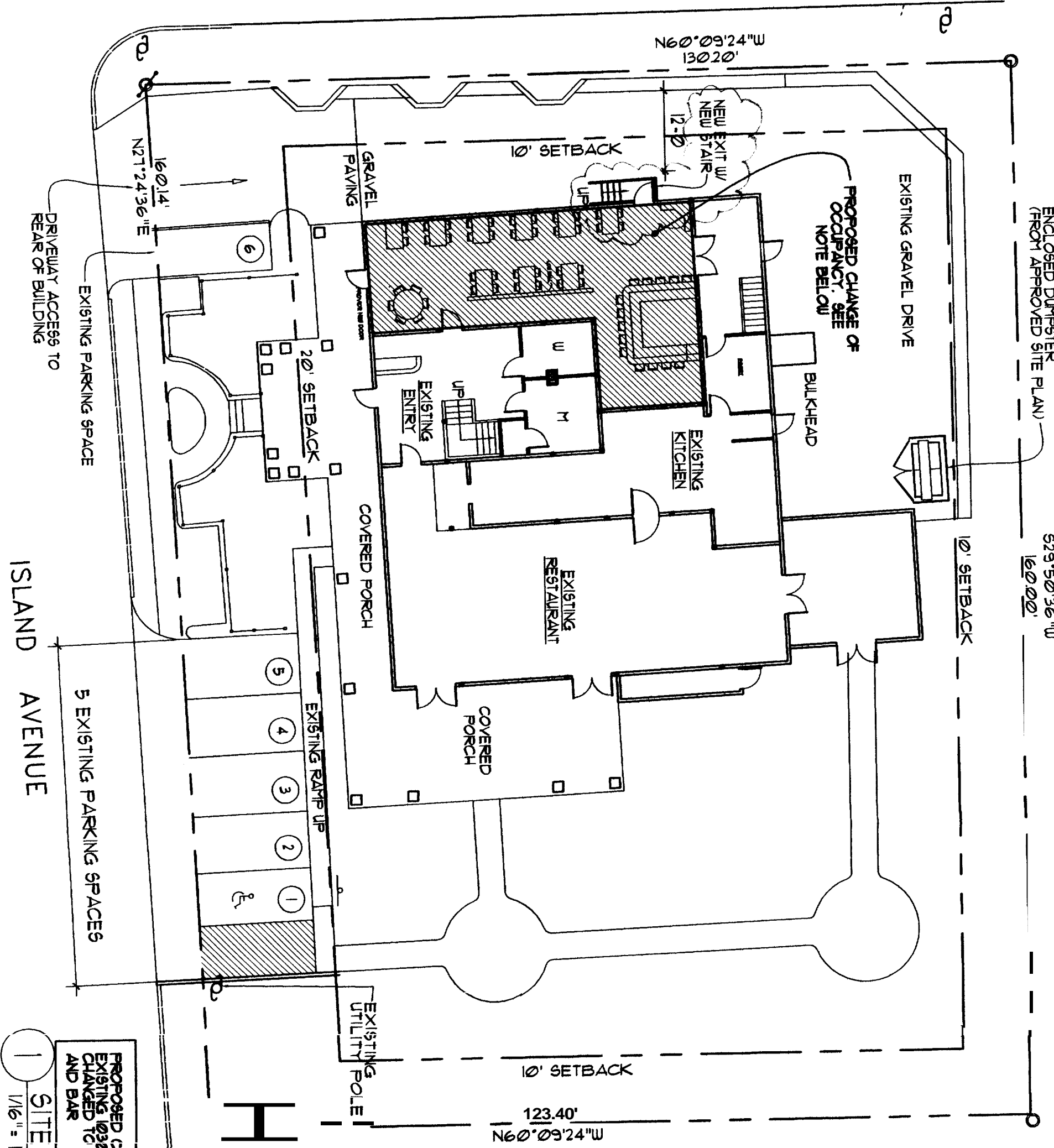
PROPOSED CHANGE OF OCCUPANCY:
 EXISTING 1030 SF. HARDWARE STORE
 CHANGED TO 1030 SF. OF RESTAURANT
 AND BAR

04-1601
 084-L-007

<p>SD1</p> <p>SITE DESIGN AND FIRST FLOOR PLAN</p>	<p>Date: 9/30/04</p> <p>Drawn By: 10/15/04</p> <p>Revisions: 10/26/04</p>	<p>ARCHETYPE, P.A. ARCHITECTS</p> <p>48 Union Wharf Portland, Maine 04101</p> <p>(207) 772-6022 Fax (207) 772-4056</p>	<p>Project:</p> <p>PEAKS ISLAND INN PEAKS ISLAND PORTLAND, MAINE</p>	<p>Owner:</p> <p>ISLAND AQUISITION LLC</p> <p>46 NEWBURY STREET PORTLAND, MAINE 04101</p>
	<p>Checked By:</p>	<p>see drawing</p>	<p>NOV 15 2004</p>	

#2004-0201 - 133 ISLAND AVENUE

WELCH STREET



ENCLOSED DUMPSTER
(FROM APPROVED SITE PLAN)

529'50"36" W
160'00"

PROPOSED CHANGE OF
OCCUPANCY. SEE
NOTE BELOW

PROPOSED CHANGE OF OCCUPANCY:
EXISTING 1030 SF. HARDWARE STORE
CHANGED TO 1030 SF. OF RESTAURANT
AND BAR

1 SITE PLAN WITH FIRST FLOOR
1/16" = 1'-0"

THE PEAKS ISLAND INN:
LOT SIZE: 20,260±
FOOTPRINT: 4,902±
EXISTING BUILDING AREA: 9604±
PROPOSED BUILDING AREA: 12,036±

EXISTING AREAS BY USE:
RESTAURANT AND BAR 1026±
KITCHEN 962±
HARDWARE STORE 1030±
LODGING 5094± (6 ROOMS)
NKEEPERS APARTMENT 600±

PROPOSED AREAS BY USE:
RESTAURANT AND BAR 2036±
KITCHEN 962±
LODGING 5094± (6 ROOMS)
NKEEPERS APARTMENT 3040±

ONE STREET PARKING REQUIREMENTS:
PREVIOUS PERMIT REQUIRED NO PARKING FOR
THIS BUILDING

**PARKING REQUIRED FOR ADDITIONAL 1030±
RESTAURANT AND BAR:**
1030 / 50 X 25 = 172 = 2 CARS
2 SPACES REQUIRED AND PROVIDED
(NOTE: 6 EXISTING SPACES)

SDI	SITE DESIGN AND FIRST FLOOR PLAN	Date: 9/30/04 Drawn By: 10/15/04 Revisions: 10/26/04 12/14/04	Scale: see drawing Checked By:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207)772-6022 Fax (207) 772-4056	Project: PEAKS ISLAND INN PEAKS ISLAND PORTLAND, MAINE	Owner: ISLAND ACQUISITION LLC 46 NEWBURY STREET PORTLAND, MAINE 04101

