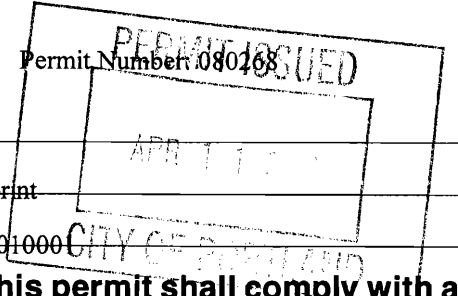


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached



This is to certify that DEBELLIS SUSAN V & MARK F JTS/John Kiely
has permission to Remove existing deck & replace the existing stairs within the existing footprint

AT 11 OAKLAND AVE City 084 C01000

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is leased or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 4/11/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

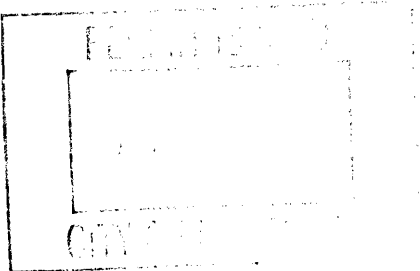
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0268	Issue Date:	CBL: 084 C010001
-----------------------	-------------	---------------------

Location of Construction: 11 OAKLAND AVE, Peaks Island	Owner Name: DEBELLIS SUSAN V & MARK F	Owner Address: 2006 COUNTRYCLUB DR	Phone:
Business Name:	Contractor Name: John Kiely	Contractor Address: 591 Island Ave Peaks Island	Phone: 2077662026
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IR-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Remove existing deck (never permitted) & replace the existing stairs within the existing footprint	Permit Fee: \$50.00	Cost of Work: \$2,200.00	CEO District: 1
Proposed Project Description: Remove existing deck & replace the existing stairs within the existing footprint		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied		INSPECTION: Use Group: R-3 Type: SB
		Signature: <i>N/A</i>		Signature: <i>IRC 2003</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 03/25/2008	Zoning Approval
-------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>f/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: 4/11/08 <i>AK</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>AKM</i> Date:
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 OAKLAND AVE PEAKS ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>324 SQ FT</u>		Square Footage of Lot <u>4490 SQ FT</u>
Tax Assessor's Chart, Block & Lot Chart# <u>084</u> Block# <u>C010</u> Lot# <u>001</u>	Applicant * must be owner, Lessee or Buyer * Name <u>MARK DeBELLIS</u> Address <u>11 OAKLAND AVE</u> City, State & Zip <u>PEAKS ISLAND ME 04108</u>	Telephone: _____
Lessee/DBA (If Applicable) <u>MAR 26 2008</u>	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>2200. -</u> C of O Fee: \$ _____ Total Fee: \$ <u>41. -</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY SEASONAL</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME AS ABOVE</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>REPLACE OLD DECK AND STAIRS</u> <u>DEMO EXISTING DECK & REBUILD EXISTING STAIRS</u> <u>TO FOOT PRINT</u>		
Contractor's name: <u>JOHN KIELY</u> Address: <u>591 ISLAND AVE</u> City, State & Zip <u>PEAKS ISLAND ME. 04108</u> Telephone: <u>766 2026</u> Who should we contact when the permit is ready: <u>ABOVE</u> Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: _____	Date: _____
------------------	-------------

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0268	Date Applied For: 03/25/2008	CBL: 084 C010001
------------------------------	--	----------------------------

Location of Construction: 11 OAKLAND AVE	Owner Name: DEBELLIS SUSAN V & MARK F	Owner Address: 2006 COUNTRYCLUB DR	Phone:
Business Name:	Contractor Name: John Kiely	Contractor Address: 591 Island Ave Peaks Island	Phone (207) 766-2026
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Remove existing deck (never permitted) & replace the existing stairs within the existing footprint	Proposed Project Description: Remove existing deck & replace the existing stairs within the existing footprint
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 04/11/2008

Note: Original permit application was to replace the existing deck and add on to it. The existing deck was never permitted and neither the existing deck or the proposed deck could be permitted because it did not meet lot coverage. See letter. Application has now been revised to bring the building into compliance. **Ok to Issue:**

- 1) This permit is being issued with the condition that the stairs will be rebuilt within the existing footprint.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 04/11/2008

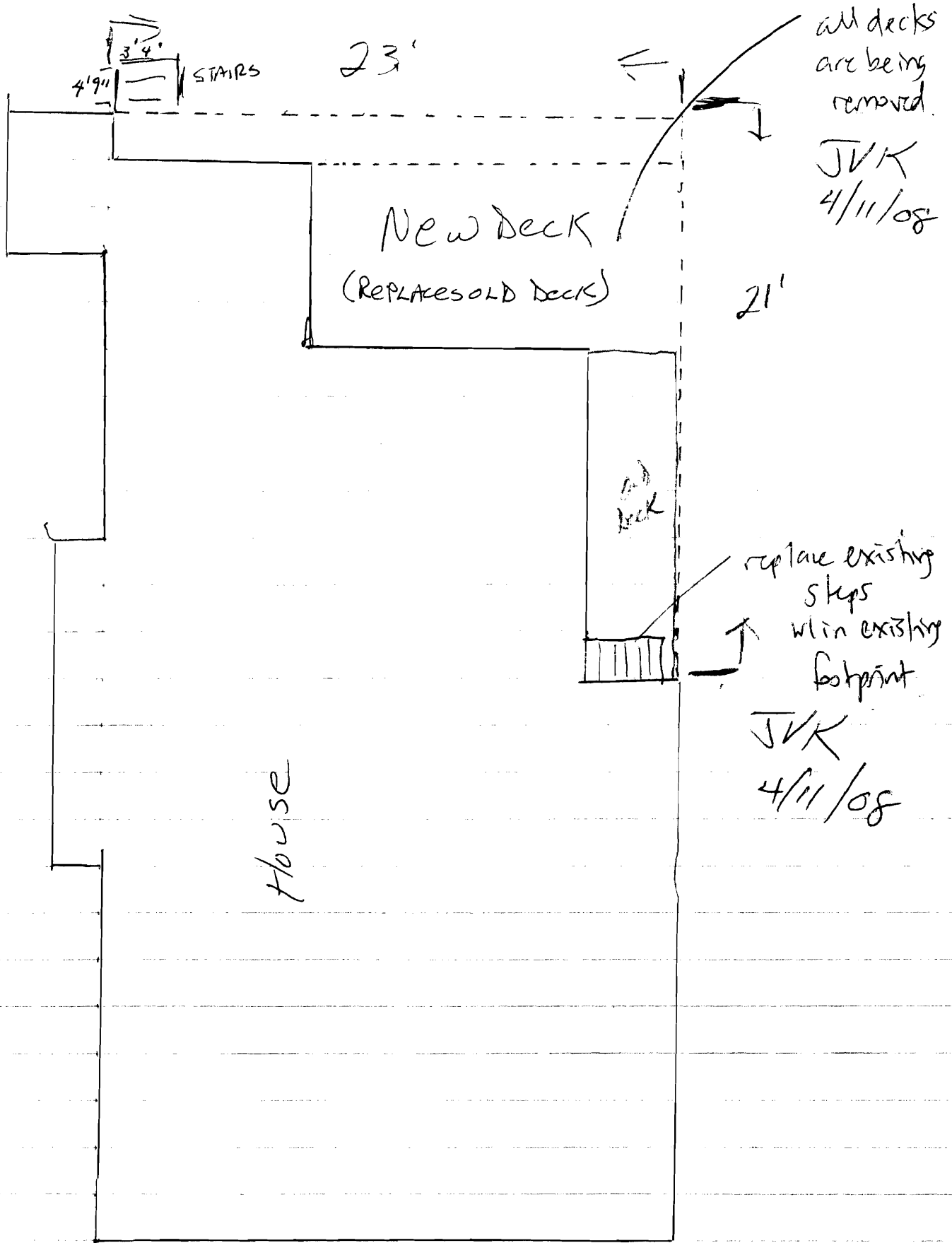
Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:

3/31/2008-amachado: Existing deck never permitted. Structure without the deck already exceeds lot coverage. Rear setback is close. See letter.

4/3/2008-amachado: Spoke to Mark DeBellis. He will not appeal. He will have John Kiely come in and get a permit to remove the existing deck and rebuild the existing stairs underneath within the existing footprint. We will need a picture of the existing stairs and the dimensions.



DOBELLIS
11 OAKLAND RD.
PEAKS ISLAND

REPLACEMENT STAIRS

3- 2x12 STRINGERS

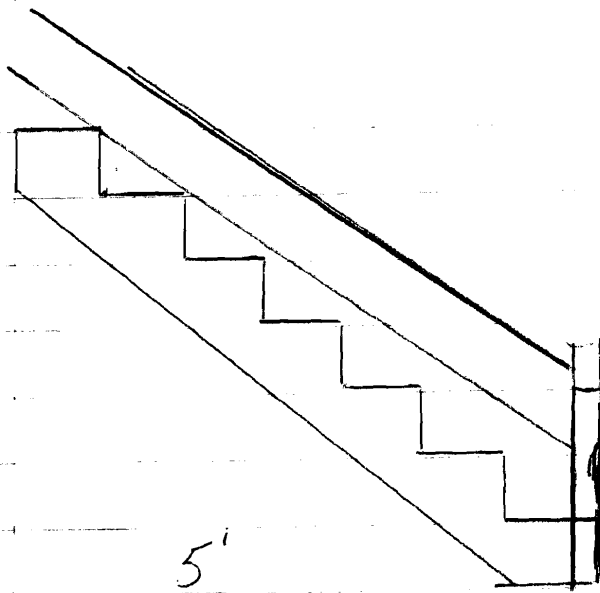
TREADS - 1x4 MATTING

Rise $7\frac{1}{4}$

Run 10"

4x4 POST

2x3 HAND RAIL



STAIRS WILL BE PLACED WHERE OLD STAIRS
WERE

HANDRAIL WILL BE CONNECTED TO HOUSE
FROM 4x4 POST AT BOTTOM OF STAIRS

NO OPEN RISERS

RAILS SPACED NO MORE THAN 4"

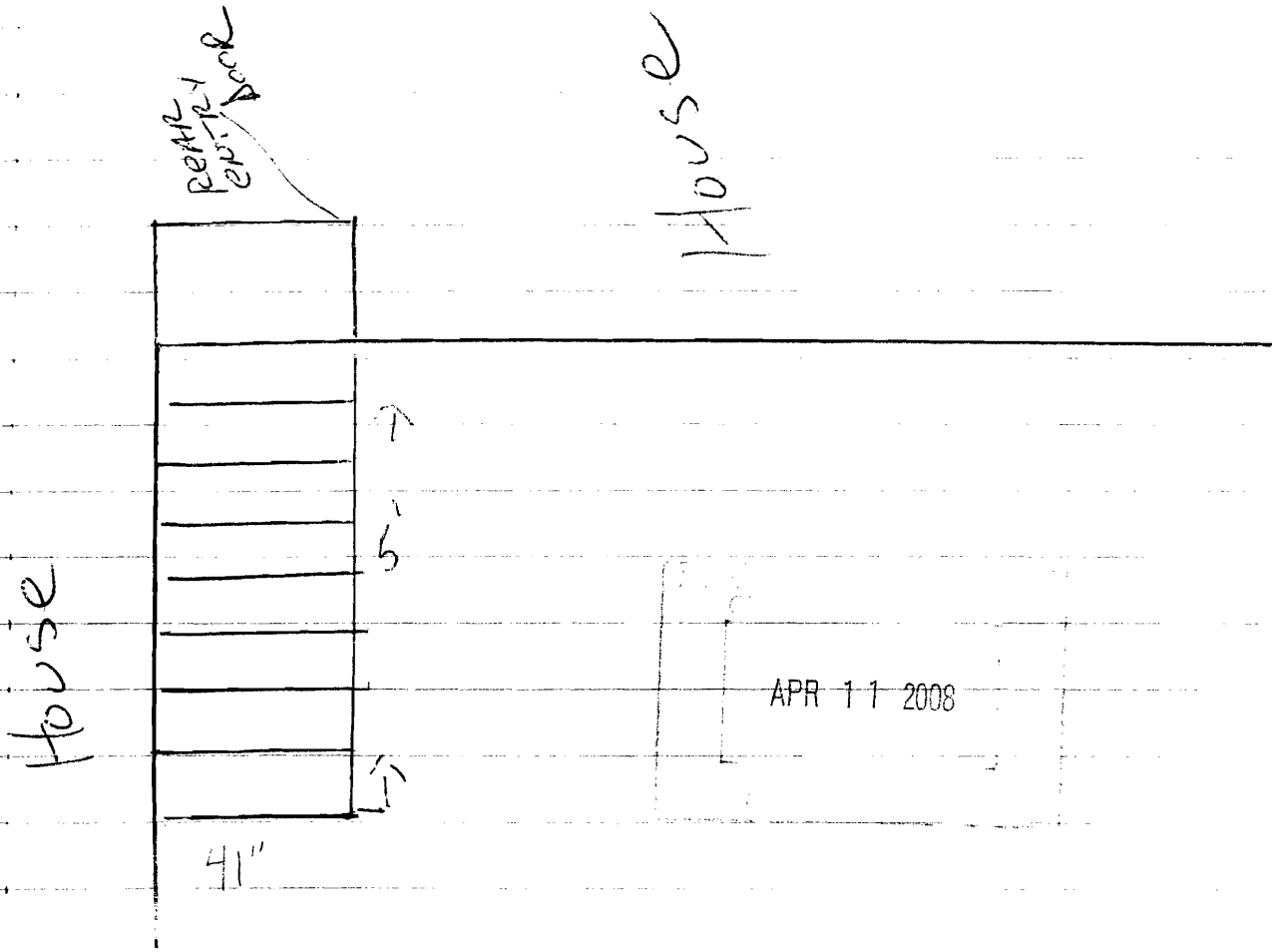
DEISCELLI'S
11 OAKLAND RD
PEAKS ISLAND

EXISTING STAIRS COVERED BY DECK

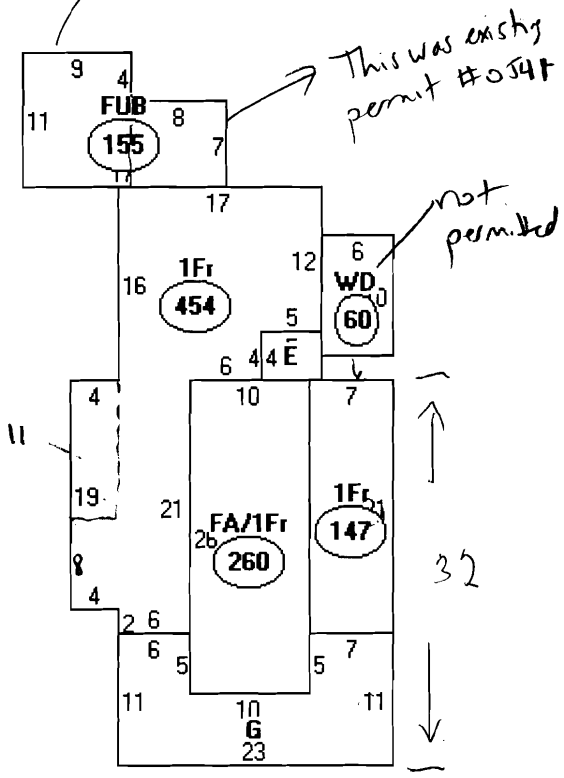
Rise is $7\frac{1}{4}$ "

Run is $9\frac{1}{2}$ "

NO EXISTING HAND RAIL



permitted - July 6 1979
D541



- Descriptor/Area
- A: FA/1Fr
260 sqft
 - B: 1Fr
454 sqft
 - C: FUB
155 sqft
 - ~~D: WD
60 sqft~~ not permitted
 - E: OFP
20 sqft
 - F: 1Fr
147 sqft
 - G: EP
203 sqft

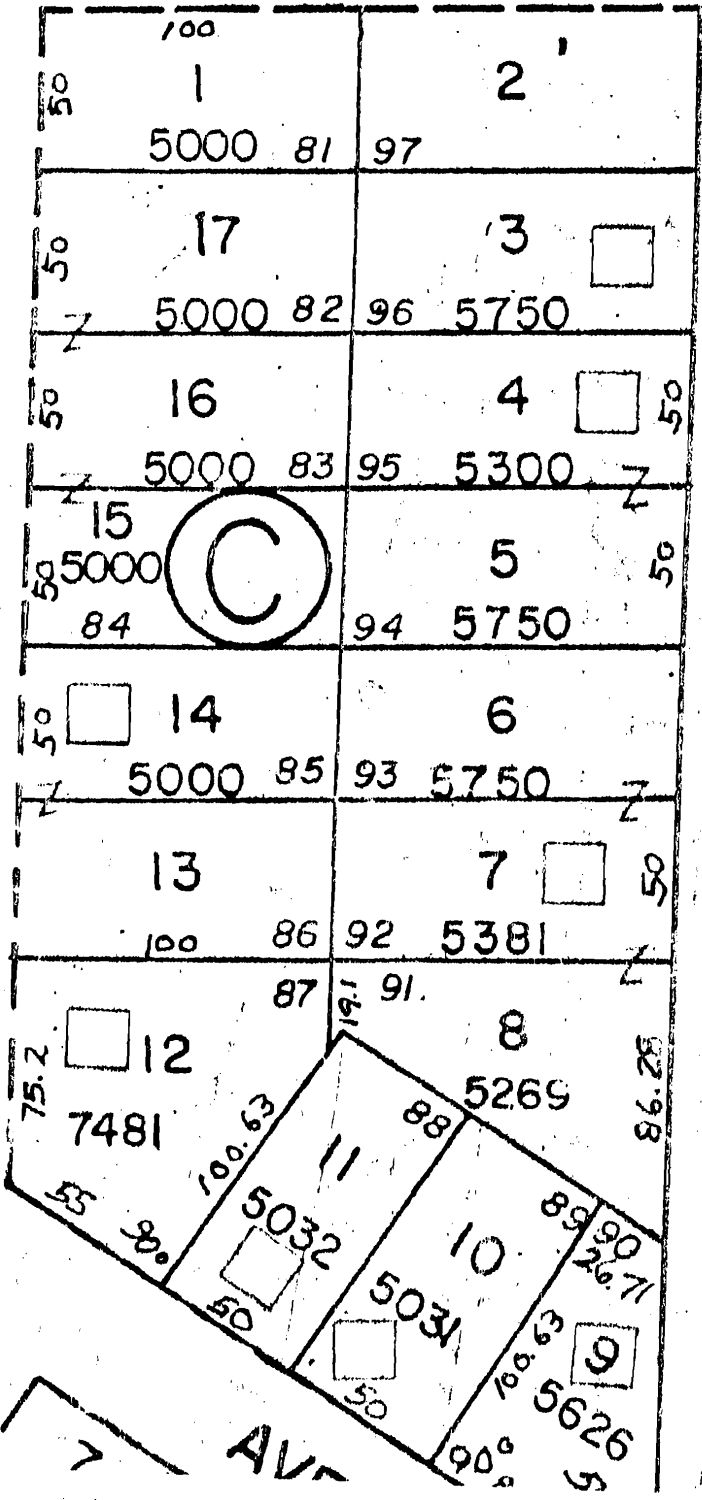
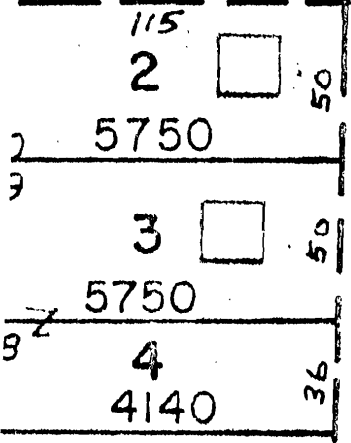
existing
123 sq #

84-c-10

SHEET 85-D

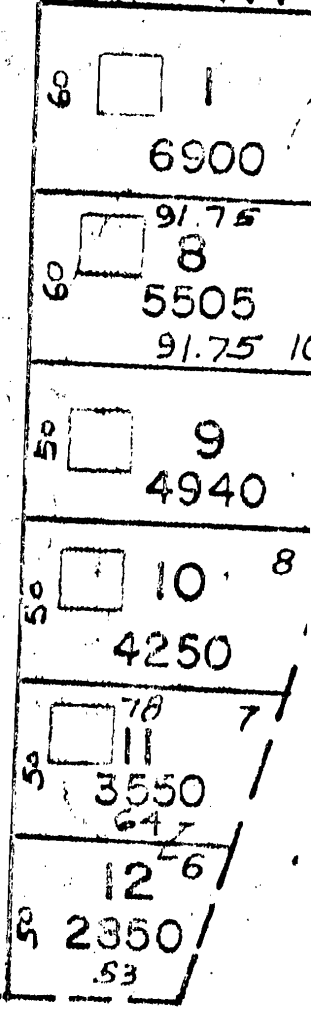
ARD

STREET

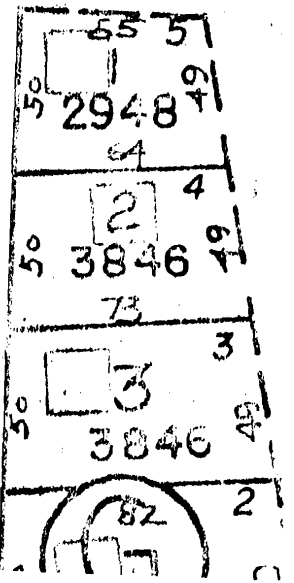


AVENUE

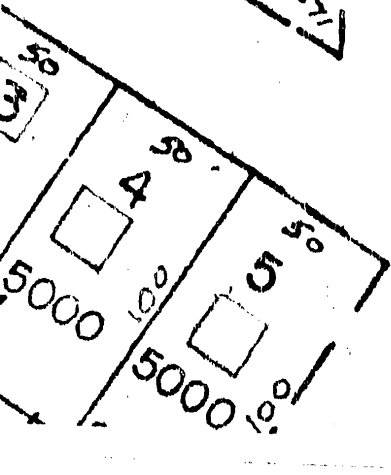
RY



SHORT



WD



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	084 C010001
Location	11 OAKLAND AVE
Land Use	SEASONAL
Owner Address	DEBELLIS SUSAN V & MARK F JTS 2006 COUNTRYCLUB DR EUSTIS FL 32726
Book/Page	15828/154
Legal	84-C-10 OAKLAND AVE PEAKS ISLAND 5031 SF

Current Assessed Valuation

Land	Building	Total
\$157,400	\$66,600	\$224,000

Property Information

Year Built 1900	Style Cottage	Story Height 1	Sq. Ft. 926	Total Acres 0.115		
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 5	Attic Part Finsh	Basement Pier/slab	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type	Price	Book/Page
11/03/2000	LAND + BLDING	\$125,000	15828-154
08/20/1999	LAND + BLDING	\$117,500	14992-258
08/01/1996	LAND + BLDING	\$72,000	12644-164

Picture and Sketch

<u>Picture</u>	<u>Sketch</u>	<u>Tax Map</u>
--------------------------------	-------------------------------	--------------------------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

YEAR 19

YEAR 19

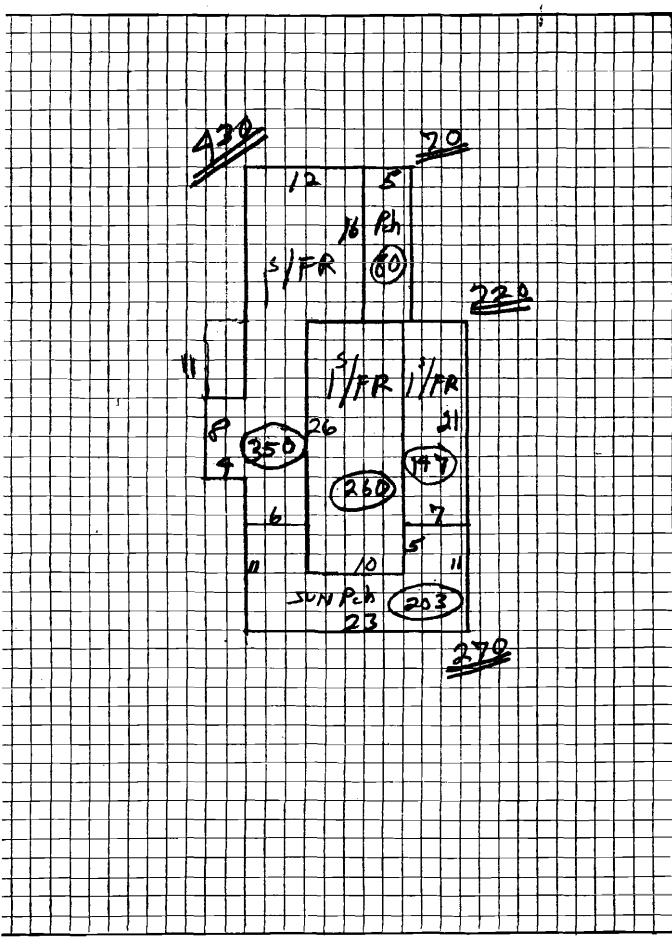
1951

CONSTRUCTION

FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST		BATHROOM	
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM	
BRICK OR STONE		MILL TYPE		WATER CLOSET	✓
PIERS	✓	REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	✓	FLOOR FINISH		KITCHEN SINK	✓
1/4 1/2 3/4			B 1 2 3	STD. WAT. HEAT	
NO. CELLAR		CEMENT		AUTO. WAT. HEAT	
EXTERIOR WALLS		EARTH	✓	ELECT. WAT. SYST.	
CLAPBOARDS		PINE	✓	LAUNDRY TUBS	
WIDE SIDING	✓	HARDWOOD		NO PLUMBING	
DROP SIDING		TERRAZZO		TILING	
NO SHEATHING		TILE		BATH FL. & WCOT.	
WOOD SHINGLES		ATTIC FLR. & STAIRS		TOILET FL. & WCOT.	
ASBES. SHINGLES		INTERIOR FINISH		LIGHTING	
STUCCO ON FRAME			B 1 2 3	ELECTRIC	✓
STUCCO ON TILE		PINE	✓	NO LIGHTING	
BRICK VENEER		HARDWOOD		NO. OF ROOMS	
BRICK ON TILE		PLASTER		BSMT.	2ND 2
SOLID BRICK		UNFINISHED		1ST 6	3RD
STONE VENEER		METAL CLG.		OCCUPANCY	
CONC. OR CIND. BL.		TERRAZZO		SINGLE FAMILY	✓
TERRAZZO		PINE BRD	✓	TWO FAMILY	
VITROLITE		RECREAT. ROOM		APARTMENT	
PLATE GLASS		FINISHED ATTIC	✓	STORE	
INSULATION		FIREPLACE	✓	THEATRE	
WEATHERSTRIP		HEATING		HOTEL	
ROOFING		PIPELESS FURNACE		OFFICES	
ASPH. SHINGLES	✓	HOT AIR FURNACE		WAREHOUSE	
WOOD SHINGLES		FORCED AIR FURN.		COMM. GARAGE	
ASBES. SHINGLES		STEAM		GAS STATION	
SLATE TILE		HOT WAT. OR VAPO.		ECONOMIC CLASS	
METAL		NO HEATING	✓	OVER BUILT	
COMPOSITION		GAS BURNER		UNDER BUILT	
ROLL ROOFING		OIL BURNER		DT. 819	AR. 30
INSULATION		STOKER		LD. 13	PD. 30
				MS. 12	CK.

COMPUTATIONS

UNIT	1951			
260 S. F.	1090			
S. F.				
ADDITIONS	+990			
F.D.T.	-110			
BASEMENT	+110			
WALLS				
ROOF				
FLOORS	-40			
ATTIC	+120			
FINISH	-110			
FIREPLACE	+190			
HEATING				
PLUMBING	+70			
TILING				
TOTAL	2240			
FACT.				
REP. VAL.	2240			



SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.
cottage	A 1/2 FR	DC	50 ²		F	2240	55%	1010	A	1010	600
	B								B		
	C								C		
	D								D		
	E								E		
	F								F		
	G								G		
YEAR	1951					1951 TOTAL BLDGS.		1010			
TAX VAL.	600								19		19
OLD VAL.									19		19
CHANGE									19		19

84-C-10

#0541

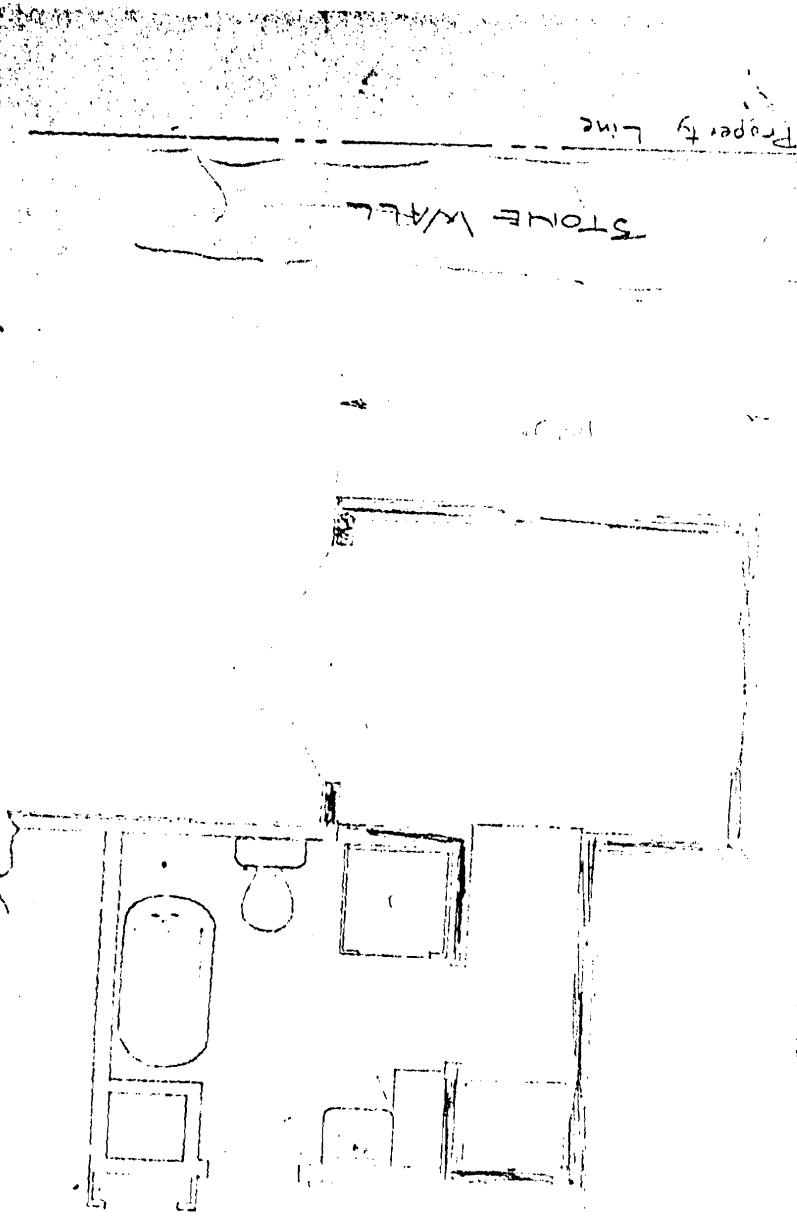
ISSUED JUL. 6, 1979

(890 acre land)

Can struct 8'x10' woodshed
attached to rear of dwelling

S ISLAND COTTAGE WORK SHED

P.L. ROCKWOOD
5/25/79



Rear.

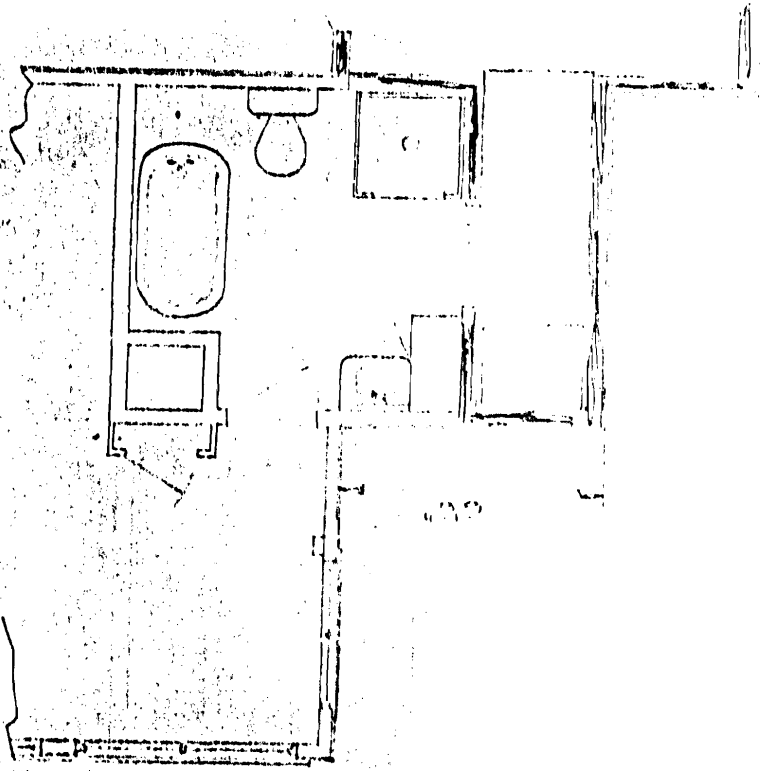
RECEIVED
 JUL 5 1979
 DEPT. OF BUILDINGS
 CITY OF PORTLAND

PLANNING DEPARTMENT

#0541

July 1979

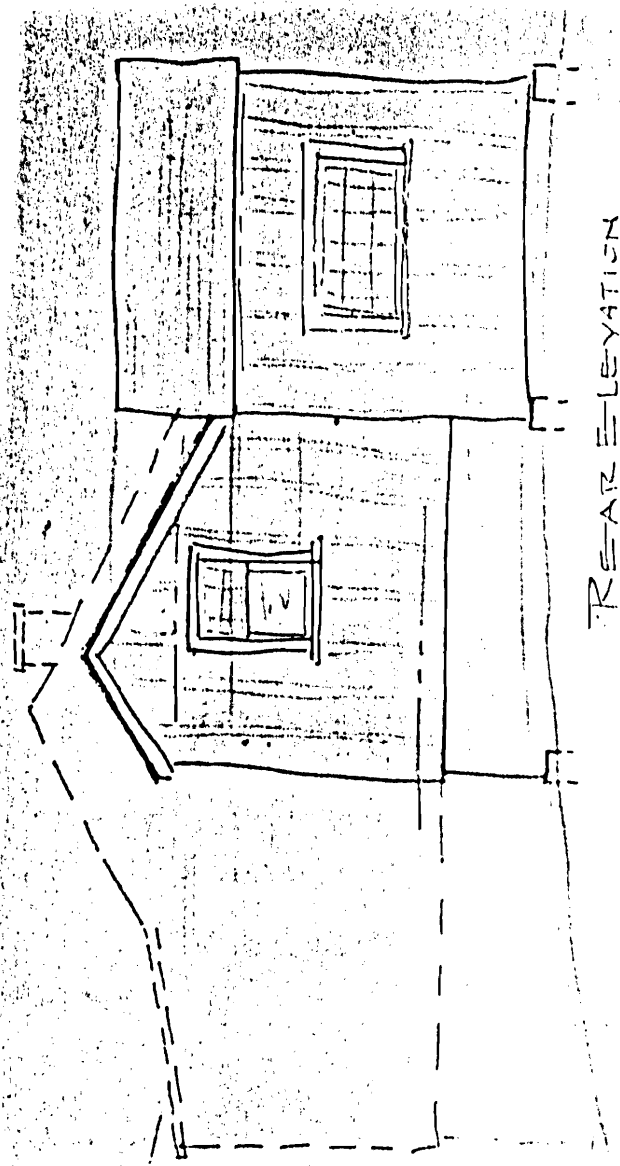
PEAKS ISLAND COF



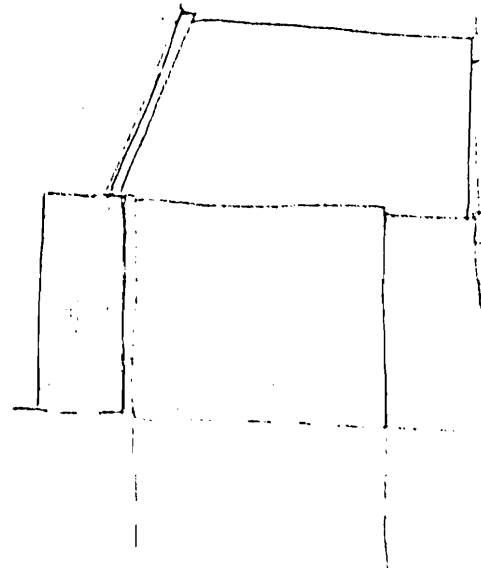
Bar.

REC
JUL

#0541
July 1979



REAR ELEVATION



RECEIVED
JUL - 5 1979
DEPT. OF BLDG. INS.P.
CITY OF PORTLAND



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

March 31, 2008

Mark & Susan DeBellis
2006 Countryclub Drive
Eustis, FL 32726

RE: 11 Oakland Avenue, Peaks Island – 084 C010 – IR-2 – rebuild deck – Permit #08- got dimensions 0268

Dear Mr. & Mrs. DeBellis,

I am in receipt of your application to replace your existing deck at your house at 11 Oakland Avenue, Peaks Island. In researching the files for your property, I cannot find any record of the deck ever being permitted. The most recent permit on file (#0541) was to add the eight foot, nine inch by ten foot, nine inch shed to the rear of the building in July of 1979. That is the only permit we have since the zoning ordinance went into effect in 1957. The deck does not show up on the pre-1957 assessor's card, so therefore the deck is not legal and you have no right to it. You must bring your property into compliance.

The existing deck cannot be permitted because it does not meet the requirements of the IR-2 zone. Section 14-145.11(d) of the ordinance states that the maximum lot coverage allowed in the IR-2 zone is twenty percent of the lot. Your lot is 5,031 square feet, so twenty percent of that is 1,006.6 square feet. The footprint of the permitted part of the building not including the deck is 1,239 square feet, so your building is already non-conforming to the maximum allowable lot coverage. You are not allowed to make your property more nonconforming. Also, it is not clear that the deck would meet the rear setback of twenty-five feet - section 14-145.11(c)(2). The plot plan shows that the rear setback to the deck is twenty-five feet, but the numbers show that the rear setback is just less than twenty-four feet (23.63) to the deck and the steps are closer to the rear property line.

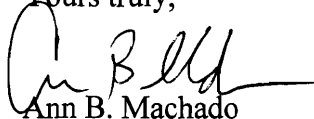
You have the right to appeal my decision. If you wish to exercise your right to appeal, you have thirty days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. I have enclosed the necessary paper work that is required to file an appeal. If you choose not to file an appeal, you are entitled to get most of your money back if you bring in the original receipt you got when you applied for the permit. If you chose not to appeal, then the existing deck must be removed within thirty days to bring the property into compliance.

30 day appeal period up - April 30, 2008

3/31/08 - spoke to Mark DeBellis. Told him deck not permitted. Couldn't permit it re: lot coverage. Told him he could appeal. He asked if stairs that still exist under deck could be rebuilt to have access to kitchen. I said it could confirm they were there! Could probably rebuild them. Told him patio was ok w/out permit.

Please feel free to call me at 874-8709 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "Ann B. Machado". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Ann B. Machado
Zoning Specialist
(207) 874-8709

FAX



To: Mark

Fax Number: 1-352-383-2361

From: Ann Machob

Fax Number:

Date: 3/31/08

Regarding: 11 Oakland Ave, Peaks Island - deck permit

Total Number Of Pages Including Cover: 7

Phone Number For Follow-Up: (207) 787-8709

Comments:

Call me if you have any questions.

Am

faxed letter ! practical difficulty appeal application

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>

IR-2

lot size 5031

lot coverage 20% = 1006.2 sq ft

front - 25 feet

rear - 25'

side - 20'

existing permitted structure = 1239 sq ft over lot coverage.

23.63' short.

25'±

25'±

decks not permitted over lot coverage

20'±

20'±

10'±

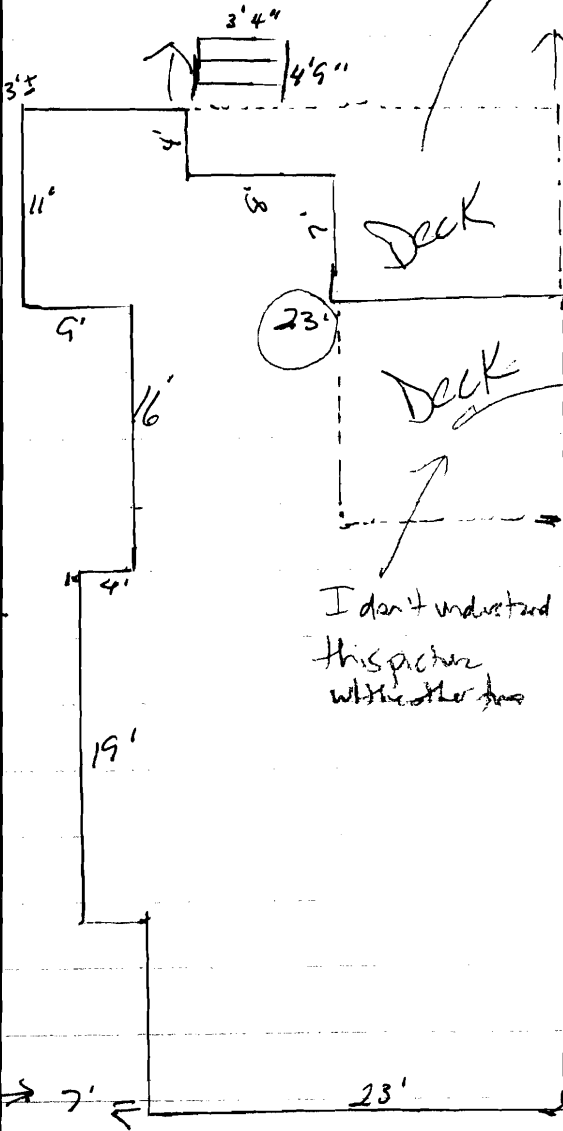
20'±

20'±

50'

have 57 sq ft
20
27

100.633



100.633' 11 OAKLAND AVE
PLOT PLAN 1" = 10'

Original application
Revised 4/11/08