

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1563	Issue Date:	CEL: 064 B008001
-----------------------	-------------	---------------------

Location of Construction: 39 Oakland Ave	Owner Name: Weidemann Adam	Owner Address: 74 Welch St	Phone:
---	-------------------------------	-------------------------------	--------

Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
----------------	---------------------------	---------------------------------	--------

Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Dwellings	Zone: IR-2
----------------------	--------	---	---------------

Part Use: Single family	Proposed Use: Single family remodel Kitchen, bath & enclose existing porch	Permit Fee:	Cost of Work: \$0.00	CEO District: 2	4,454 SF
----------------------------	---	-------------	-------------------------	--------------------	----------

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: SB IRC 2003	Signature:
--	------------

Proposed Project Description:
remodel Kitchen, bath & enclose existing porch

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: Martin	Date Applied For: 10/18/2004	Zoning Approval	
----------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Special District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	approved w/conditions for lot coverage remove steps Date: JMB 11/4/04		Date: JMB

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING DEPARTMENT

PERMIT

 Permit Number: 041003

This is to certify that Weidmann Adam /Owner N. 177 - 200
 has permission to remodel Kitchen, bath & remodel existing porch
 AT 39 Oakland Ave D&4 1108001 CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name _____

Jamie Foulke 11/4/04
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1563	Date Applied For: 10/18/2004	CBF: 084 B008001
-----------------------	---------------------------------	---------------------

Location of Construction: 39 Oakland Ave	Owner Name: Weidemann Adam	Owner Address: 74 Welch St	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single family remodel Kitchen, bath & enclose existing porch	Proposed Project Description: remodel Kitchen, bath, & enclose existing porch
---	--

Dept: Zoning Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 11/01/2004

Note: Ok to Issue:

- 1) The north side entry stairs must be removed in order to build the new front steps. The new front steps & the new south side entry step cannot exceed 26 sf. Sec. 14-425 allows the front steps to project a max. Of 6' into the required 25' setback.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 11/01/2004

Note: 11/1/04 spoke w/Adam W. About some framing details and plot plan conditions. He will submit details Ok to Issue:
11/4 received plans on stair/rail detail, ok to issue

- 1) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or heating.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>39 Oakland Ave., Peaks Island, ME 04108</u>		
Total Square Footage of Proposed Structure <u>998 SQFT</u>	Square Footage of Lot <u>4,454 SQFT</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>84</u> Block# <u>B</u> Lot# <u>8</u>	Owner: <u>Adam Weidemann</u> <u>39 Oakland Ave</u> <u>Peaks Island, ME 04108</u>	Telephone: <u>805-455-5840</u>
Lessee/Buyer's Name (If Applicable) <u>N.A.</u>	Applicant name, address & telephone: <u>same as owner</u>	Cost Of Work: <u>\$28,000</u> Fee: <u>\$273⁰⁰</u>
Current use: <u>Single Family</u>	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME <div style="border: 2px solid black; padding: 5px; display: inline-block;"> OCT 18 2004 RECEIVED </div>	
If the location is currently vacant, what was prior use: <u>N.A.</u>		
Approximately how long has it been vacant: <u>N.A.</u>		
Proposed use: <u>Single Family</u> Project description: <u>Remodel kitchen & Bath ; Enclose Porch (existing)</u>		
Contractor's name, address & telephone: <u>same as owner</u>		
Who should we contact when the permit is ready: <u>owner</u>		
Mailing address: <u>owner</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>455-5840</u> <u>805-5840</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Adam Weidemann</u>	Date: <u>17 oct 04</u>
---	------------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	084 0008003
Location	39 OAKLAND AVE
Land Use	STABLE FAMILY
Owner Address	WEIDENANN ADAM 74 WELCH ST PEAKS ISLAND ME 04101
Book/Page	20688/154
Legal	84-8-d OAKLAND AVE PEAKS ISLAND W59 SP

Valuation Information

Land	Building	Total
\$11,700	\$19,400	\$57,320

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1903	College	1	286	0.182	
Bedrooms	Full Baths	Half Baths	Total Rooms	Lotic	Neighbing
1	1		5	None	Front

Outbuildings

Type	Quantity	Year Built	Area	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
12/19/2003	LAND + BLDING	\$227,300	20688-154

Picture and Sketch

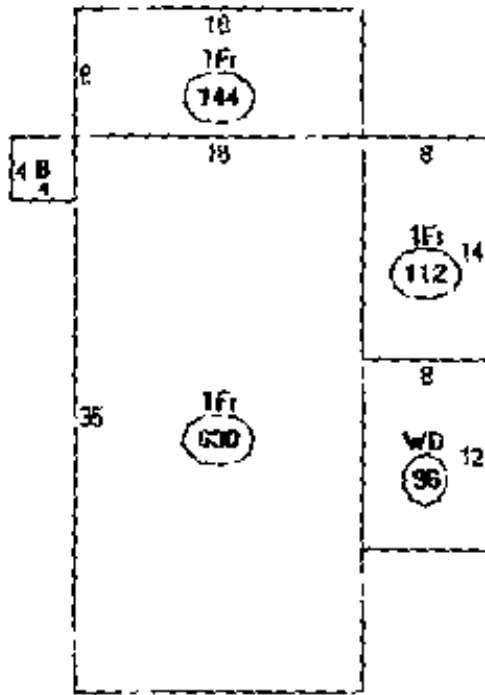
Picture	Sketch	Tax Map
-------------------------	------------------------	-------------------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.







- Quantity/Area
- A: 1Ft 630 sqft
 - B: 1Ft 112 sqft
 - C: 1Ft 144 sqft
 - D: 1Ft 96 sqft
 - E: 1WD 36 sqft

998
68.5 stairs

OK

1066.5
- 26.0

1040.5
+ 22.5

1063.0

4,454 SF
x 20%

890.8

Existing Stairs
5' x 8'8" = 42.5 SF
4' x 6'6" = 26 SF - (removed)

68.5

New Stairs
5' x 4'6" = 22.5 SF
Sec. 14-425 allows ~~to~~
max 6' projection into front
yard setback.



APPLICATION FOR PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PERMITS

City of Portland

To the CHIEF OF BUILDING & INSPECTION

The undersigned hereby applies for a permit to alter, repair, reconstruct, or change use in accordance with the Building and Land Use Ordinances of the City of Portland with plans and specifications.

LOCATION 84-8 Oakland Ave. Portland, Ore.

1. Owner's name and address

2. Lessee's name and address

3. Contractor's name and address

Proposed use of building

Last use

Material No. stories

Other buildings on same lot

Estimated contractor's cost \$ 5,000

FIELD INSPECTOR—Mr.

To construct 8' x 14' addition to bedroom and to construct sun deck with railing and 3 sheets of plans.

and permit to 4 3

NOTE TO APPLICANT: Separate permits are required for plumbing, electrical and mechanical.

Is any plumbing involved in this work? no yes

In connection to be made to public sewer? no yes

Has septic tank notice been sent? no yes

Height average grade to top of plate no yes

Site, front depth

Material of foundation

Kind of roof

No. of chimneys

Framing lumber—Kind

Size Girder

Studs (outside walls and carrying partitions)

Joists and rafters 1st floor

On centers: 1st floor

Maximum space: 1st floor

If one story building with masonry walls

No. cars now accommodated on same lot
Will automobile repairing be done on premises? no yes

APPROVALS BY:

BUILDING INSPECTION—PLANNING

ZONING:

BUILDING CODE:

Fire Dept:

Health Dept:

Other:

R. P. CARON - CONSTRUCTION
CARPENTRY - BUILDING
P.O. Box #1, Peaks Isl., Maine

APR 29 1985
1491 OF 23

REQUEST FOR BUILDING PERMITS
CITY OF PORTLAND
C.B.L. - 84-B-8

OWNER'S NAME & ADDRESS:

Mr. & Mrs. Edward Emmons
Oakland Avenue
Peaks Island, ME 04108
(207) 766-3359

BUILDER: (SEE ABOVE)



Average height

RECEIVED

RAC

R. F. CARON - CARPENTRY - BULLOCH
P.O. Box 21, Peaks Isl., ME 04108



August 29, 1965
Page 2 of 3

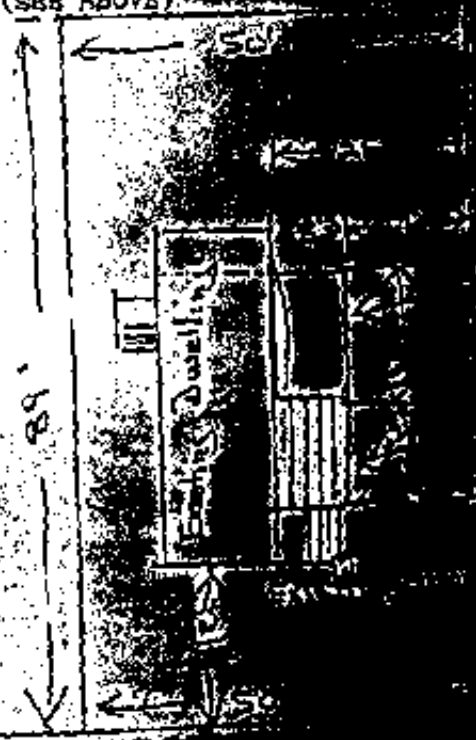
REQUEST FOR BUILDING PERMITS
CITY OF PORTLAND
C.B.L. 8488

COPY

OWNER'S NAME & ADDRESS:
Mr. & Mrs. Edward Emmons
Oakland Avenue
Peaks Island, ME 04108
(207) 766-3359

Utilities on property

BUILDER: (SEE ABOVE)



Utilities on property

Oakland Avenue

RECEIVED

WALK DETAIL - PLAN Dated Oct 12, 2004

39 OAKLAND AVE., PEAK ISLAND, ME, 04108

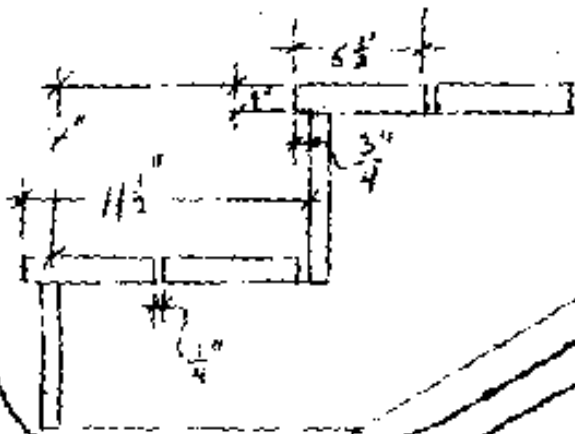
ADAM WEIDEMANN, OWNER

NOV 3, 2004
Sht. 1 of 1

Rise & Run

$\frac{1}{2}'' = 1'$ scale

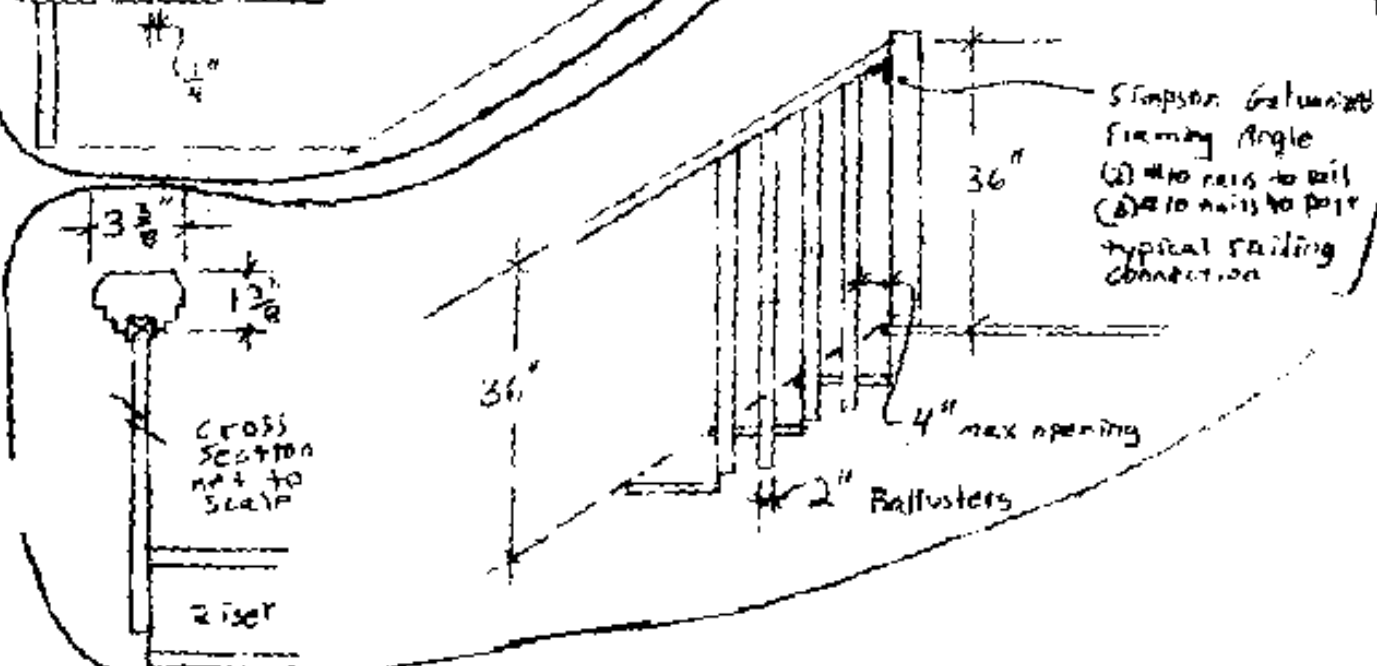
NOTES: - Solid Riser
- Nose Bevel $\frac{3}{4}''$ max.



Hand Rail

$\frac{3}{4}'' = 1'$ scale

NOTES: - Grippable milled
stock handrail



Cross
Section
not to
scale

Riser

Simpson Galvanized
Framing Angle
(2) #10 nails to rail
(2) #10 nails to post
typical railing
connection

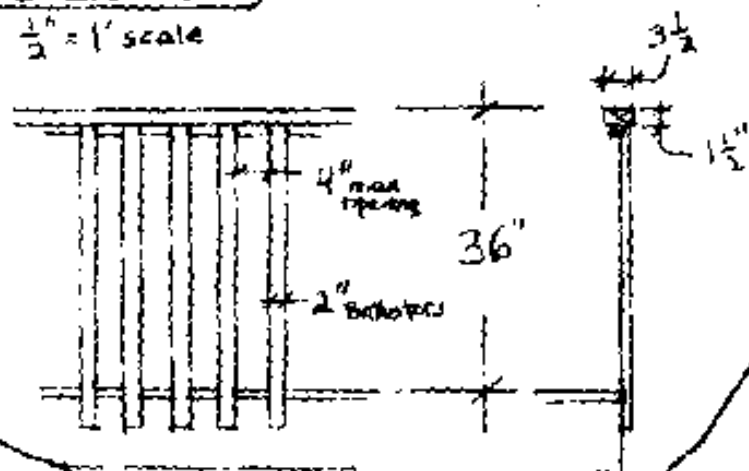
36"

4" max opening

#2" Ballusters

Guard Rail

$\frac{1}{2}'' = 1'$ scale



4" max
opening

36"

#2" Ballusters

3 1/2"

1 1/2"

NOV - 2

Roof Ridge Beam Span Tables

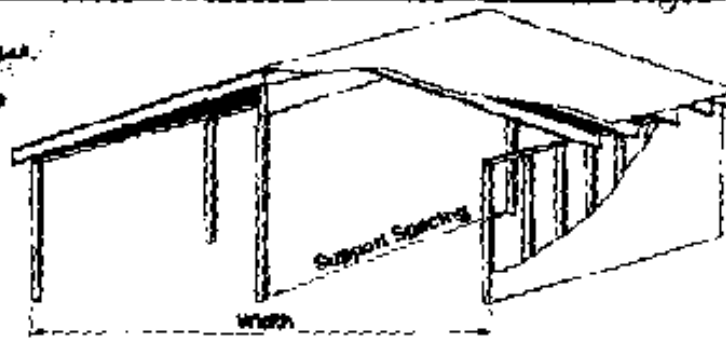
9

Spec sheet for ridge beam

4x12 Ridge Beam

Permit # 513

Weathered Steel



See General Notes on page 6

Required Beam Depths and Bearing Lengths (ft)

3040 Pk. Dr. - 3100 50 St

Load Condition	Roof Load (psf)		Beam Spacing (Feet)	Width of Building Segment (Feet)																	
				22		24		26		28		30		32		36		40			
				Live	Dead	Live	Dead	Live	Dead	Live	Dead	Live	Dead	Live	Dead	Live	Dead	Live	Dead		
126	20	15	12	33x24	140	33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210		
				33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230
				33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240
				33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240	33x24	250
126	20	20	12	33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220		
				33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230		
				33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240		
				33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240	33x24	250		
126	20	20	18	33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220		
				33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230		
				33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240		
				33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240	33x24	250		
126	20	20	24	33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220		
				33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230		
				33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240		
				33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240	33x24	250		
115	20	15	12	33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220		
				33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230		
				33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240		
				33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240	33x24	250		
115	20	15	18	33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220		
				33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230		
				33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240		
				33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240	33x24	250		
115	20	15	24	33x24	150	33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220		
				33x24	160	33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230		
				33x24	170	33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240		
				33x24	180	33x24	190	33x24	200	33x24	210	33x24	220	33x24	230	33x24	240	33x24	250		

GENERAL NOTES

- Continuous lateral support at the top of the beam is assumed.
- Minimum 3 inch end bearing or see BC Calc software requirements.
- Bearing length specifications assume bearing across the full width of the beam.
- Uniform loading is assumed for all tables.
- Multiple member beams require proper connection schedules.
- Dry service conditions are assumed.
- It may be possible to exceed the limitations of this table by analyzing a specific application with the BC Calc software.

Floor Notes (see pages 6, 7, 10)

- Floor loads are 40 psf live load and 10 psf dead load.
- Deflection is limited to $L/300$ live load and $L/240$ total load.
- Table based upon either simple or continuous floor joist spans.
- Tables assume a wall weight of 100 plf (pages 7, 10).
- Interior floor support may vary a maximum of 4 feet from centerline.

Roof Notes (see pages 8, 9 & 10)

- Always use roof live and dead loads that meet or exceed the required design loading.
- No roof load reductions have been taken.
- Table assumes 2'-0" roof overhang.

Ridge Beam (see page 9)

- Deflection is limited to $L/240$ live load and $L/180$ total load.
- Table based upon either simple or continuous beam span conditions.

Header (Roof) (see page 8)

- Deflection is limited to $L/240$ live load and $L/180$ total load.

HD
6 Feb 05

BOISE

Building Solutions
Engineered Wood Products

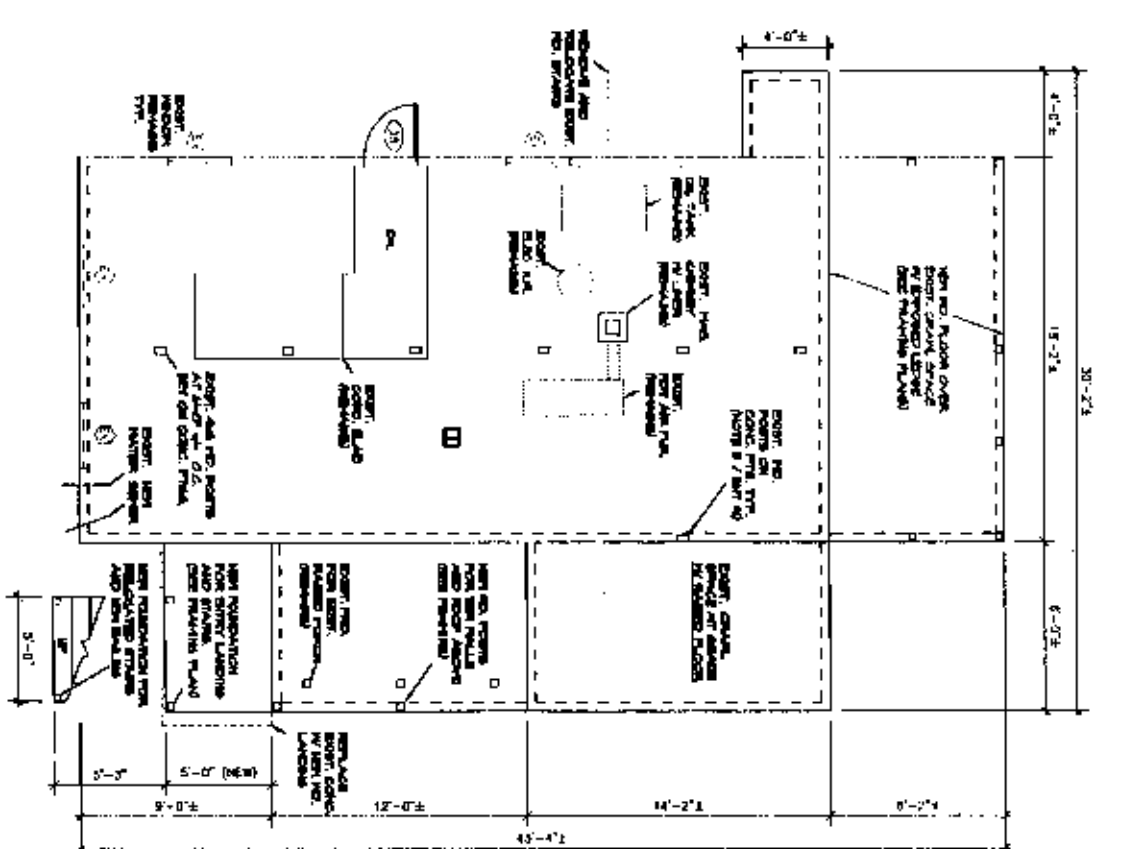
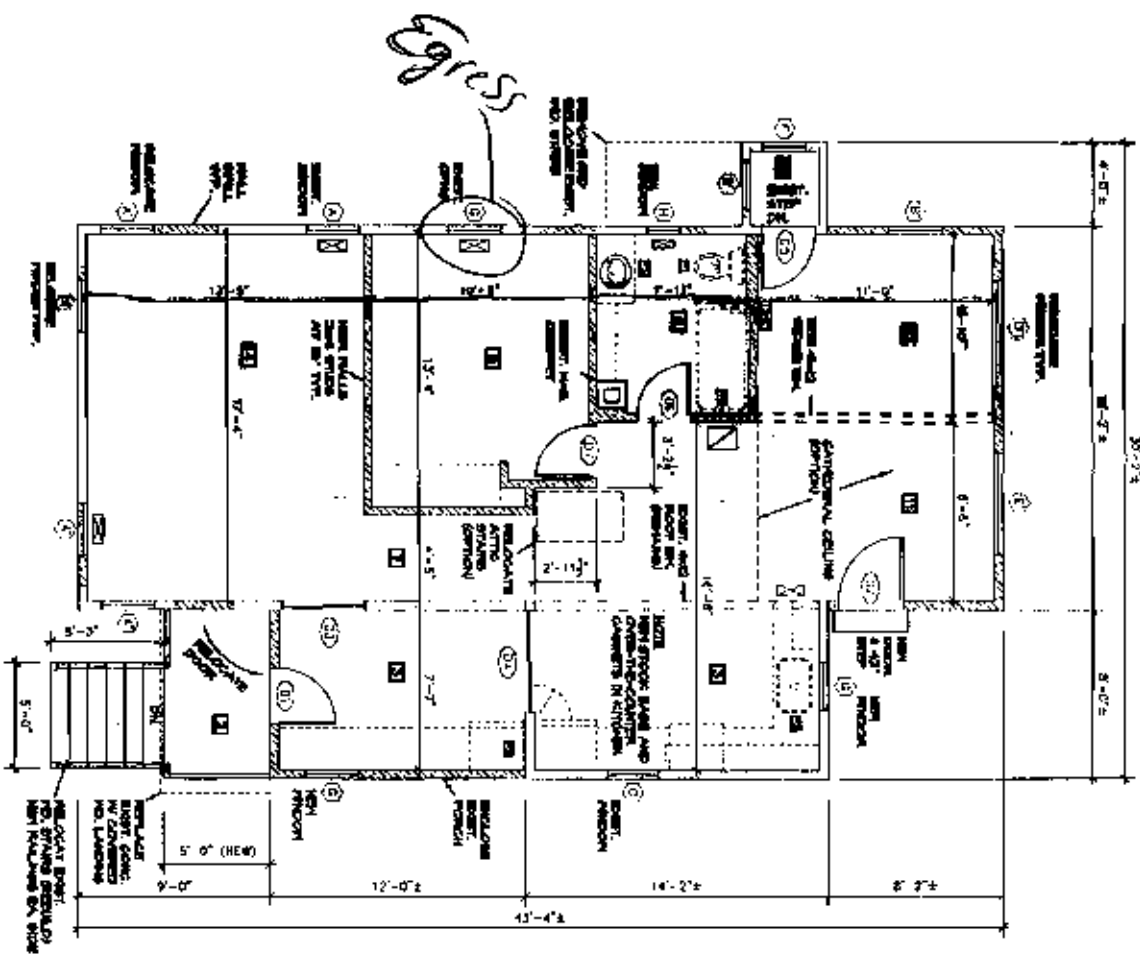
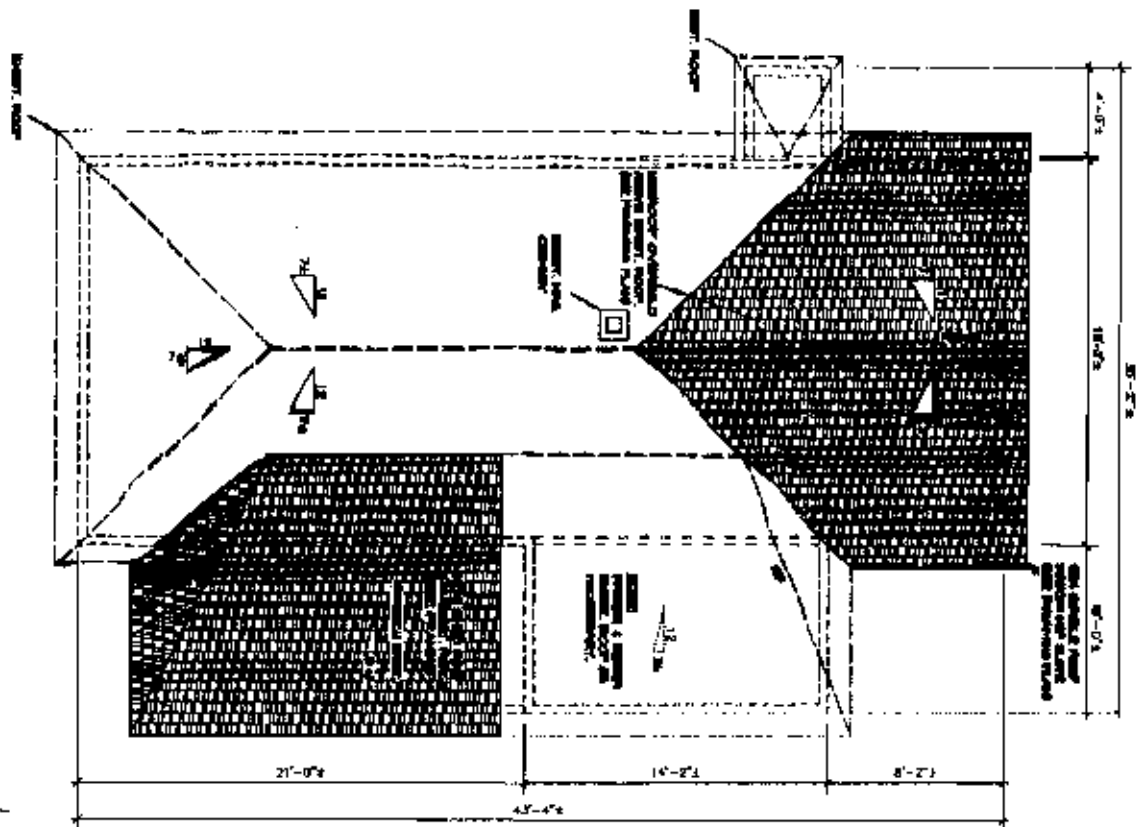
THE BUILDERS GUIDE

For Residential Construction
with BOISE TRUS-A-CLAM® and VERSA-RIM® Products



Engineered Wood Products

Boise Trus-A-Clam® and Versa-Rim®



- GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ORDINANCES AND BUILDING DEPARTMENT REGULATIONS AND PERMITS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ORDINANCES AND BUILDING DEPARTMENT REGULATIONS AND PERMITS.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH	DOOR	WINDOW
1	REAR PORCH	CONCRETE	PAINT	PLASTER	WOOD	WOOD
2	FRONT PORCH	CONCRETE	PAINT	PLASTER	WOOD	WOOD
3	LIVING ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
4	KITCHEN	CONCRETE	PAINT	PLASTER	WOOD	WOOD
5	BREAKFAST ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
6	DINING ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
7	BED ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
8	BED ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
9	BED ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
10	BED ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
11	BED ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD
12	BED ROOM	CONCRETE	PAINT	PLASTER	WOOD	WOOD

WINDOW SCHEDULE

NO.	TYPE	FINISH
1	2'-0" x 4'-0"	PAINT
2	2'-0" x 4'-0"	PAINT
3	2'-0" x 4'-0"	PAINT
4	2'-0" x 4'-0"	PAINT
5	2'-0" x 4'-0"	PAINT
6	2'-0" x 4'-0"	PAINT
7	2'-0" x 4'-0"	PAINT
8	2'-0" x 4'-0"	PAINT
9	2'-0" x 4'-0"	PAINT
10	2'-0" x 4'-0"	PAINT
11	2'-0" x 4'-0"	PAINT
12	2'-0" x 4'-0"	PAINT

DOOR SCHEDULE

NO.	TYPE	FINISH
1	6'-0" x 2'-0"	PAINT
2	6'-0" x 2'-0"	PAINT
3	6'-0" x 2'-0"	PAINT
4	6'-0" x 2'-0"	PAINT
5	6'-0" x 2'-0"	PAINT
6	6'-0" x 2'-0"	PAINT
7	6'-0" x 2'-0"	PAINT
8	6'-0" x 2'-0"	PAINT
9	6'-0" x 2'-0"	PAINT
10	6'-0" x 2'-0"	PAINT
11	6'-0" x 2'-0"	PAINT
12	6'-0" x 2'-0"	PAINT

NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

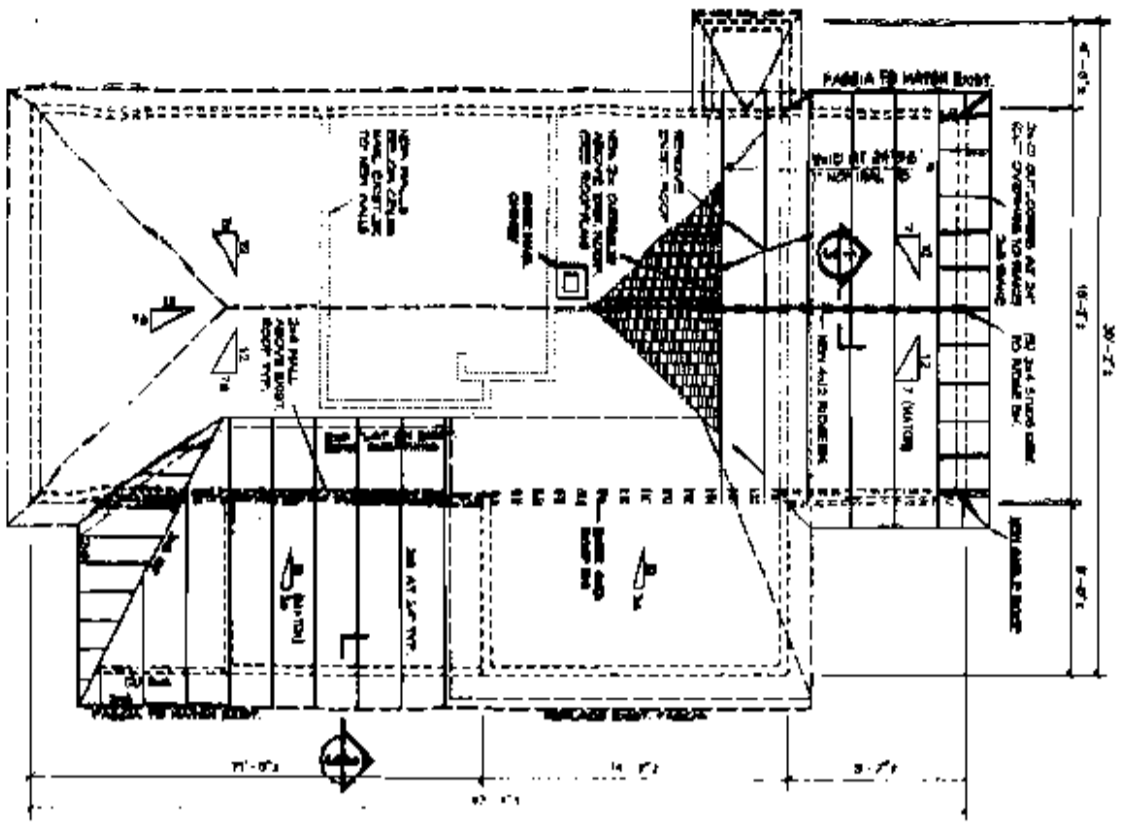
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

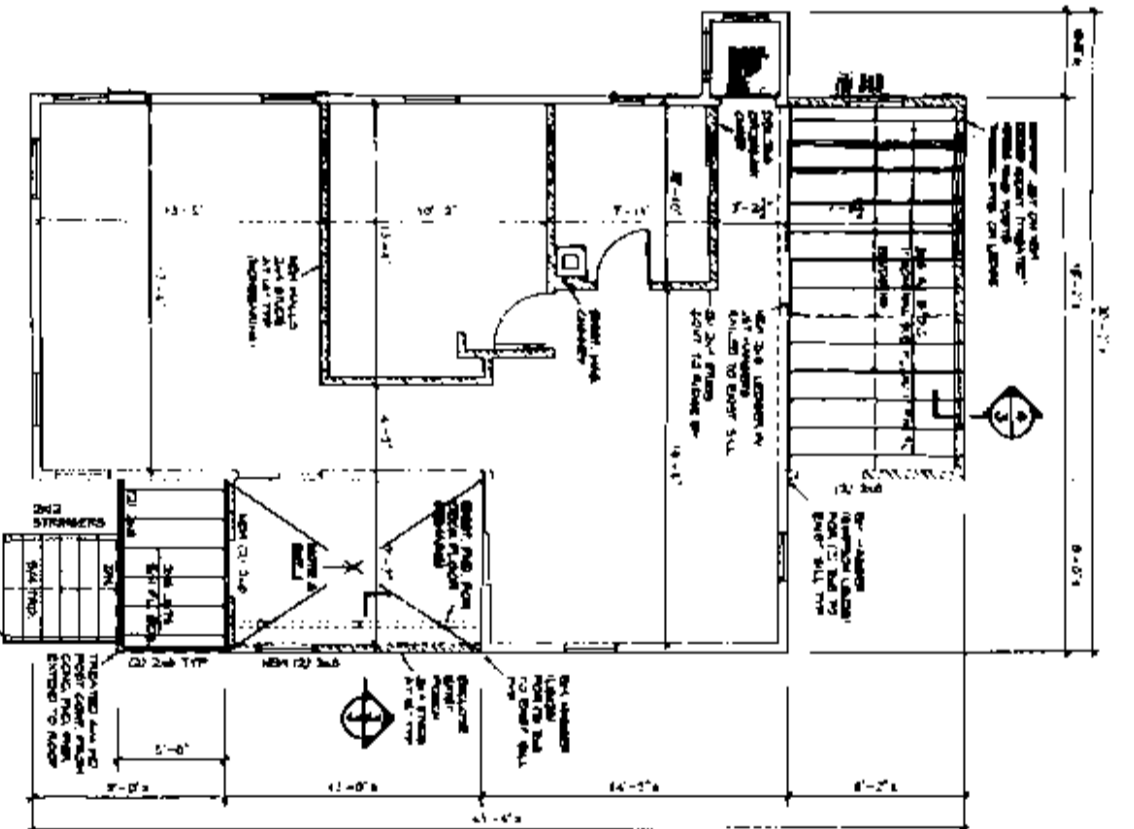
11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

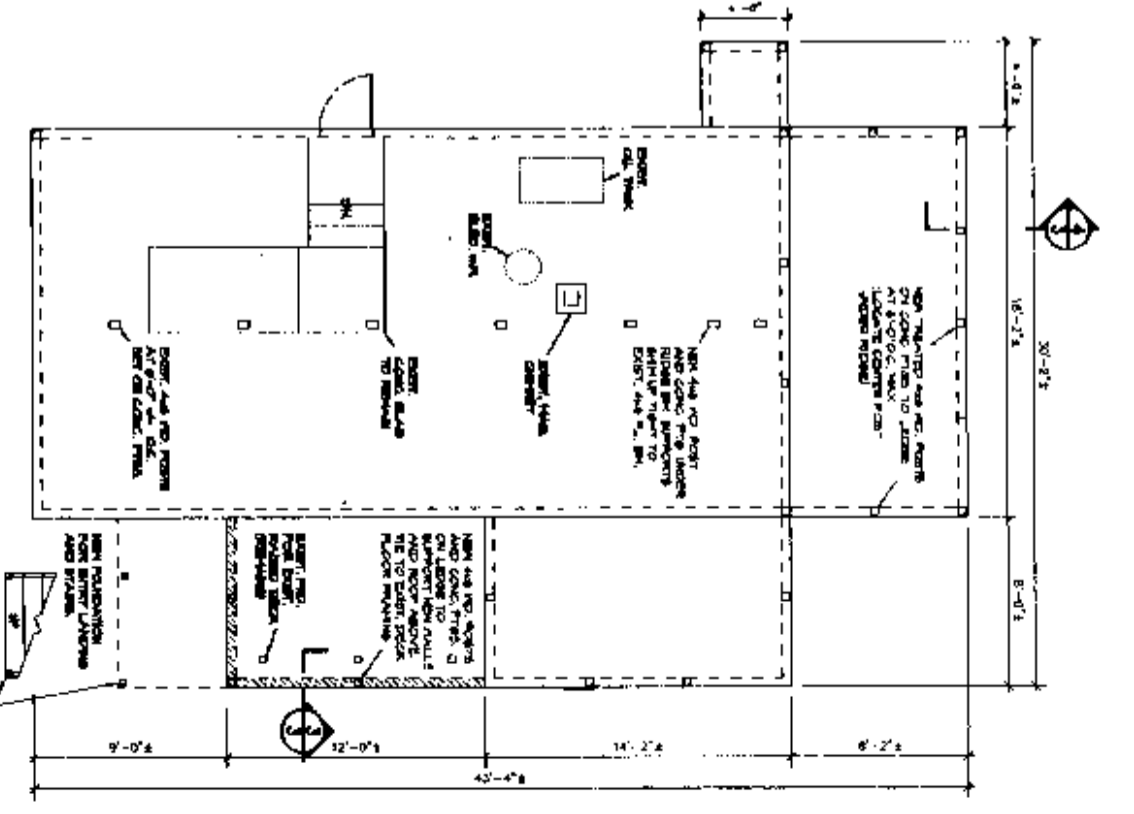
84 B 002



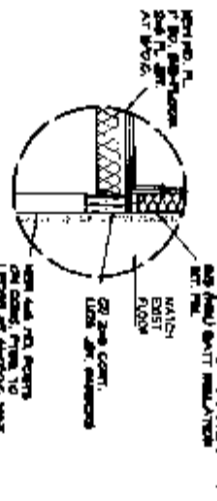
NEW ROOF FRAMING PLAN
SCALE: 1/4" = 1'



NEW FLOOR FRAMING PLAN
SCALE: 1/4" = 1'



FOUNDATION & BASEMENT PLAN
SCALE: 1/4" = 1'



84 B 002

