

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that RAE A CHALMERS

Located At 35 OAKLAND AVE

Job ID: 2011-10-2503-ALTR

CBL: 084-B-007-001

has permission to Rebuild an 18 foot by 20 foot detached accessory structure.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupaney is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

11/16/2011

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-10-2503-ALTR	Date Applied: 10/14/2011	CBL: 084- B-007-001	
Location of Construction: 35 OAKLAND AVE, PEAKS ISLAND	Owner Name: RAE A CHALMERS & THOMAS McLAUGHLIN	Owner Address: 35 OAKLAND AVE PEAKS ISLAND, ME 04108	Phone:
Business Name:	Contractor Name: Thompson Johnson Woodworks	Contractor Address: 115 Island Ave., Peaks Island, ME 04108	Phone: 207-766-5919
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: IR-2
Past Use: Single family	Proposed Use: Same - Single family- rebuild 18' x 20' detached accessory structure - renewing expired permit -#10-1077 - demo permit #2011-10-2484	Cost of Work: 1000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: <i>D3</i> Type: <i>DEMO</i> <i>MUBEC</i> Signature: <i>[Signature]</i>
Proposed Project Description: renewal for expired permit #10-1077 - rebuild 18' x 20' detached structure		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>JK W Ford for</i> <i>10/31/11 ARM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

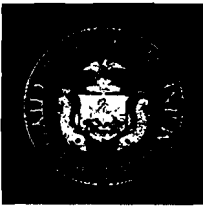
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Plmb/Frame prior to insulate or gypsum
 3. Insulation prior to Close-In
 4. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-10-2503-ALTR

Located At: 35 OAKLAND AVE

CBL: 084- B-007-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
4. The proposed studio in the detached building is for personal use only; it cannot be a home occupation.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Submit Engineered specifications for the "LVL" Structural Ridge.
3. Smoke and Carbon Monoxide (Dependent on Heating Source) Detector(s) shall be installed per MUBEC.
4. Roof Rafter; Framing & Connections shall comply with Section R802.3 & R802.3.1.

Jonathan Rioux - IR-2 setbacks

From: "Heather Thompson" <heather@tjwhome.com>
To: "Jonathan Rioux" <JRIOUX@portlandmaine.gov>
Date: 11/16/2011 10:42 AM
Subject: IR-2 setbacks
Attachments: IR-2 setbacks.doc

Hi John,

I looked up the yard setbacks for IR-2 and attached the zoning to this email, it is pages 14-198 to 14-199 in the online ordinance. (I tried to link to the actual website, but my technology is not advanced enough to do that- so I copied it into word.)

Min side yard accessory structure setbacks are 15'

Min side yard set backs are 20'

So I think that because these set backs make it impossible for the neighbor to build a structure closer than 5' to the 35 Oakland garage, we should be ok with the design as currently proposed?

Thanks,

Heather

Thompson Johnson Woodworks

o: 207.766.5919

f: 207.766.5297

Harvey's Cell: 207-232-5833

Mark's Cell: 207-408-2822

Heather's Cell: 207-653-1392

Jonathan Rioux - Google Earth Image: 35 Oakland Ave

From: "Heather Thompson" <heather@tjwhome.com>
To: <JRIOUX@portlandmaine.gov>
Date: 11/16/2011 10:03 AM
Subject: Google Earth Image: 35 Oakland Ave
Attachments: GoogleEarth_Image.jpg

Hi John,

This shot shows 35 Oakland and surrounding houses. The red line indicates the distance between the garage and neighbors house, measured on site by Harvey, 14'-8". 35 Oakland is the house with the grey roof and 6 solar panels and the figure 8 walkway in the front yard.

Thanks!
Heather

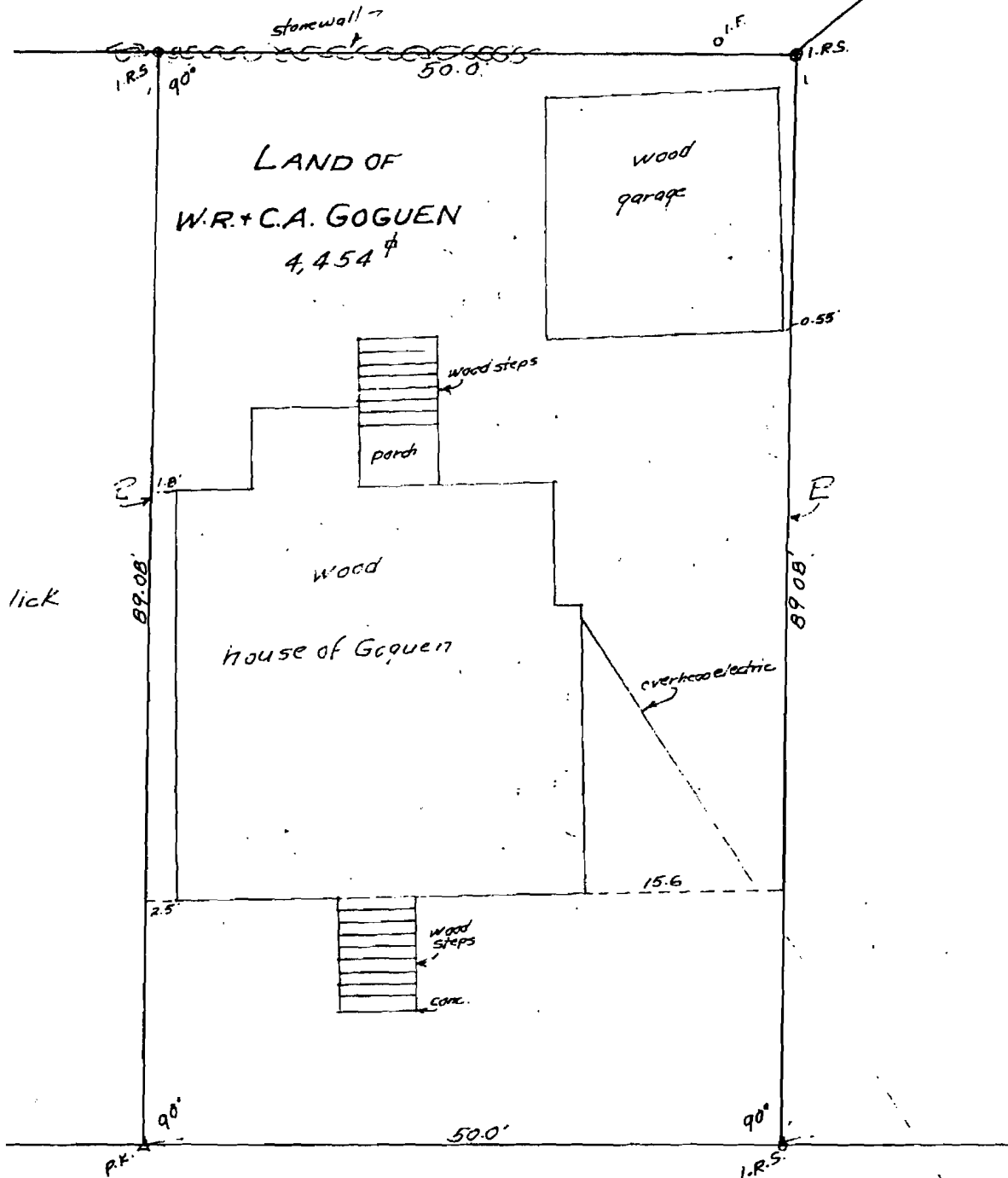
Google Earth streams the world over wired and wireless networks enabling users to virtually go anywhere on the planet and see places in photographic detail. This is not like any map you have ever seen. This is a 3D model of the real world, based on real satellite images combined with maps, guides to restaurants, hotels, entertainment, businesses and more. You can zoom from space to street level instantly and then pan or jump from place to place, city to city, even country to country.

Get Google Earth. Put the world in perspective.

(<http://earth.google.com>)

CHALMERS MCLAUGHLIN RESIDENCE : 12.4.10

EXISTING SITE PLAN 1:50



RECEIVED

DEC - 6 2010

Dept. of Building Inspections
City of Portland Maine

Oakland Ave



REVISED SUBMISSION

- Expired



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

04108

Location/Address of Construction: <u>35 OAKLAND AVENUE PEAKS ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>240 SF FOOTPRINT</u>	Square Footage of Lot <u>4454</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>84 B 7</u>	Applicant *must be owner, Lessee or Buyer* Name <u>RAF CHALMERS</u> Address <u>THOMAS MCLAUGHLIN</u> <u>35 OAKLAND AVE.</u> City, State & Zip <u>PEAKS ISLAND, ME. 04108</u>	Telephone:
Lessee/DBA (If Applicable) RECEIVED NOV 17 2010	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>[REDACTED]</u> C of O Fee: \$ Total Fee: \$ <u>[REDACTED]</u>
Dept. of Building Inspections Current legal use (City of Portland, Maine) <u>SF</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>SF</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>BUILDING A STUDIO / GREENHOUSE ON EXISTING GARAGE FOOTPRINT.</u>		
Contractor's name: <u>THOMPSON JOHNSON WOODWORKS</u> Address: <u>115 ISLAND AVE</u> City, State & Zip: <u>PEAKS ISLAND, ME. 04108</u> Telephone: <u>766-5919</u> Who should we contact when the permit is ready: <u>RACHEL CONY</u> Telephone: <u>766-5625</u> Mailing address: <u>26 STERLING ST. PEAKS ISLAND, ME. 04108</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11-17-10

This is not a permit; you may not commence ANY work until the permit is issue

10 1077



General Building Permit Application

See revised application cost is much less

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 OAKLAND AVENUE PEAKS ISLAND 04108</u>		
Total Square Footage of Proposed Structure/Area <u>360 SF FOOTPRINT</u>	Square Footage of Lot <u>9959 SF</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>89</u> Block# <u>B</u> Lot# <u>7</u>	Applicant *must be owner, Lessee or Buyer* Name <u>RAE CHALMERS TOMAS MCLAMBERTON</u> Address <u>35 OAKLAND AVE.</u> City, State & Zip <u>PEAKS ISLAND, ME. 04108</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Work: \$ <u>[REDACTED]</u> C of O Fee: \$ <u> </u> Total Fee: \$ <u>[REDACTED]</u>
Current legal use (i.e. single family) <u>SF</u> Number of Residential Units <u> </u>		
If vacant, what was the previous use? <u> </u>		
Proposed Specific use: <u>SF</u>		
Is property part of a subdivision? <u> </u> If yes, please name <u> </u>		
Project description: <u>BUILDING A STUDIO / GREENHOUSE ON EXIST. GARAGE FOOTPRINT</u>		
Contractor's name: <u>THOMPSON JOHNSON WOODWORKS</u>		
Address: <u>115 ISLAND AVE</u>		
City, State & Zip: <u>PEAKS ISLAND, ME 04108</u>		Telephone: <u>766-5919</u>
Who should we contact when the permit is ready: <u>RACHEL CONLY</u>		Telephone: <u>766-5625</u>
Mailing address: <u>26 STEELING ST. PEAKS ISLAND, ME 04108</u>		

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Signature: [Signature] Date: 8-26-10

This is not a permit; you may not commence ANY work until the permit is issue

REAL ESTATE ASSESSMENT RECORD -- CITY OF PORTLAND, MAINE

LAND NOS	STREET Peaks Island Oakland Ave.	BLDG. NO.	CARD NO. OF	DEVELOPMENT NO.	AREA <i>11,235</i>	DIST.	ZONE	CHART 84	BLOCK B	LOT 7		
TAXPAYER ADDRESS AND DESCRIPTION			RECORD OF TAXPAYER			YEAR	BOOK	PAGE	PROPERTY FACTORS			
EENE NETTIE A KLAND AVE. AKS ISLAND CITY ND & BLDGS. OAKLAND AVE. LOT 75 C. PL. WELCH & HILBORN HEIRS AKS ISLAND ASSESSORS PLAN 84-B- AREA 4454 SQ. FT.									TOPOGRAPHY			
											LEVEL	
											HIGH	
											LOW	
											ROLLING	
											SWAMPY	
											STREET	
								PAVED				
								SEMI-IMPROVED				
								DIRT				
								SIDEWALK				
								TILLABLE				
								FACTURE				
								WOODEN				
								SACRE				
								INCREASE				
								DECREASE				

LAND VALUE COMPUTATIONS AND SUMMARY						LAND VALUE COMPUTATIONS AND SUMMARY						ASSESSMENT RECORD		
DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	YEAR 1951	19	FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19	1950	1951
100	3.00	96	29.00	150									LAND	75
													BLDGS.	625
													TOTAL	700
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YEAR 19

YEAR 19

CONSTRUCTION

FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST		BATHROOM	<input checked="" type="checkbox"/>
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM	
BRICK OR STONE		MILL TYPE		WATER CLOSET	
PIERS	<input checked="" type="checkbox"/>	REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	<input checked="" type="checkbox"/>	FLOOR FINISH		KITCHEN SINK	<input checked="" type="checkbox"/>
1/4	3/8		B 1 2 3	STD. WAT. HEAT	<input checked="" type="checkbox"/>
NO. CELLAR		CEMENT		AUTO. WAT. HEAT	
EXTERIOR WALLS		EARTH	<input checked="" type="checkbox"/>	ELECT. WAT. SYST.	
CLAPBOARDS		PINE	<input checked="" type="checkbox"/>	LAUNDRY TUBS	
WIDE SIDING	1/2	HARDWOOD	<input checked="" type="checkbox"/>	NO PLUMBING	
DROP SIDING		TERRAZZO		TILING	
NO SHEATHING		TILE		BATH FL. & WCOT.	
WOOD SHINGLES	1/2	ATTIC FLR. & STAIRS		TOILET FL. & WCOT.	
ASBES. SHINGLES		INTERIOR FINISH		LIGHTING	
STUCCO ON FRAME			B 1 2 3	ELECTRIC	<input checked="" type="checkbox"/>
STUCCO ON TILE		PINE	<input checked="" type="checkbox"/>	NO LIGHTING	
BRICK VENEER		HARDWOOD	<input checked="" type="checkbox"/>	NO. OF ROOMS	
BRICK ON TILE		PLASTER		BSMT.	2ND 4
SOLID BRICK		UNFINISHED	1/4	1ST 3	3RD
STONE VENEER		METAL CLG.		OCCUPANCY	
CONC. OR CIND. BL.		WEATHERSTRIP	<input checked="" type="checkbox"/>	SINGLE FAMILY	<input checked="" type="checkbox"/>
TERRA COTTA		RECREAT. ROOM		TWO FAMILY	
VITROLITE		FINISHED ATTIC		APARTMENT	
PLATE GLASS		FIREPLACE	<input checked="" type="checkbox"/>	STORE	
INSULATION		HEATING		THEATRE	
ROOFING		PIPELESS FURNACE		HOTEL	
ASPH. SHINGLES	<input checked="" type="checkbox"/>	HOT AIR FURNACE		OFFICES	
WOOD SHINGLES		FORCED AIR FURN.		WAREHOUSE	
ASBES. SHINGLES		STEAM		COMM. GARAGE	
SLATE TILE		HOT WAT. OR VAPOR		GAS STATION	
METAL		NO HEATING	<input checked="" type="checkbox"/>	ECONOMIC CLASS	
COMPOSITION		GAS BURNER		OVER BUILT	
ROLL ROOFING		OIL BURNER		UNDER BUILT	
INSULATION		STOKER		DT. 8/8	AR. 50
				LD. 13	PD. 30
				MS. 13	CK. 50

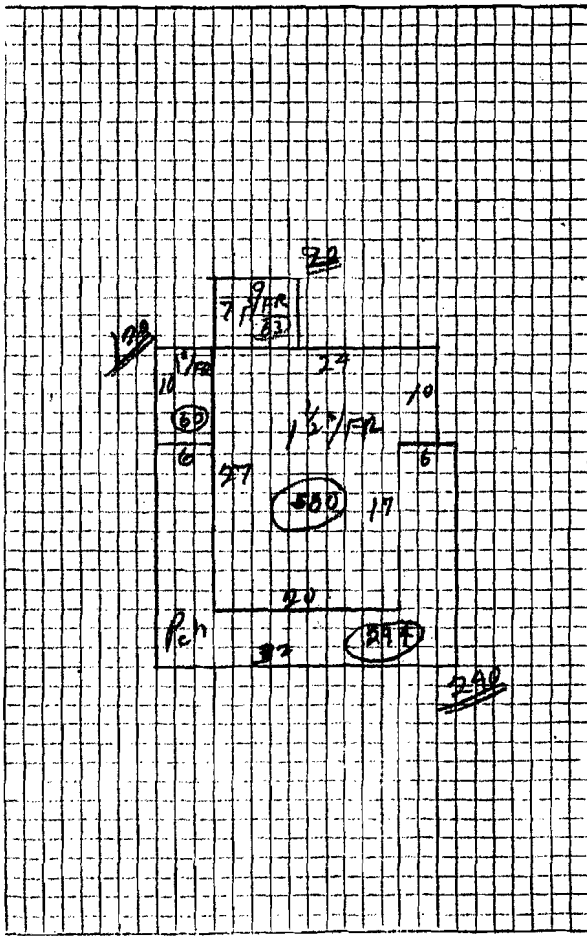
COMPUTATIONS

UNIT	1951		
580 S. F.	1790		
S. F.			
ADDITIONS	+1450		
F.D.T.	-150		
BASEMENT	+1350		
WALLS HC	+220		
ROOF			
Shingles	+50		
FLOORS B	-90		
ATTIC			
FINISH	-190		
FIREPLACE	+120		
HEATING			
PLUMBING	+240		
TILING			
TOTAL	2590		
FACT. +10	180		
REP. VAL.	2770		

SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	BOUND VAL.	TAX VAL.
Cottage	1 1/2 S/FR	DC	60		F-P	2770	59	1250	A	1210	
								100		100	
C											
D											
E											
F											
G											

YEAR	1951				1951 TOTAL BLDGS.	1350	
TAX VAL.							
OLD VAL.	800						
CHANGE							



Ann Machado - Re: 35 Oakland

From: Rachel Conly <raconly@yahoo.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 12/7/2010 5:59 PM
Subject: Re: 35 Oakland

Great. Thanks, Ann. Rachel

Sent from my iPhone

On Dec 7, 2010, at 3:19 PM, "Ann Machado" <AMACHADO@portlandmaine.gov> wrote:

Rachel -

The permit for 35 Oakland will be on hold with me until the demolition part of the permit is complete. We still need the demolition call sheet completed and copies of the notices to the abutters.

As far as 120 Island Avenue goes, Marge or I do a zoning review on every permit that is submitted even if it is in an existing footprint.

Ann

>>> rachel conly <raconly@yahoo.com> 12/7/2010 2:00 PM >>>
Hi Ann,

Harvey spoke with the client of 35 Oakland, and they have agreed to wait until Spring to complete the demolition permit once they have their contract, etc. in place. In the meantime, they would like to know if the call request form is the last remaining loose end. They have had so many unexpected issues with this permit, they are a bit concerned something else might pop up. Also, can you simply hold on to the permit submission until Spring?

I also got your voicemail that you received the submission for 120 Island Avenue. I am wondering why you have it, since we decided for now that all the work being done will be within the existing footprint. Does every project come by your desk, or was there some concern regarding the zoning?

Thanks, Rachel

Rachel Conly
Architectural Design
207-766-5625

PERMIT # 10-1077 : RENEWAL FOR EXPIRED APPLICATION.

2011-10-2003

General Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

0410 8

Location/Address of Construction: 35 OAKLAND AVENUE PEAKS ISLAND		
Total Square Footage of Proposed Structure/Area 360 SF FOOTPRINT	Square Footage of Lot 4454 SF	Number of Stories 1 + STORAGE
Tax Assessor's Chart, Block & Lot Chart# 84 Block# B Lot# 7	Applicant *must be owner, Lessee or Buyer* Name PAE CHARLERS Address THOMAS MC LAUGHLIN 35 OAKLAND AVE. City, State & Zip PEAKS ISLAND, ME.	Telephone: _____
Lessee/DBA (If Applicable) OCT 14 2011	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ 25,000 C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) SF Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: SF Is property part of a subdivision? _____ If yes, please name _____ Project description: BUILDING A STUDIO / GREENHOUSE ON EXIST. GARAGE FOOTPRINT		
Contractor's name: THOMPSON JOHNSON WOODWORKS		
Address: 115 ISLAND AVE		
City, State & Zip PEAKS ISLAND, ME. 0410 8		Telephone: 766-5919
Who should we contact when the permit is ready: RACHEL CONN		Telephone: 766-5625
Mailing address: 26 STERLING ST. PEAKS ISLAND, ME. 04108		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

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Signature: Rachel Conn Date: 8-26-10

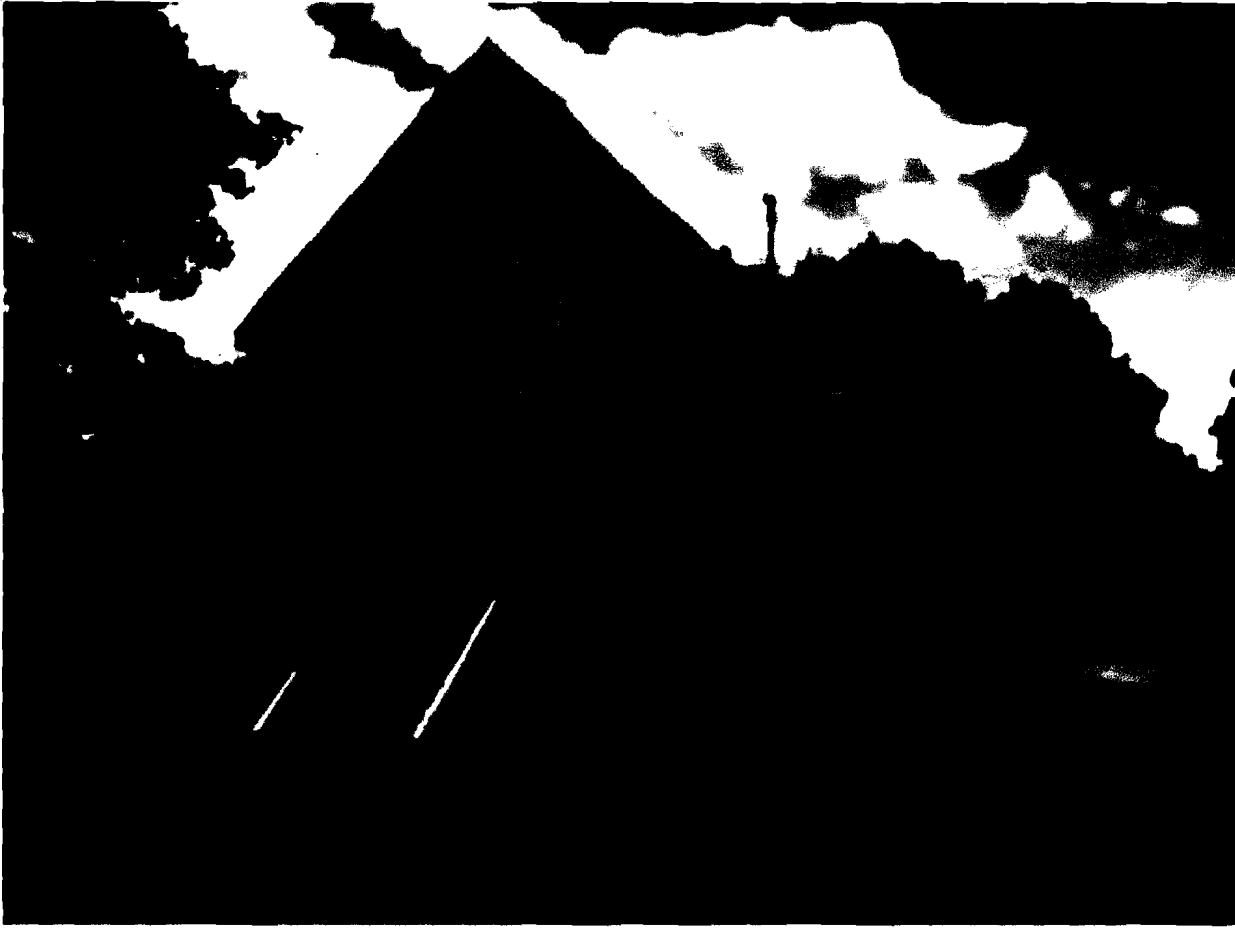
This is not a permit; you may not commence ANY work until the permit is issued



RECEIVED

DEC - 6 2010

Dept. of Building Inspections
City of Portland Maine



11-23-11 DWM Heather 766-5919 understab plumbing OK

CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

August 31 20 10

Received from \$ Rachel Corey

Location of Work 35 Ocean Ave. #1

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 570.00

Building (B) Plumbing (P) Electrical (E) Site Plan (U)

Other _____

CBL: 024 B 007

Check #: 0100 Total Collected \$ 570.00

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - [unclear] Copy

CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

10/14/2011

Received from

Rachel Carley

Location of Work

35 Oakland

Cost of Construction

\$ Renewal

Building Fee:

~~30.00~~ 30.00

Permit Fee

\$

Site Fee:

/

Certificate of Occupancy Fee:

/

Total:

30.00

Building (1L)

Plumbing (1S)

Electrical (12)

Site Plan (U2)

Other

CEL

OTY 3007

Check #:

1298

Total Collected \$

30.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

[Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy