

REV.	DATE	DESCRIPTION OF REV.
1	3/30/04	preliminary
2	3/19/04	preliminary for rebar
3	3/19/04	for rebar

ALEX ROSS
 CIVIL/STRUCTURAL
 ENGINEERING SERVICES
 34 FREEMAN STREET
 FORTSMOUTH, NH 03801
 603-433-7560

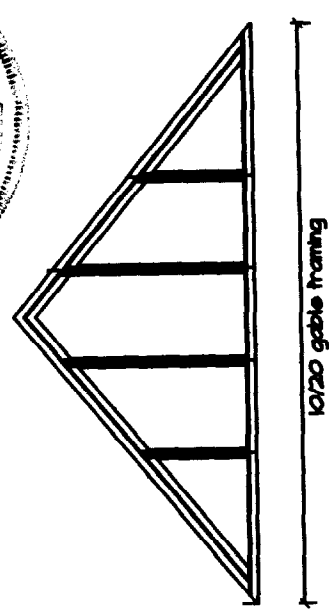
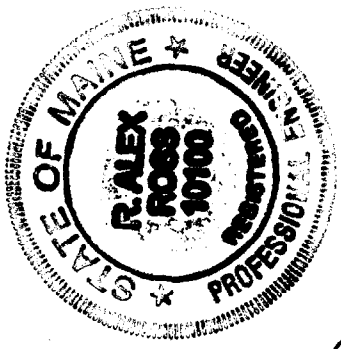
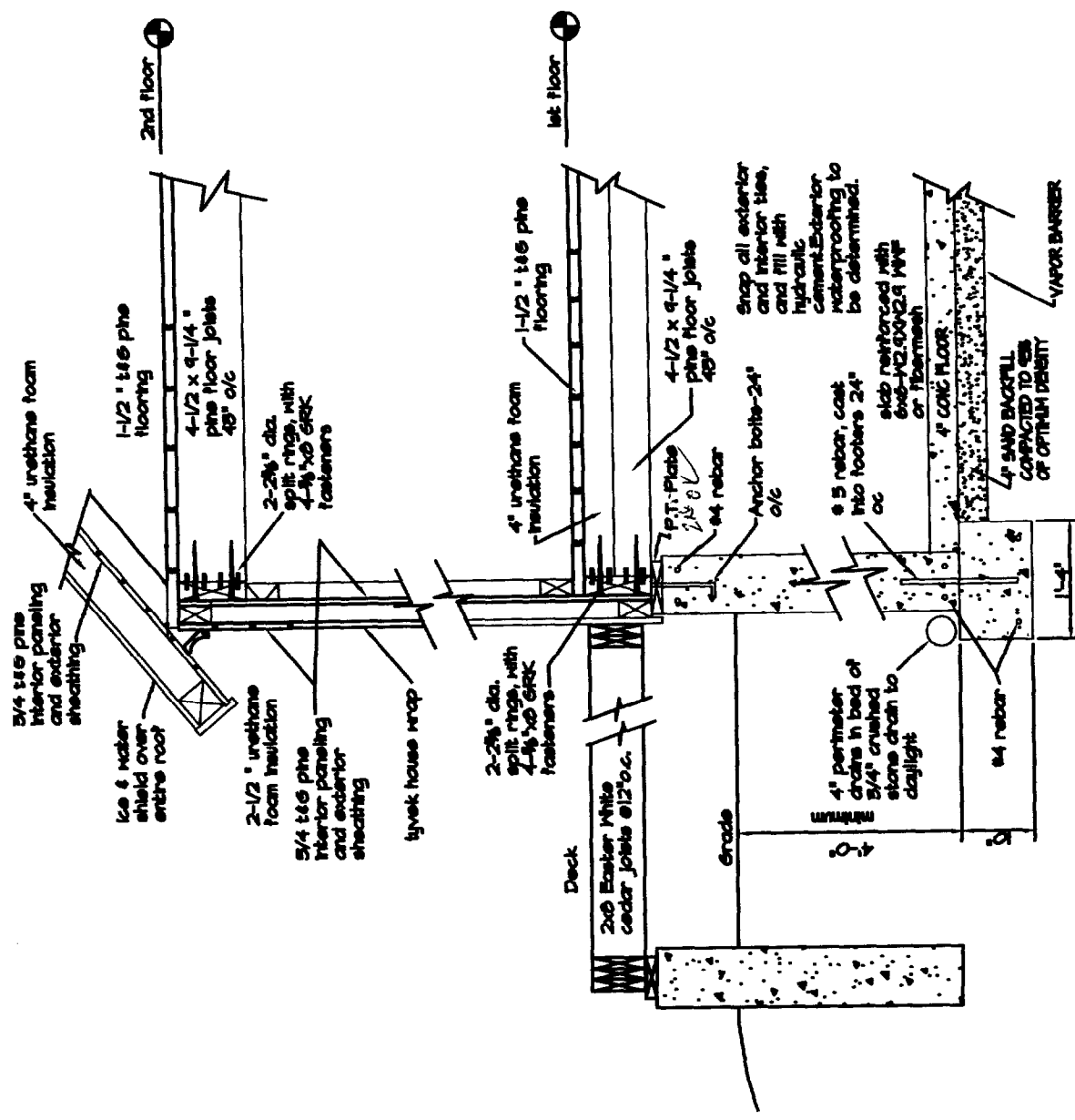
Culver Cottage
 Lot 47, Weymouth Way
 Great Diamond Island
 Portland, ME

PREPARED FOR:
 GLEN BURNICK
 BLAND COTTAGE
 P.O. BOX 289
 BATTERY, ME
 207-439-3386

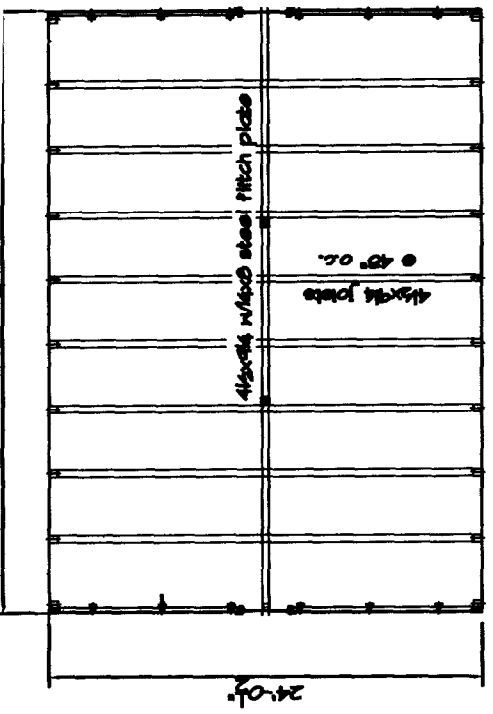
DESIGNED BY: AR
 DRAFTED BY: AR
 CHECKED BY: AR

FRAMING & DETAILS
 JOB # 03-085
 SCALE: AS NOTED
 DWG. 2 OF 2

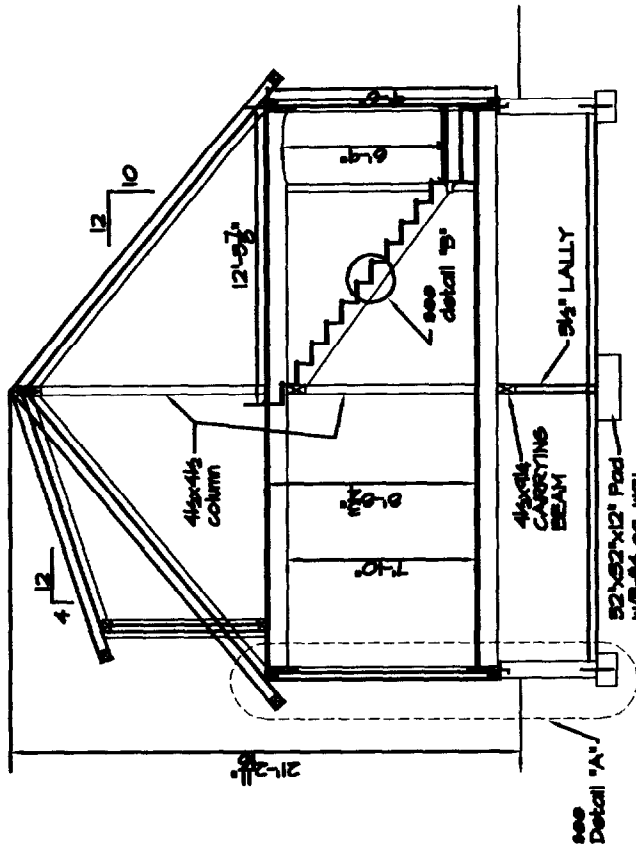
drawing no.
S-2



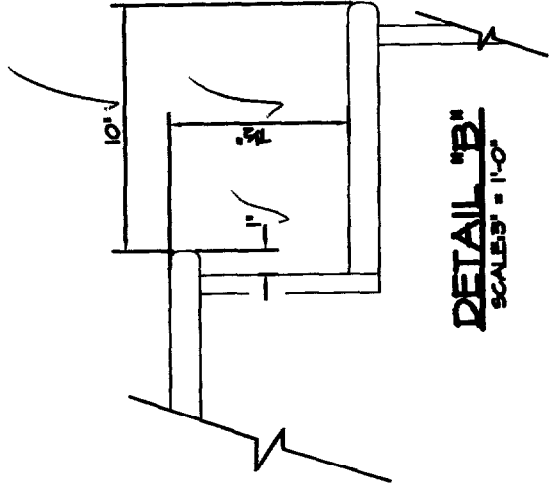
GABLE WALL CROSS-SECTION
 Scale: 1/4" = 1'-0"



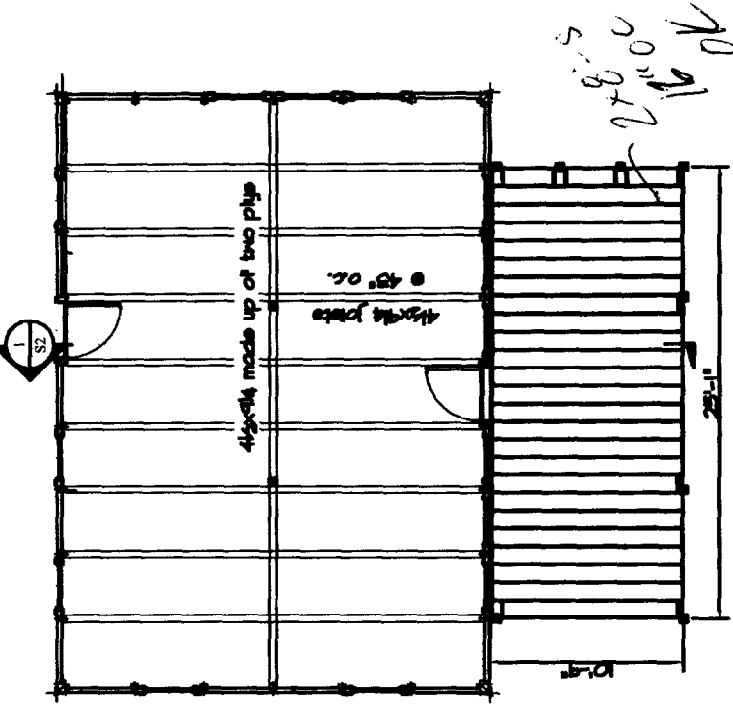
2nd FLOOR FRAMING
 Scale: 1/8" = 1'-0"



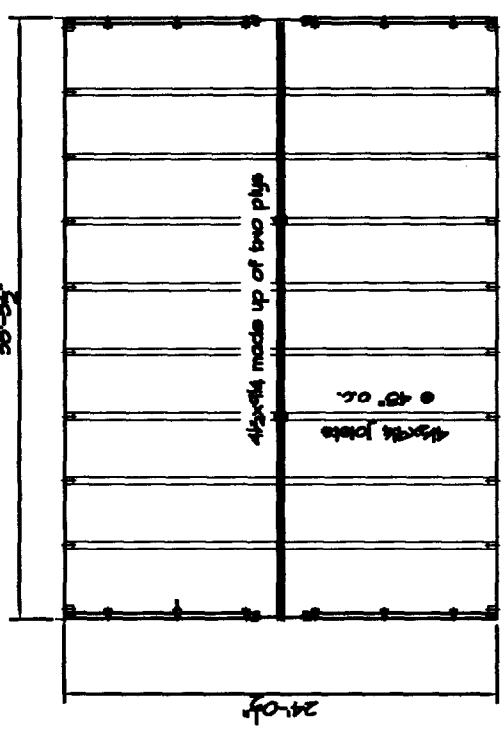
SECTION 2
 SCALE: 1/4" = 1'-0"



DETAIL B
 SCALE: 1/4" = 1'-0"



1st FLOOR FRAMING
 Scale: 1/8" = 1'-0"



ROOF FRAMING
 Scale: 1/8" = 1'-0"



NORTH ELEVATION

Scale: 1/8" = 1'-0"



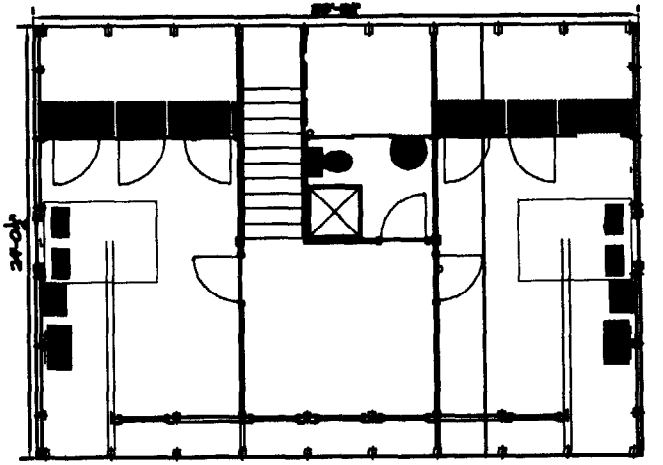
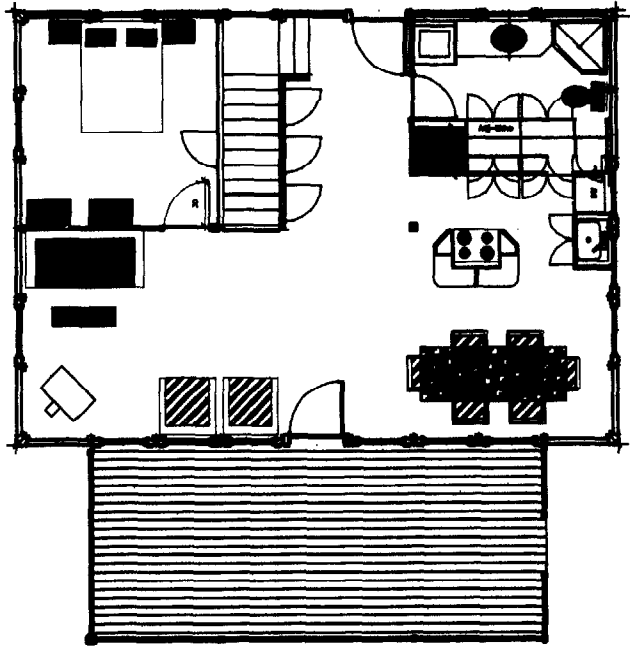
SOUTH ELEVATION

Scale: 1/8" = 1'-0"



WEST ELEVATION

Scale: 1/8" = 1'-0"



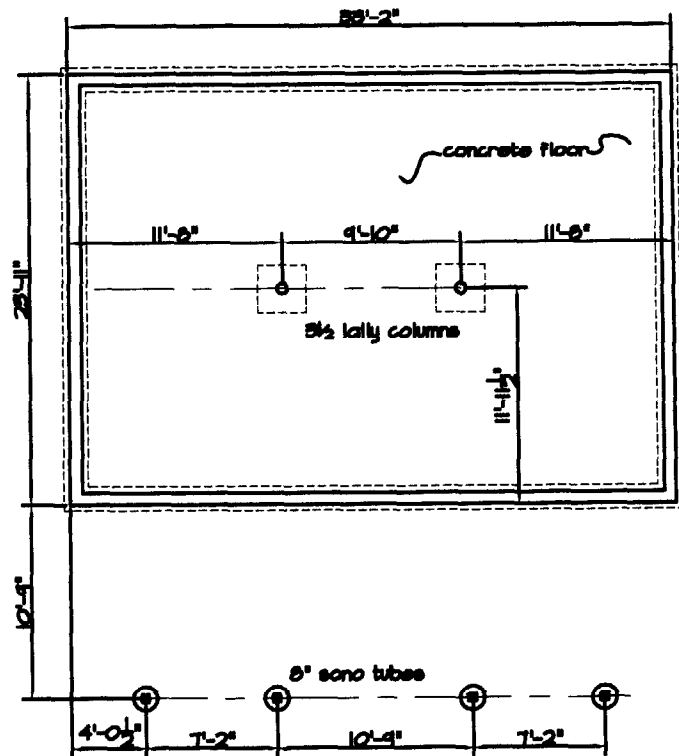
2nd FLOOR PLAN

Scale: 1/8" = 1'-0"



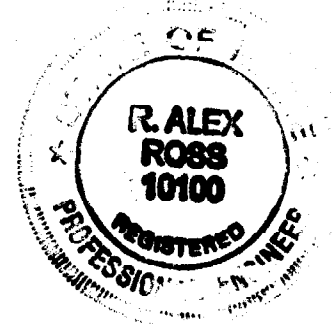
EAST ELEVATION

Scale: 1/8" = 1'-0"



Foundation Plan

Scale: 1/8" = 1'-0"



FRAMING NOTES:

- 1) ALL DIMENSION LUMBER TO BE Eastern White Pine, GRADE #2 OR BETTER.
FD = 875 PSI
FV = 70 PSI
E = 1,400,000 PSI
- 2) DECK JOISTS TO BE Eastern White Cedar, GRADE #2 OR BETTER.
FD = 875 PSI
FV = 70 PSI
E = 1,400,000 PSI
- 3) CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 4) ALL WOOD IN CONTACT WITH CONCRETE MASONRY OR EARTH SHALL BE PRESURE TREATED WITH A CCA-CO-40 PROCESS.
- 5) ALL WOOD FRAMING SHALL BE BUILT FLIME, LEVEL, SQUARE AND TRUE WITH ADEQUATE BRACING AND CONNECTION HARDWARE TO INSURE A RIGID STRUCTURE.
- 6) CONTRACTOR TO TAKE PRECAUTION THAT ALL BEAM END SUPPORTS TRACE DOWN TO SOLID FOOTINGS.
- 7) ALL WORK SHALL COMPLY WITH APPLICABLE BUILDING CODES.
- 8) ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE INSTALLED PER B.O.C.A. SECTION 1014, 1021, & 1606.A.
- 9) SECOND FLOOR EGRESS WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. PER B.O.C.A. SECTION 1010.A.

CODES:

- 2) THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS PRIOR TO PROCEEDING WITH THE WORK.
- 3) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND CONSTRUCTION.
- 4) ALL INSTALLATION OF MECHANICAL, HEATING, VENTILATION AND ELECTRICAL COMPONENTS SHALL BE IN CONFORMANCE WITH BUILDING CODE REQUIREMENTS.
- 5) THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS AND PROVIDE ADEQUATE GUARDS AND BARRIERS TO PREVENT INJURY TO PERSONS AND PROPERTY.
- 6) THE CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATIONS WITH THE APPROPRIATE UTILITY COMPANY.
- 7) DO NOT SCALE. WRITTEN DIMENSIONS TAKE PREFERENCE. ALL CONTRACTORS SHALL REVIEW ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE PROCEEDING. REQUEST CLARIFICATION FOR ANY DIMENSION REQUIRED.
- 8) THE INTENT OF THIS DRAWING IS TO DEPICT THE FOUNDATION & BASIC FRAMING REQUIREMENTS TO SUPPORT VERTICAL LIVE & DEAD LOADS AS PER 1991 BOCA CODE REQUIREMENTS.

SOIL BEARING:

- 1) FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL PLACED IN 12" LAYERS & COMPACTED TO 95% OF MAXIMUM ATTAINABLE DRY DENSITY. ALL FILL SHALL HAVE A BEARING CAPACITY OF 3000 PSF MIN. IT HAS BEEN ASSUMED THAT THE EXISTING UNDISTURBED SOIL HAS AN ALLOWABLE BEARING CAPACITY OF 3000 PSF MIN.
- 2) REMOVE ALL EXISTING TOPSOIL, PAVEMENT, ORGANIC MATERIALS OR OTHER MATERIAL THAT IS UNSUITABLE FOR FOOTING BEARING.
- 3) IF ANY ADVERSE SOIL CONDITIONS ARE ENCOUNTERED WHICH EXTEND BELOW FOOTING LEVEL SUCH AS LISTED ABOVE, THE CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONTINUATION.

CONCRETE NOTES

1. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI AFTER 28 DAYS
2. MAXIMUM SLUMP SHALL BE 4"
3. REINFORCING STEEL SHALL BE ASTM A615, GRADE 60
4. REINFORCING BARS SHALL BE LAPPED TO DEVELOP MAXIMUM TENSION OF THE BAR. SPLICES SHALL HAVE A LAP DIMENSION OF:
16" - #4 REINFORCEMENT BAR
25" - #6 REINFORCEMENT BAR
ALL BARS SHALL BE CONTINUOUS AROUND CORNERS.
5. FOR BUILDING CODE REQUIREMENTS FOR PLACING CONCRETE AND REINFORCING, REFER TO ACT 318, ACT 301 AND ACT 304.
6. CONCRETE COVER REQUIREMENTS OVER REINFORCING STEEL SHALL AS FOLLOWS:
AGAINST SOIL - 2"
AGAINST VAPOR BARRIER - 2"
INTERIOR TOP SLAB - 2"
EXTERIOR TOP SLAB - 1 1/2"
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF CONCRETE PLACEMENT SO THAT THE FORMWORK AND REINFORCING MAY BE INSPECTED.
8. PLACING OF CONCRETE SHALL BE A CONTINUOUS OPERATION AVOIDING ANY HORIZONTAL JOINTS. ALL CONCRETE SHALL BE VIBRATED.
9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. WELDED WIRE FABRIC SHALL BE IN THE FORM OF MATS RATHER THAN ROLLS. ALL LAPS SHALL BE A MINIMUM OF ONE GRID WIDTH.
10. MOISTOP UNDERSLAB VAPOR BARRIER SHALL BE AS MANUFACTURED BY FORTIFIBER OR EQUAL CONSISTING OF 2 LAYERS OF EXTRUDED POLYETHYLENE WITH A MEMBRANE OF KRAFT AND GLASS REINFORCING. SEAL JOINTS USING MOISTOP VAPOR BARRIER TAPE OR EQUAL.
11. CONSULT PROJECT OWNER FOR SURFACE FINISHES REQUIRED FOR CONCRETE SLABS.
12. CONCRETE & EARTH SHALL BE ADEQUATELY PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACT PUBLICATIONS 305 & 306 RESPECTIVELY. CONCRETE FOOTERS SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
13. ROD & VIRATE CONCRETE TO COMPLETELY FILL FORMWORK.
14. FOUNDATION DRAWINGS SHALL BE USED IN CONJUNCTION WITH OTHER PROJECT DRAWINGS AS NECESSARY.
15. FOUNDATION WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CODES AND WITH THE APPLICABLE REQUIREMENTS OF STANDARDS ORGANIZATIONS AND TECHNICAL SOCIETIES SUCH AS THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE CONC. REINFORCING INSTITUTE (CRSI).

REV.	DATE	DESCRIPTION OF REV.
1	3/23/04	PRELIMINARY
2	3/28/04	PRELIMINARY
3	3/28/04	FOR PERMIT

ALEX ROSS
CIVIL/STRUCTURAL
ENGINEERING SERVICES
34 BREWSTER STREET
PORTSMOUTH, NH 02801
603-433-1560

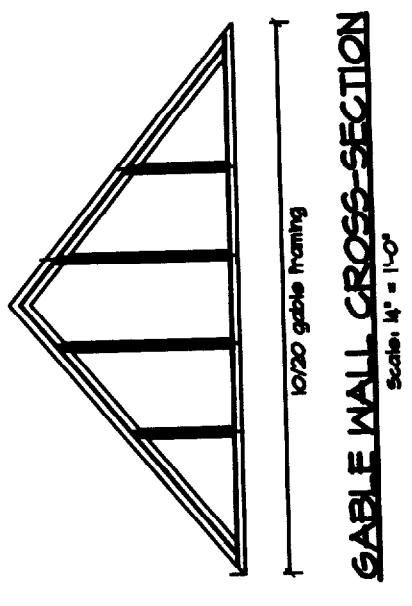
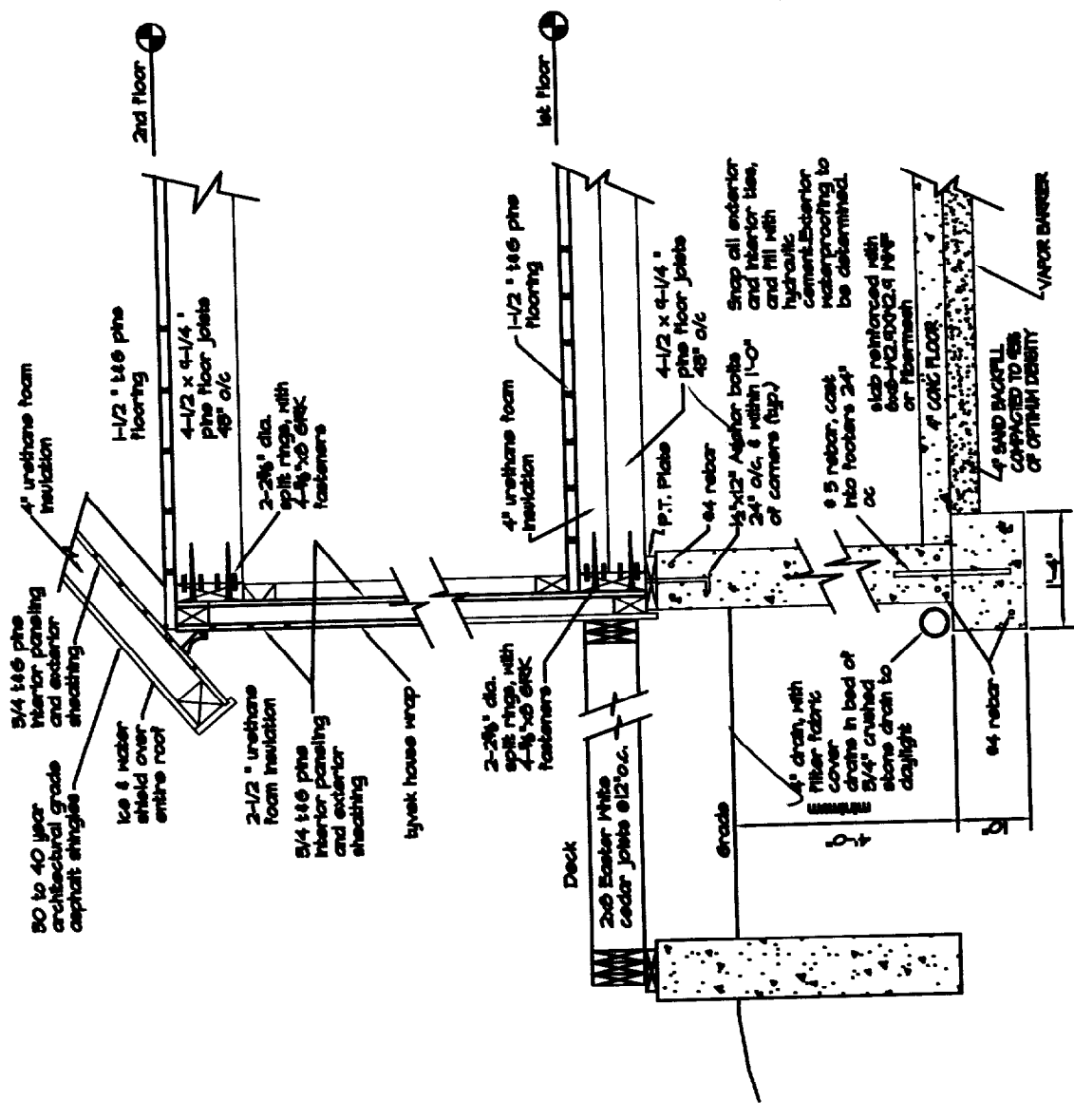
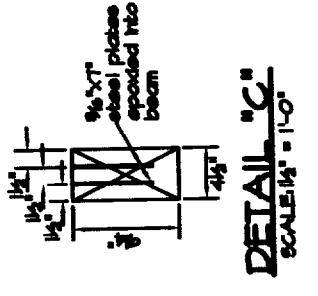
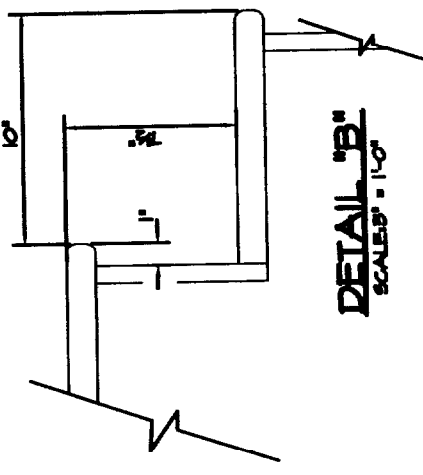
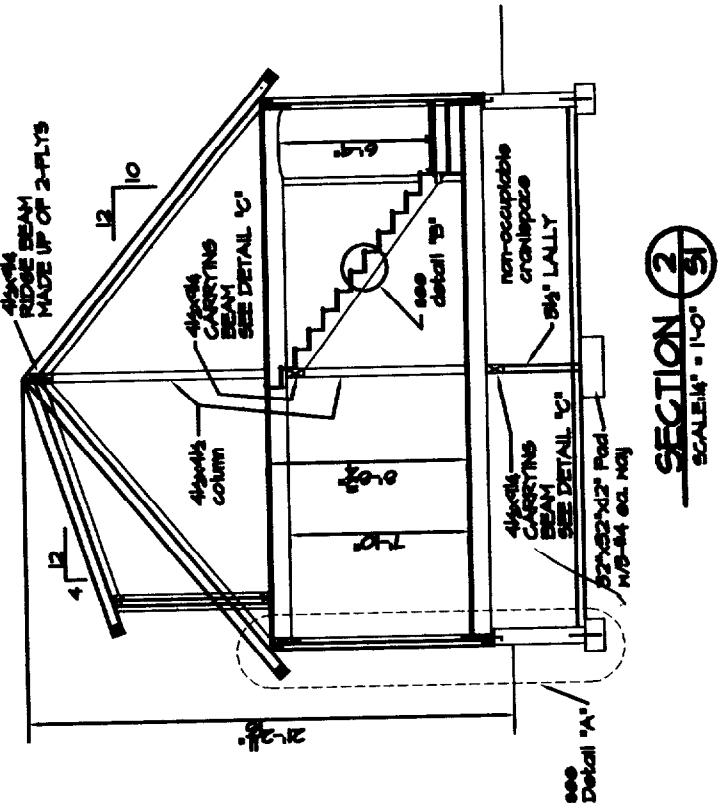
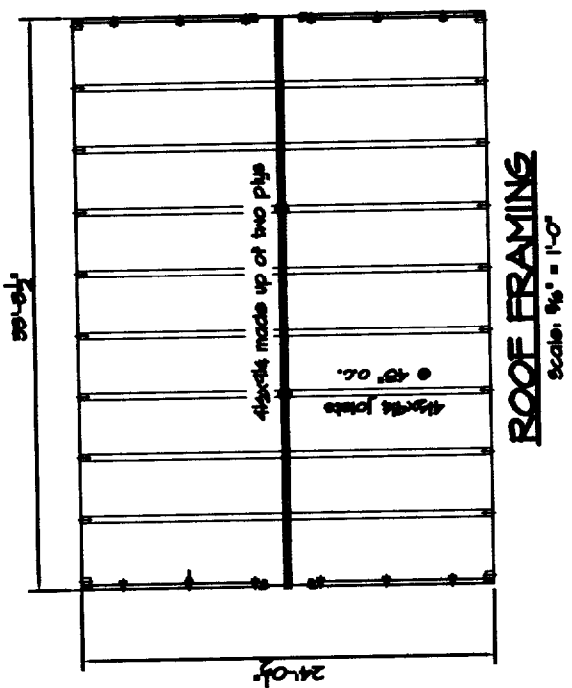
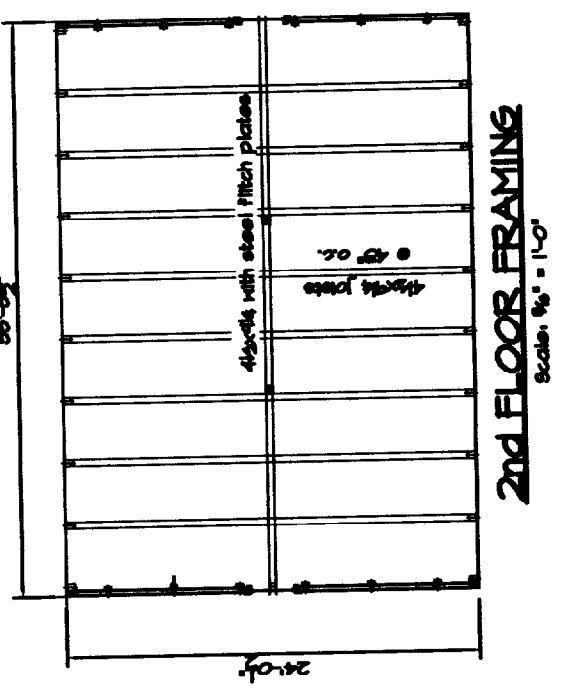
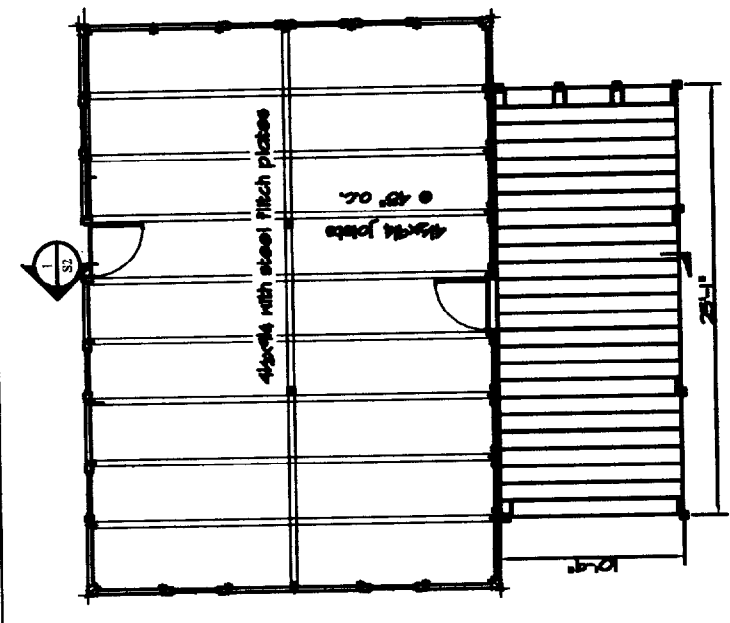
Culver Cottage
Lot 47, Weymouth Way
Great Diamond Island
Portland, ME

PREPARED FOR:
GLENN RUEBROCK
ISLAND COTTAGE
P.O. BOX 280
KITTYRY, ME
207-438-3399

DESIGNED BY: AR
DRAFTED BY: AR
CHECKED BY: AR

ELEVATIONS, FLOOR
PLANS, FOUNDATION
JOB # 03-066
SCALE: AS NOTED
DWG: 1 OF 2

drawing no.
S-1



REV.	DATE	DESCRIPTION OF ISSUE
1	3/2/04	preliminary
2	3/10/04	preliminary
3	3/10/04	for review
4	4/12/04	for review

ALEX ROSS
CIVIL/STRUCTURAL
ENGINEERING SERVICES
24 BREWSTER STREET
PORTSMOUTH, NH 03801
603-433-7560

Culver Cottage
Lot 47, Weymouth Way
Portland, ME

PREPARED FOR:
GLORIA RUSSELL
MELAND COTTAGE
P.O. BOX 300
LETTERTY, ME
207-436-3389

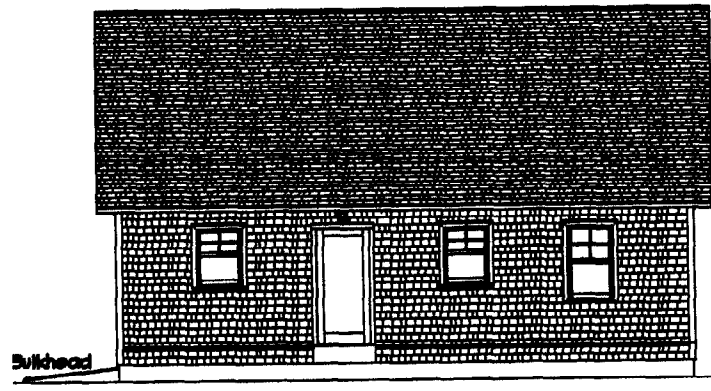
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CHECKED BY: AR

FRAMING & DETAILS
JOB # 03-008
SCALE: AS NOTED
DRAWN 2 OF 2

drawing no.
S-2



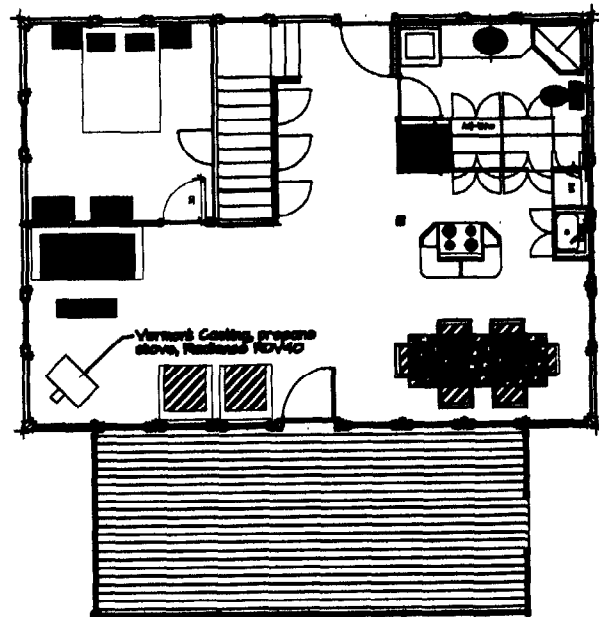
NORTH ELEVATION
Scale: 3/16" = 1'-0"



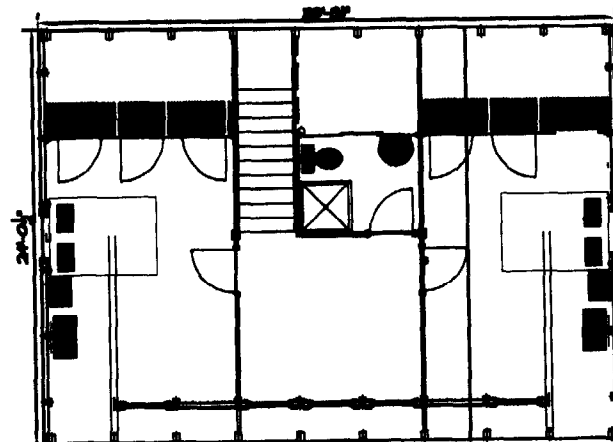
SOUTH ELEVATION
Scale: 3/16" = 1'-0"



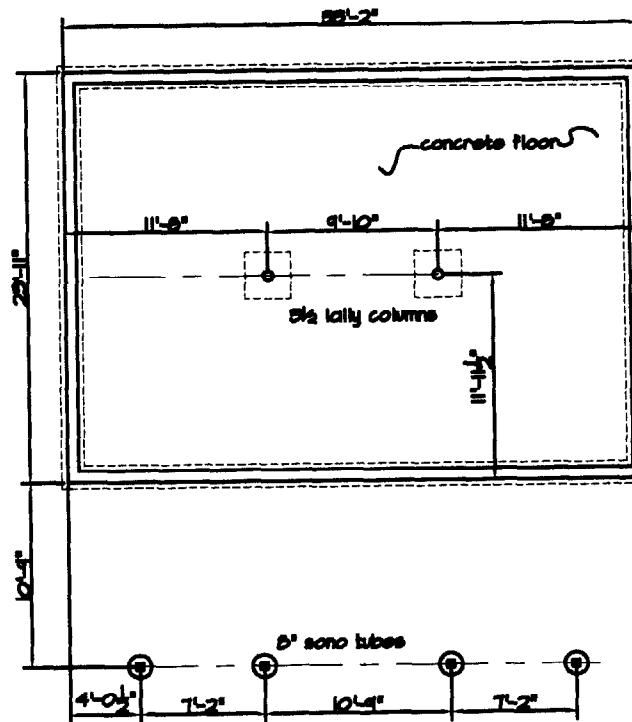
WEST ELEVATION
Scale: 3/16" = 1'-0"



1st FLOOR PLAN
Scale: 1/4" = 1'-0"



2nd FLOOR PLAN
Scale: 1/4" = 1'-0"



Foundation Plan
Scale: 3/16" = 1'-0"

FRAMING NOTES

- 1) ALL DIMENSION LUMBER TO BE Eastern White Pine, GRADE #2 OR BETTER.
P₀ = 875 PSI
F_y = 10 PSI
E = 1,400,000 PSI
- 2) DECK JOISTS TO BE Eastern White Cedar, GRADE #2 OR BETTER.
P₀ = 875 PSI
F_y = 10 PSI
E = 1,400,000 PSI
- 3) CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 4) ALL WOOD IN CONTACT WITH CONCRETE MASONRY OR EARTH SHALL BE PRESURE TREATED WITH A CCA-COAO PROCESS.
- 5) ALL WOOD FRAMING SHALL BE BUILT PLUMB, LEVEL, SQUARE AND TRUE WITH ADEQUATE BRACING AND CONNECTION HARDWARE TO INSURE A RIGID STRUCTURE.
- 6) CONTRACTOR TO TAKE PRECAUTION THAT ALL BEAM END SUPPORTS TRACE DOWN TO SOLID FOOTINGS.
- 7) ALL WORK SHALL COMPLY WITH APPLICABLE BUILDING CODES.
- 8) ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE INSTALLED PER B.O.C.A. SECTION 1014, 1021, & 1024.4.
- 9) SLEEPING WINDOWS FROM ALL SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. PER B.O.C.A. SECTION 1010.4.

- 1) ALL CONSTRUCTION AND FINISHES TO CONFORM TO STATE AND LOCAL BUILDING CODES.
- 2) THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS PRIOR TO PROCEEDING WITH THE WORK.
- 3) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND CONSTRUCTION.
- 4) ALL INSTALLATION OF MECHANICAL, HEATING, VENTILATION AND ELECTRICAL COMPONENTS SHALL BE IN CONFORMANCE WITH BUILDING CODE REQUIREMENTS.
- 5) THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS AND PROVIDE ADEQUATE GUARDS AND BARRIERS TO PREVENT INJURY TO PERSONS AND PROPERTY.
- 6) THE CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATIONS WITH THE APPROPRIATE UTILITY COMPANY.
- 7) DO NOT SCALE. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL CONTRACTORS SHALL REVIEW ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE PROCEEDING. REQUEST CLARIFICATION FOR ANY DIMENSION REQUIRED.
- 8) THE INTENT OF THIS DRAWING IS TO DEPICT THE FOUNDATION & BASIC FRAMING REQUIREMENTS TO SUPPORT VERTICAL LIVE & DEAD LOADS AS PER MPM BOCA CODE REQUIREMENTS.

SOIL BEARING

- 1) FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL PLACED IN 12" LAYERS & COMPACTED TO 95% OF MAXIMUM ATTAINABLE DRY DENSITY. ALL FILL SHALL HAVE A BEARING CAPACITY OF 3000 PSF MIN. IT HAS BEEN ASSUMED THAT THE EXISTING UNDISTURBED SOIL HAS AN ALLOWABLE BEARING CAPACITY OF 3000 PSF MIN.
- 2) REMOVE ALL EXISTING TOPSOIL, PAVEMENT, ORGANIC MATERIALS OR OTHER MATERIAL THAT IS UNSUITABLE FOR FOOTING BEARING.
- 3) IF ANY ADVERSE SOIL CONDITIONS ARE ENCOUNTERED WHICH EXTEND BELOW FOOTING LEVEL, SUCH AS LISTED ABOVE, THE CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONTINUATION.

CONCRETE NOTES

1. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI AFTER 28 DAYS
2. MAXIMUM SLUMP SHALL BE 4"
3. REINFORCING STEEL SHALL BE ASTM A615, GRADE 60
4. REINFORCING BARS SHALL BE LAPPED TO DEVELOP MAXIMUM TENSION OF THE BAR. SPLICES SHALL HAVE A LAP DIMENSION OF:
16" - #4 REINFORCEMENT BAR
25" - #6 REINFORCEMENT BAR
ALL BARS SHALL BE CONTINUOUS AROUND CORNERS.
5. FOR BUILDING CODE REQUIREMENTS FOR PLACING CONCRETE AND REINFORCING, REFER TO ACI 318, ACI 301, AND ACI 304.
6. CONCRETE COVER REQUIREMENTS OVER REINFORCING STEEL SHALL AS FOLLOWS:
AGAINST SOIL.....3"
AGAINST VAPOR BARRIER.....2"
EXTERIOR TOP SLAB.....1 1/2"
INTERIOR TOP SLAB.....1 1/2"
EXTERIOR TOP SLAB.....1 1/2"
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF CONCRETE PLACEMENT SO THAT THE FORMWORK AND REINFORCING MAY BE INSPECTED.
8. PLACING OF CONCRETE SHALL BE A CONTINUOUS OPERATION AVOIDING ANY HORIZONTAL JOINTS; ALL CONCRETE SHALL BE VIBRATED.
9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. WELDED WIRE FABRIC SHALL BE IN THE FORM OF MATS RATHER THAN ROLLS; ALL LAPS SHALL BE A MINIMUM OF ONE GRID WIDTH.
10. MOISTOP UNDERSLAB VAPOR BARRIER SHALL BE AS MANUFACTURED BY FORTIFIBER OR EQUAL CONSISTING OF 2 LAYERS OF EXTRUDED POLYETHYLENE WITH A MEMBRANE OF KRAFT AND GLASS REINFORCING. SEAL JOINTS USING MOISTOP VAPOR BARRIER TAPE OR EQUAL.
11. CONSULT PROJECT OWNER FOR SURFACE FINISHES REQUIRED FOR CONCRETE SLABS.
12. CONCRETE & EARTH SHALL BE ADEQUATELY PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI PUBLICATIONS 302 & 306 RESPECTIVELY. CONCRETE FIXTURES SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
13. RIGID & VIBRATE CONCRETE TO COMPLETELY FILL FORMWORK.
14. FOUNDATION DRAWINGS SHALL BE USED IN CONJUNCTION WITH OTHER PROJECT DRAWINGS AS NECESSARY.
15. FOUNDATION WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CODES AND WITH THE APPLICABLE REQUIREMENTS OF STANDARDS ORGANIZATIONS AND TECHNICAL SOCIETIES SUCH AS THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE CONC. REINFORCING INSTITUTE (CRSI).

REV.	DATE	DESCRIPTION OF CHANGE
1	1/25/04	PRELIMINARY
2	3/20/04	FOR PERMITS
3	3/20/04	FOR PERMITS
4	4/20/04	FOR PERMITS

ALEX ROSS
CIVIL/STRUCTURAL
ENGINEERING SERVICES
34 BREWSTER STREET
PORTSMOUTH, NH 03801
603-433-1560

Culver Cottage
Lot 47, Weymouth Way
Great Diamond Island
Portland, ME

PREPARED FOR:
GLINN RUEBROCK
ISLAND COTTAGE
P.O. BOX 280
KITTY, ME
207-438-3388

DESIGNED BY: AR
DRAFTED BY: AR
CHECKED BY: AR

ELEVATIONS, FLOOR
PLANS, FOUNDATION
JOB # 03-066
SCALE: AS NOTED
DWR 1 OF 2

drawing no.
S-1