

DATE OF ISSUE

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 ISSUED FOR PERMIT - 4 MARCH 2013
 ISSUED FOR CONSTRUCTION - 01 JUNE 2013
 ISSUED FOR CONSTRUCTION POST FIRE - 03 FEB 2014

SQUARE FOOTAGES

EXISTING BUILDING FOOTPRINT = 13,629 Sq Ft
 TOTAL BUILDING FOOTPRINT = 16,510 Sq Ft

TOTAL BUILDING GROSS SQ FT = 54,065 SqFt
 Basement Floor = 13,983 SqFt
 First Floor = 16,510 SqFt
 Second Floor = 14,189 SqFt
 Third Floor = 9,383 SqFt

Unit	Lower	Upper	Total
100	679	674	1353
106	729	632	1361
110	856	681	1537
113	---	1253	1253
116	---	1007	1007
115	1068	870	1938
120	---	1007	1007
121	1042	870	1912
123	---	1253	1253
126	856	681	1537
130	729	632	1361
136	679	674	1353
202	963	---	963
206	1107	---	1107
213	1252	---	1252
215	870	728	1598
216	1140	---	1140
221	870	728	1598
220	1138	---	1138
223	1252	---	1252
230	1107	---	1107
234	963	---	963

UNIT COUNT
 22 UNITS
 22 LOCKOUT UNITS
 44 TOTAL KEYS

RELEVANT CODES

INTERNATIONAL BUILDING CODE 2009

OCCUPANCY R-1 (HOTEL)
 CONSTRUCTION TYPE V-B
 SPRINKLED W/NFPA 13R (WITH MODIFICATIONS - SEE CITY OF PORTLAND NOTES)
 ALLOWABLE AREA - 21,000 SQ.FT. (TABULAR AREA PLUS SPRINKLER INCREASE)
 PROPOSED FLOOR AREA (16,510 SQ.FT.)
 ALLOWABLE HEIGHT (3) STORIES (TABULAR HGT. PLUS SPRINKLER INCREASE)
 PROPOSED HEIGHT (3) STORIES
 FIRE RESISTANCE RATING STRUCTURAL FRAME (0 HOUR)
 FIRE RESISTANCE RATING BEARING WALLS (0 HOUR)
 FIRE RESISTANCE RATING NON-BEARING WALLS AND PARTITIONS (0 HOURS)
 FIRE RESISTANCE RATING FLOOR CONSTRUCTION (0 HOUR)
 FIRE RESISTANCE RATING ROOF CONSTRUCTION (0 HOUR)

FIRE PARTITIONS

CORRIDOR FIRE PARTITION 1-HOUR (PER NFPA)
 CORRIDOR DOORS .33 HOURS IN 1 HOUR WALL
 CORRIDOR DOORS TO HAVE SMOKE CONTROL
 DWELLING UNIT SEPARATION - 1 HOUR
 3-STORY SHAFT - 1 HOUR (INCLUDING ELEVATOR SHAFT)
 DRAFTSTOPPING OR SPRINKLE CONCEALED SPACES
 ELEVATOR LOBBIES NOT REQUIRED FOR FIRE
 FIRE DEPT. CONNECTION REQUIRED
 ALARM REQUIRED
 AUTOMATIC SMOKE DETECTION REQUIRED
 SINGLE AND MULTI STATION SMOKE ALARMS REQUIRED
 ELEVATOR MACHINE ROOM - 1-HOUR
 ELEVATOR HOISTWAY SMOKE VENTING NOT REQUIRED

MEANS OF EGRESS

R-1 OCCUPANT LOAD 16,510/200=83
 MINIMUM REQUIRED CORRIDOR WIDTH - 44"
 ELEVATOR BACKUP GENERATOR NOT REQUIRED
 ROOF HATCH - NOT REQUIRED
 DEAD END CORRIDORS < 50 FT.
 STAIR SHAFT LESS THAN FOUR STORIES - 1 HOUR

MAINE HUMAN RIGHTS COMMISSION

ACCESSIBILITY CODE TO BE ANSI A117.1 - 2003
 TWO (2) GUEST ROOMS MUST MEET ANSI A117.1 - ACCESSIBILITY

REFERENCE

310
 7601
 903.3.1.2
 7503
 7503
 504.2
 7601
 7601
 7601
 7601
 7601
 708.1
 T-1018.1 (EX. 2)/NFPA 7.1.3.1
 T-715.4
 715.4.3.1
 708.3 (EX. 2)
 708.4
 717.3.2 (EX. 2)
 708.14.1
 903.3.6 (AS DIRECTED BY FIRE)
 907.2.8
 907.2.10.2
 907.2.11
 3006.4
 3004.1
 1003
 T-1004.1.1
 1018.2
 1007.2.1
 1009.13
 1018.4 EX. 2
 1022.1

NFPA 101 - 2009

OCCUPANCY - HOTEL
 ATTIC DRAFTSTOPPED IN AREAS <3000 SQ.FT.
 ATTIC PROTECTED WITH GYP ON ROOF FRAMING PER CITY OF PORTLAND
 ATTIC DRAFTSTOPPING PROVIDED
 HOTEL SPRINKLED WITH NFPA 13R WITH MODIFICATIONS
 CONSTRUCTION TYPE V(000)
 STAIR MATERIALS SAME AS BUILDING CONSTRUCTION
 DEAD END CORRIDOR < 50 FT.
 SPRINKLED BLDG. EXIT ENCLOSURE 1 HOUR
 AREA OF REFUGE NOT REQUIRED
 HISTORIC BUILDING
 EXIT STAIRSHAFT AND DOORS 1 HOUR
 200' TRAVEL DISTANCE WITH SPRINKLER
 200' TRAVEL REQUIRES 1 HOUR CORRIDOR
 BULK LAUNDRY AND TRASH ROOMS 1 HOUR

CITY OF PORTLAND

CITY OF PORTLAND CODE OF ORDINANCES SEC. 10-1
 FIRE PREVENTION AND PROTECTION CHAPTER 10, REV. 8-1-12
 AGREEMENT WITH CITY OF PORTLAND FOR SPRINKLER MODIFICATIONS ABOVE NFPA 13R:
 1. ALL HABITABLE AREAS OF THE BUILDING WILL BE PROTECTED WITH NFPA 13R WET PIPE SPRINKLER SYSTEM.
 2. ALL EXTERIOR DECKS AND CANOPIES WILL BE PROTECTED WITH AN ANTI-FREEZE SYSTEM USING A DESIGN AREA BASED ON NFPA 13R
 3. THERE WILL BE A MANUAL WET CLASS I STANDPIPE INTERCONNECTED BETWEEN THE TWO STAIR TOWERS ONE ON EACH SIDE OF THE BUILDING
 4. ALL WOOD FRAMING IN THE ATTIC WILL BE COVERED WITH GYPSUM WALL BOARD THEREFORE CHANGING THAT SPACE FROM A COMBUSTIBLE CONCEALED SPACE TO A NON-COMBUSTIBLE CONCEALED SPACE THAT WILL NOT REQUIRE SPRINKLER PROTECTION.
 5. PROVIDE TWO-WAY COMMUNICATION PANELS AT EACH ELEVATOR LOBBY - ALL FLOORS

INT. ENERGY CONSERVATION CODE (IECC) 2009

EXISTING BUILDING EXEMPT UNDER HISTORIC
 NEW ADDITION
 ROOF ABOVE DECK=R 20
 ATTIC=R 38
 SLAB ON GRADE= R 15 FOR 24" BELOW

REFERENCE

6.1.8.1.3
 8.6.10.1
 9.7.1.1 (3)
 TABLE A.8.2.1.2
 7.2.2.3.1.2
 28.2.5.6
 28.2.2.1.2
 28.2.2.12.2
 43.10
 28.2.2.1.2
 28.2.6.3.3.1
 28.2.6.3.3.2
 T28.3.2.2

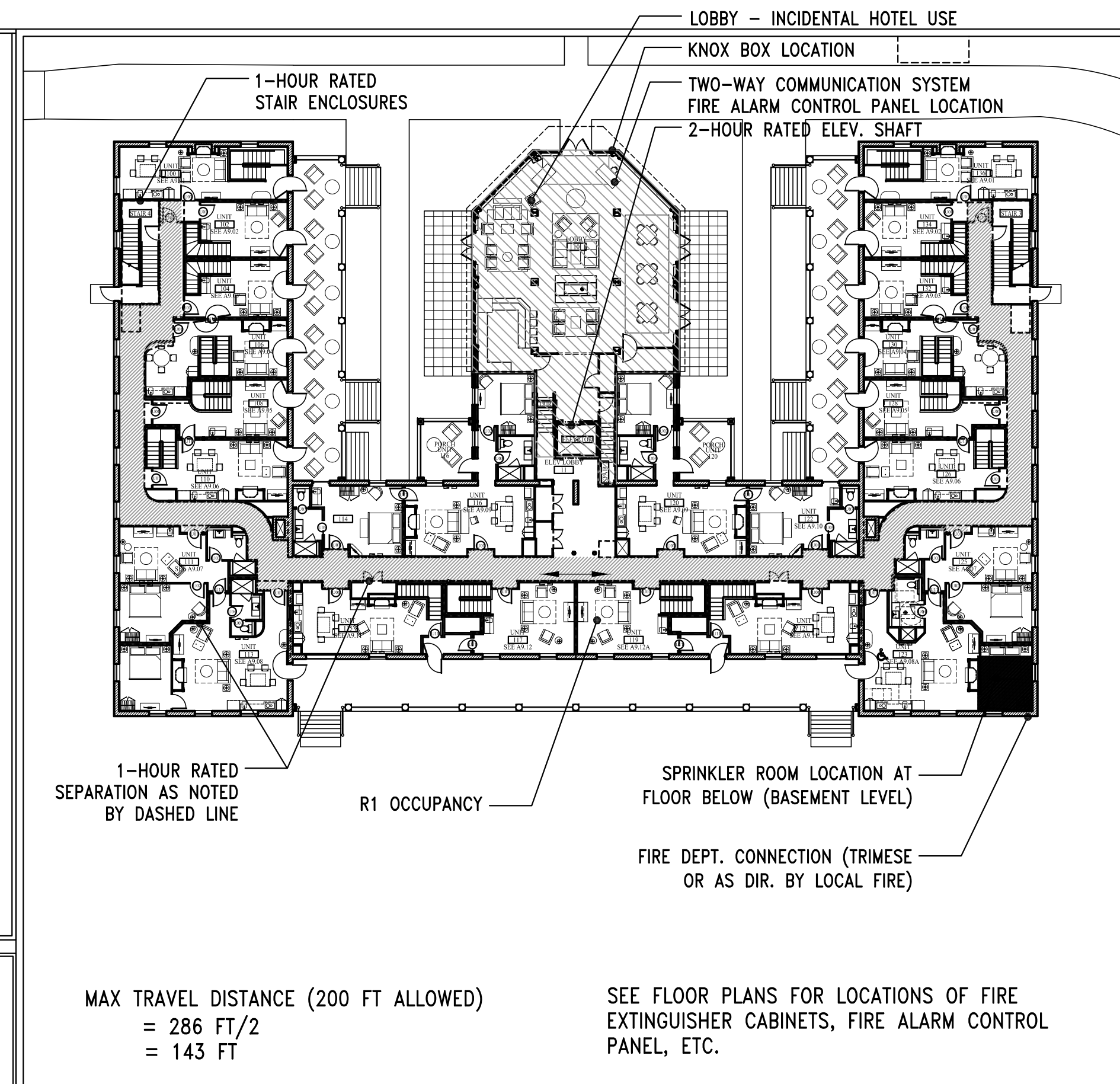
REFERENCE

101.4.1
 T502.1.2

THE INN AT DIAMOND COVE

McKINLEY COURT

GREAT DIAMOND ISLAND, ME



DRAWING LIST

COVER SHEET

GENERAL NOTES

GN-1 GENERAL NOTES

STRUCTURAL DRAWINGS

S1.0 FOUNDATION PLAN
 S1.1 GENERAL NOTES EXISTING FOUNDATION AND BASEMENT FRAMING PLAN
 S2.0 FIRST FLOOR FRAMING PLAN
 S2.1 FIRST FLOOR FRAMING PLAN
 S3.0 SECOND FLOOR FRAMING PLAN
 S3.1 SECOND FLOOR AND LOWER ROOF FRAMING PLAN
 S4.0 THIRD FLOOR FRAMING PLAN
 S4.1 THIRD FLOOR AND HIGH ROOF FRAMING PLAN
 S5.0 ROOF FRAMING PLAN
 S6.0 STRUCTURAL SECTIONS AND DETAILS
 S7.0 COLUMN SCHEDULE AND FRAMING SECTIONS

ARCHITECTURAL DRAWINGS

A0.01 LIFE SAFETY BASEMENT PLAN
 A0.02 LIFE SAFETY FIRST FLOOR PLAN
 A0.03 LIFE SAFETY SECOND FLOOR PLAN
 A0.04 LIFE SAFETY THIRD FLOOR PLAN
 A1.00 BASEMENT FLOOR PLAN
 A1.01 FIRST FLOOR PLAN
 A1.02 SECOND FLOOR PLAN
 A1.03 THIRD FLOOR PLAN
 A1.04 ROOF PLAN
 A2.01 BUILDING ELEVATIONS
 A2.02 BUILDING ELEVATIONS
 A2.03 BUILDING ELEVATIONS
 A2.10 CABANA PLANS, ELEVATIONS & SECTIONS
 A2.11 CABANA DECK PLAN
 A3.01 BUILDING SECTIONS
 A3.02 BUILDING SECTIONS
 A3.10 WALL SECTIONS
 A3.11 PORCH SECTIONS
 A3.20 ELEVATOR SECTION & DETAILS
 A3.21 STAIR SECTION, PLANS AND DETAILS
 A4.01 WALL TYPES
 A4.02 WALL TYPES
 A4.03 FLOOR TYPES
 A4.04 FLOOR TYPES
 A5.01 DETAILS
 A5.02 DETAILS
 A5.10 WINDOW DETAILS
 A5.11 WINDOW DETAILS
 A6.00 BASEMENT REFLECTED CEILING PLAN
 A6.01 FIRST FLOOR REFLECTED CEILING PLAN
 A6.02 SECOND FLOOR REFLECTED CEILING PLAN
 A6.03 THIRD FLOOR REFLECTED CEILING PLAN
 A6.10 BASEMENT FLOOR FINISH SCHEDULE
 A6.11 FIRST FLOOR FLOOR FINISH SCHEDULE
 A6.12 SECOND FLOOR FLOOR FINISH SCHEDULE
 A6.13 THIRD FLOOR FLOOR FINISH SCHEDULE
 A7.00 LOBBY INTERIOR ELEVATIONS
 A7.01 LOBBY INTERIOR ELEVATIONS
 A7.02 INTERIOR MILLWORK DETAILS
 A7.10 PUBLIC RESTROOM INTERIOR ELEVATIONS
 A8.00 DOOR SCHEDULE
 A8.10 FURNISHING KEY PLAN
 A9.00 MILLWORK DETAILS
 A9.00A MILLWORK DETAILS
 A9.00B MILLWORK DETAILS
 A9.01 INTERIOR ELEVATIONS UNITS 100, 136
 A9.02 INTERIOR ELEVATIONS UNITS 102, 134
 A9.03 INTERIOR ELEVATIONS UNITS 104, 132
 A9.04 INTERIOR ELEVATIONS UNITS 106, 130
 A9.05 INTERIOR ELEVATIONS UNITS 108, 128
 A9.06 INTERIOR ELEVATIONS UNITS 110, 126
 A9.07 INTERIOR ELEVATIONS UNITS 111, 125
 A9.08 INTERIOR ELEVATIONS UNITS 113
 A9.08A INTERIOR ELEVATIONS UNITS 123
 A9.09 INTERIOR ELEVATIONS UNITS 116
 A9.09A INTERIOR ELEVATIONS UNITS 120
 A9.10 INTERIOR ELEVATIONS UNITS 114, 122
 A9.11 INTERIOR ELEVATIONS UNITS 115, 121
 A9.12 INTERIOR ELEVATIONS UNITS 117
 A9.12A INTERIOR ELEVATIONS UNITS 119
 A9.13 INTERIOR ELEVATIONS UNITS 200, 236
 A9.14 INTERIOR ELEVATIONS UNITS 202, 234
 A9.15 INTERIOR ELEVATIONS UNITS 206, 230
 A9.16 INTERIOR ELEVATIONS UNITS 210, 226
 A9.17 INTERIOR ELEVATIONS UNITS 211, 225
 A9.18 INTERIOR ELEVATIONS UNITS 213, 223
 A9.19 INTERIOR ELEVATIONS UNITS 215
 A9.19A INTERIOR ELEVATIONS UNITS 221
 A9.20 INTERIOR ELEVATIONS UNITS 217, 219
 A9.21 INTERIOR ELEVATIONS UNITS 216
 A9.21A INTERIOR ELEVATIONS UNITS 214
 A9.22 INTERIOR ELEVATIONS UNITS 220, 222

MECHANICAL DRAWINGS

M1.00 BASEMENT MECHANICAL PLAN
 M1.01 FIRST FLOOR MECHANICAL PLAN
 M1.02 SECOND FLOOR MECHANICAL PLAN
 M1.03 THIRD FLOOR MECHANICAL PLAN
 M2.00 BASEMENT PLUMBING PLAN
 M2.01 FIRST FLOOR PLUMBING PLAN
 M2.02 SECOND FLOOR MECHANICAL PLAN

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