

LAYOUT DATA TABLE:

PT. #	DESCRIPTION	NORTHING	EASTING
1	SURVEY CONTROL PT.	N 10000	E 10000
2	SURVEY CONTROL PT.	N 9878.622	E 9813.5874
3	SURVEY CONTROL PT.	N 9734.6052	E 9916.5934
4	BUILDING CORNER	N 9791.7564	E 9907.6251
5	BUILDING CORNER	N 9826.811	E 9884.3529

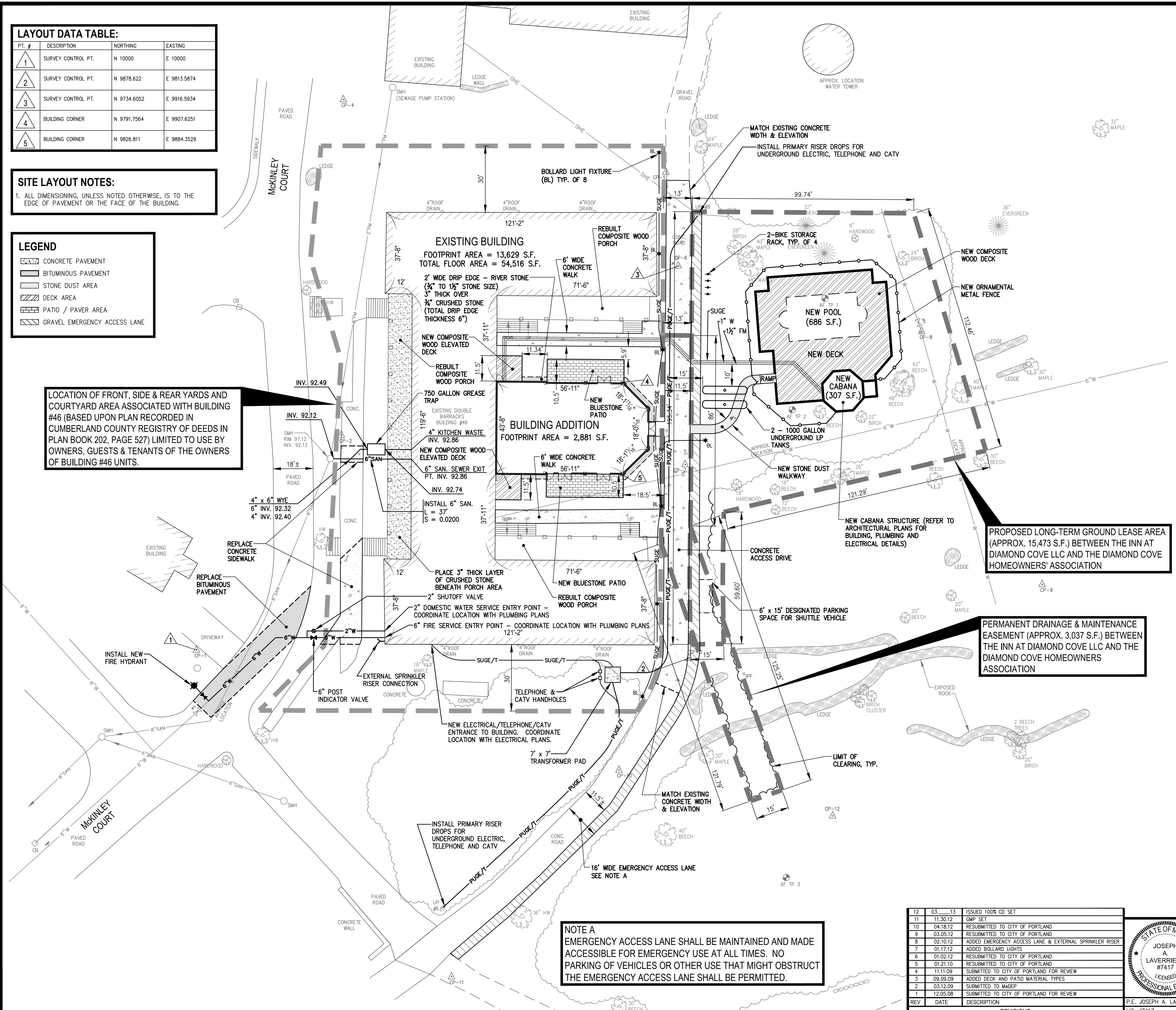
SITE LAYOUT NOTES:

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE EDGE OF PAVEMENT OR THE FACE OF THE BUILDING.

LEGEND

- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT
- STONE DUST AREA
- DECK AREA
- PATIO / PAVER AREA
- GRAVEL EMERGENCY ACCESS LANE

LOCATION OF FRONT, SIDE & REAR YARDS AND COURTYARD AREA ASSOCIATED WITH BUILDING #46 (BASED UPON PLAN RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 202, PAGE 527) LIMITED TO USE BY OWNERS, GUESTS & TENANTS OF THE OWNERS OF BUILDING #46 UNITS.



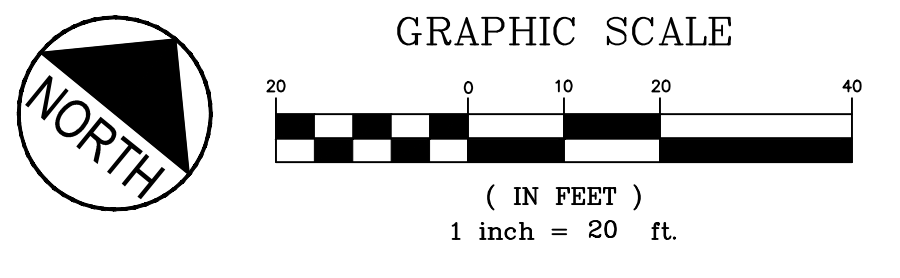
SUMMARY OF PROPOSED HOTEL CONDOMINIUM UNITS

FLOOR	UNIT NUMBER	LOCKOUT UNIT (Y / N)
BASEMENT/FIRST FLOOR	101	Y
BASEMENT/FIRST FLOOR	102	Y
BASEMENT/FIRST FLOOR	103	Y
BASEMENT/FIRST FLOOR	106	Y
BASEMENT/FIRST FLOOR	108	Y
BASEMENT/FIRST FLOOR	110	Y
BASEMENT/FIRST FLOOR	111	Y
BASEMENT/FIRST FLOOR	112	Y
FIRST	104	Y
FIRST	105	Y
FIRST	107	Y
FIRST	109	Y
SECOND FLOOR	201	Y
SECOND FLOOR	202	Y
SECOND FLOOR	203	Y
SECOND FLOOR	205	Y
SECOND FLOOR	207	Y
SECOND FLOOR	208	Y
SECOND FLOOR	209	Y
SECOND FLOOR	210	Y
SECOND/THIRD FLOOR	204	Y
SECOND/THIRD FLOOR	206	Y
TOTAL UNITS 22		TOTAL LOCKOUTS 22

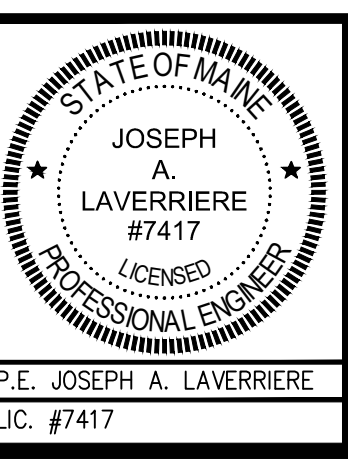
PROPOSED LONG-TERM GROUND LEASE AREA (APPROX. 15,473 S.F.) BETWEEN THE INN AT DIAMOND COVE LLC AND THE DIAMOND COVE HOMEOWNERS' ASSOCIATION

PERMANENT DRAINAGE & MAINTENANCE EASEMENT (APPROX. 3,037 S.F.) BETWEEN THE INN AT DIAMOND COVE LLC AND THE DIAMOND COVE HOMEOWNERS ASSOCIATION

NOTE A
EMERGENCY ACCESS LANE SHALL BE MAINTAINED AND MADE ACCESSIBLE FOR EMERGENCY USE AT ALL TIMES. NO PARKING OF VEHICLES OR OTHER USE THAT MIGHT OBSTRUCT THE EMERGENCY ACCESS LANE SHALL BE PERMITTED.



REV	DATE	DESCRIPTION
12	03.13	ISSUED 100% CD SET
11	11.30.12	CMP SET
10	04.18.12	RESUBMITTED TO CITY OF PORTLAND
9	03.05.12	RESUBMITTED TO CITY OF PORTLAND
8	02.10.12	ADDED EMERGENCY ACCESS LANE & EXTERNAL SPRINKLER RISER
7	01.17.12	ADDED BOLLARD LIGHTS
6	01.02.12	RESUBMITTED TO CITY OF PORTLAND
5	01.21.10	RESUBMITTED TO CITY OF PORTLAND
4	11.11.09	SUBMITTED TO CITY OF PORTLAND FOR REVIEW
3	09.09.09	ADDED DECK AND PATIO MATERIAL TYPES
2	03.12.09	SUBMITTED TO MDEP
1	12.05.08	SUBMITTED TO CITY OF PORTLAND FOR REVIEW



PROJECT
THE INN AT DIAMOND COVE

SHEET TITLE
SITE LAYOUT & UTILITY PLAN

CLIENT
THE INN AT DIAMOND COVE LLC

DeLUCA-HOFFMAN ASSOCIATES, INC.
 778 MAIN STREET, SUITE 8
 SOUTH PORTLAND, ME 04106
 207.775.1121
 WWW.DELUCAHOFFMAN.COM

DRAWN: CDD DATE: DEC. 2008
 DESIGNED: JAL SCALE: 1" = 20'
 CHECKED: JAL JOB NO. 2769
 FILE NAME: 2769-SP
 SHEET: C-4