

## DATE OF ISSUE

Issued for SFMO Permit - 22 Feb. 2011  
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 REVISIONS - 25 JANUARY 2013 MSFO REVIEW  
 ISSUED FOR PERMIT - 4 MARCH 2013

## SQUARE FOOTAGES

EXISTING BUILDING FOOTPRINT = 13,629 Sq Ft  
 TOTAL BUILDING FOOTPRINT = 16,510 Sq Ft

TOTAL BUILDING GROSS SQ FT = 54,065 SqFt  
 Basement Floor = 13,983 SqFt  
 First Floor = 16,510 SqFt  
 Second Floor = 14,189 SqFt  
 Third Floor = 9,383 SqFt

Unit	Lower	Upper	Total
101	679	674	1353
102	729	632	1361
103	856	681	1537
104	---	1253	1253
105	---	1007	1007
106	1068	870	1938
107	---	1007	1007
108	1042	870	1912
109	---	1253	1253
110	856	681	1537
111	729	632	1361
112	679	674	1353

201	963	---	963
202	1107	---	1107
203	1252	---	1252
204	870	728	1598
205	1140	---	1140
206	870	728	1598
207	1138	---	1138
208	1252	---	1252
209	1107	---	1107
210	963	---	963

UNIT COUNT  
 22 UNITS  
 22 LOCKOUT UNITS  
 44 TOTAL KEYS

## RELEVANT CODES

### INTERNATIONAL BUILDING CODE 2009

OCCUPANCY R-1 (HOTEL)  
 CONSTRUCTION TYPE V-B  
 SPRINKLED W/NFPA 13R (WITH MODIFICATIONS - SEE CITY OF PORTLAND NOTES)  
 ALLOWABLE AREA - 21,000 SQ.FT. (TABULAR AREA PLUS SPRINKLER INCREASE)  
 PROPOSED FLOOR AREA (16,510 SQ.FT.)  
 ALLOWABLE HEIGHT (3) STORIES (TABULAR HGT. PLUS SPRINKLER INCREASE)  
 PROPOSED HEIGHT (3) STORIES  
 FIRE RESISTANCE RATING STRUCTURAL FRAME (0 HOUR)  
 FIRE RESISTANCE RATING BEARING WALLS (0 HOUR)  
 FIRE RESISTANCE RATING NON-BEARING WALLS AND PARTITIONS (0 HOURS)  
 FIRE RESISTANCE RATING FLOOR CONSTRUCTION (0 HOUR)  
 FIRE RESISTANCE RATING ROOF CONSTRUCTION (0 HOUR)

### FIRE PARTITIONS

CORRIDOR FIRE PARTITION 1-HOUR (PER NFPA)  
 CORRIDOR DOORS .33 HOURS IN 1 HOUR WALL  
 CORRIDOR DOORS TO HAVE SMOKE CONTROL  
 DWELLING UNIT SEPARATION - 1 HOUR  
 3-STORY SHAFT - 1 HOUR (INCLUDING ELEVATOR SHAFT)  
 DRAFTSTOPPING OR SPRINKLE CONCEALED SPACES  
 ELEVATOR LOBBIES NOT REQUIRED FOR FIRE  
 FIRE DEPT. CONNECTION REQUIRED  
 ALARM REQUIRED  
 AUTOMATIC SMOKE DETECTION REQUIRED  
 SINGLE AND MULTI STATION SMOKE ALARMS REQUIRED  
 ELEVATOR MACHINE ROOM - 1-HOUR  
 ELEVATOR HOISTWAY SMOKE VENTING NOT REQUIRED

### MEANS OF EGRESS

R-1 OCCUPANT LOAD 16,510/200=83  
 MINIMUM REQUIRED CORRIDOR WIDTH - 44"  
 ELEVATOR BACKUP GENERATOR NOT REQUIRED  
 ROOF HATCH - NOT REQUIRED  
 DEAD END CORRIDORS < 50 FT.  
 STAIR SHAFT LESS THAN FOUR STORIES - 1 HOUR

### MAINE HUMAN RIGHTS COMMISSION

ACCESSIBILITY CODE TO BE ANSI A117.1 - 2003  
 TWO (2) GUEST ROOMS MUST MEET ANSI A117.1 - ACCESSIBILITY

### REFERENCE

310  
 7601  
 903.3.1.2  
 7503  
 7503  
 504.2  
 7601  
 7601  
 7601  
 7601  
 7601  
 7601

### FIRE PARTITIONS

708.1  
 T-1018.1 (EX. 2)/NFPA 7.1.3.1  
 T-715.4  
 715.4.3.1  
 709.3 (EX. 2)  
 708.4  
 717.3.2 (EX. 2)  
 708.14.1  
 903.3.6 (AS DIRECTED BY FIRE)  
 907.2.8  
 907.2.10.2  
 907.2.11  
 3006.4  
 3004.1

### MEANS OF EGRESS

1003  
 T-1004.1.1  
 1018.2  
 1007.2.1  
 1009.13  
 1018.4 EX. 2  
 1022.1

### NFPA 101 - 2009

OCCUPANCY - HOTEL  
 ATTIC DRAFTSTOPPED IN AREAS <3000 SQ.FT.  
 ATTIC PROTECTED WITH GYP ON ROOF FRAMING PER CITY OF PORTLAND  
 ATTIC SPRINKLED WITH NFPA 13R  
 HOTEL SPRINKLED WITH NFPA 13R  
 CONSTRUCTION TYPE V(000)  
 STAIR MATERIALS SAME AS BUILDING CONSTRUCTION  
 DEAD END CORRIDOR < 50 FT.  
 SPRINKLED BLDG. EXIT ENCLOSURE 1 HOUR  
 AREA OF REFUGE NOT REQUIRED  
 HISTORIC BUILDING  
 EXIT STAIRSHAFT AND DOORS 1 HOUR  
 200' TRAVEL DISTANCE WITH SPRINKLER  
 200' TRAVEL REQUIRES 1 HOUR CORRIDOR  
 BULK LAUNDRY AND TRASH ROOMS 1 HOUR

### CITY OF PORTLAND

CITY OF PORTLAND CODE OF ORDINANCES SEC. 10-1  
 FIRE PREVENTION AND PROTECTION CHAPTER 10, REV. 8-1-12  
 AGREEMENT WITH CITY OF PORTLAND FOR SPRINKLER MODIFICATIONS ABOVE NFPA 13R:  
 1. ALL HABITABLE AREAS OF THE BUILDING WILL BE PROTECTED WITH NFPA 13R WET PIPE SPRINKLER SYSTEM.  
 2. ALL EXTERIOR DECKS AND CANOPIES WILL BE PROTECTED WITH AN ANTI-FREEZE SYSTEM USING A DESIGN AREA BASED ON NFPA 13R  
 3. THERE WILL BE A MANUAL WET CLASS I STANDPIPE INTERCONNECTED BETWEEN THE TWO STAIR TOWERS ONE ON EACH SIDE OF THE BUILDING  
 4. ALL WOOD FRAMING IN THE ATTIC WILL BE COVERED WITH GYPSUM WALL BOARD THEREFORE CHANGING THAT SPACE FROM A COMBUSTIBLE CONCEALED SPACE TO A NON-COMBUSTIBLE CONCEALED SPACE THAT WILL NOT REQUIRE SPRINKLER PROTECTION.

### INT. ENERGY CONSERVATION CODE (IECC) 2009

EXISTING BUILDING EXEMPT UNDER HISTORIC  
 NEW ADDITION  
 ROOF ABOVE DECK=R 20  
 ATTIC=R 38  
 SLAB ON GRADE= R 15 FOR 24" BELOW

### REFERENCE

6.1.8.1.3  
 8.6.10.1  
 9.7.1.1 (3)  
 TABLE A.8.2.1.2  
 7.2.2.3.1.2  
 30.2.5.4.2  
 30.2.2.1.2  
 30.2.2.1.2  
 43.10  
 28.2.2.1.2  
 28.2.6.3.3.1  
 28.2.6.3.3.2  
 728.3.2.2.2

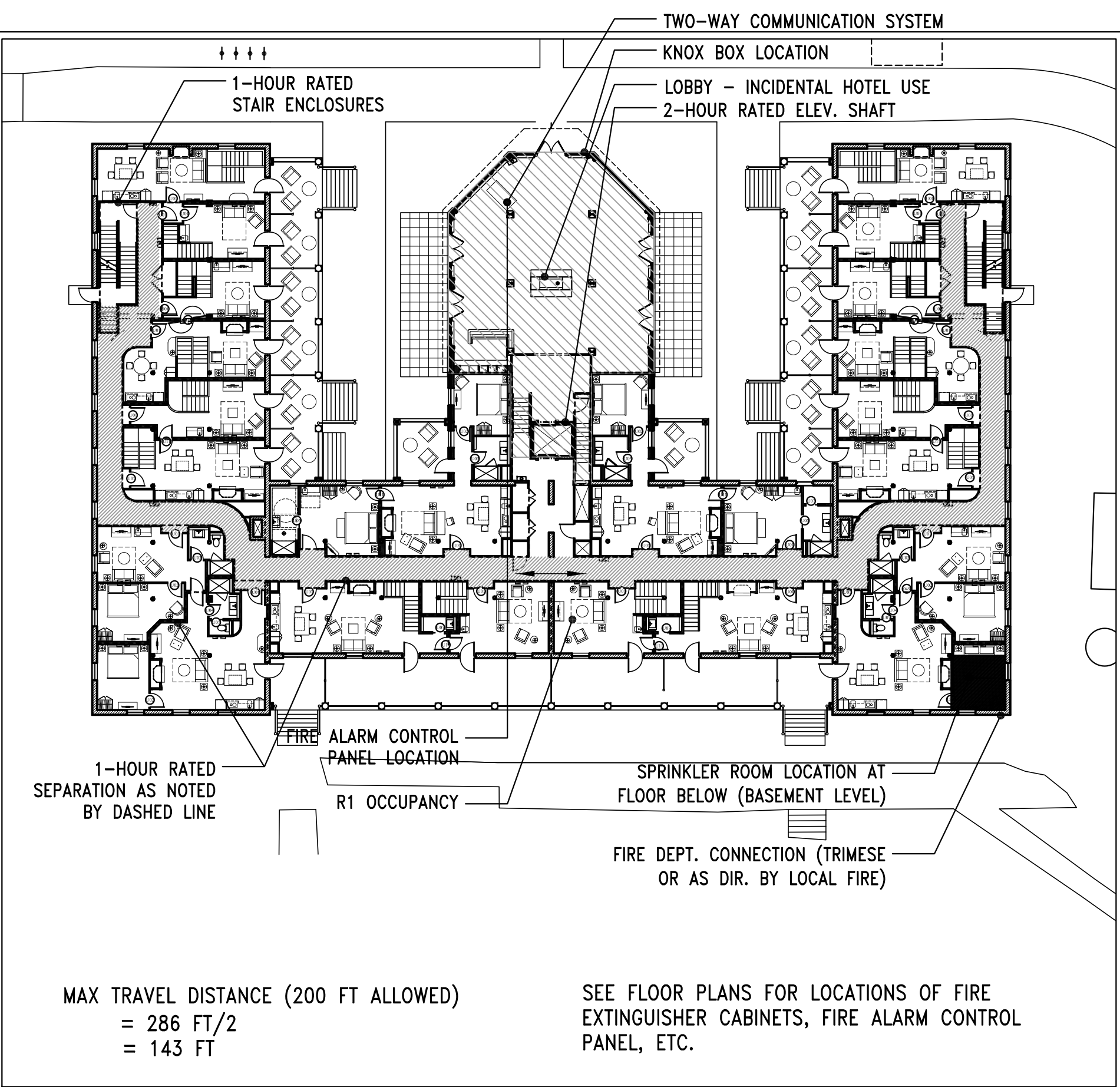
### SEC. 10-1

101.4.1  
 T502.1.2

# THE INN AT DIAMOND COVE

## McKINLEY COURT

### GREAT DIAMOND ISLAND, ME



MAX TRAVEL DISTANCE (200 FT ALLOWED)  
 = 286 FT/2  
 = 143 FT

SEE FLOOR PLANS FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS, FIRE ALARM CONTROL PANEL, ETC.

## DRAWING LIST

### CIVIL DRAWINGS

- C1 SITE COVER SHEET
- C2 GENERAL NOTES AND LEGEND
- C3 EXISTING CONDITIONS AND DEMO PLAN
- C4 SITE LAYOUT & UTILITY PLAN
- C5 OVERALL GRADING, DRAINAGE, AND EROSION CONTROL PLAN
- C6 DETAILED GRADING PLAN (10 SCALE)
- C7 LANDSCAPE PLAN
- C8 EROSION CONTROL DETAILS & NARRATIVE
- C9 SITE DETAILS
- C9A SITE ELECTRICAL DETAILS
- C10 SITE DETAILS
- C11 WATER SYSTEM IMPROVEMENT PLAN

### DEMO DRAWINGS

- D0.10 BASEMENT DEMOLITION PLAN
- D0.11 FIRST FLOOR DEMOLITION PLAN
- D0.12 SECOND FLOOR DEMOLITION PLAN
- D0.13 THIRD FLOOR DEMOLITION PLAN
- D0.14 ROOF DEMOLITION PLAN

### STRUCTURAL DRAWINGS

- S1.0 GENERAL NOTES, FOUNDATION AND BASEMENT FRAMING PLAN
- S2.0 FIRST FLOOR FRAMING PLAN
- S3.0 SECOND FLOOR AND ADDITION LOW ROOF FRAMING PLAN
- S4.0 THIRD FLOOR AND ADDITION HIGH ROOF FRAMING PLAN
- S5.0 EXISTING ROOF FRAMING PLAN
- S6.0 FOUNDATION SECTIONS AND DETAILS
- S7.0 COLUMN SCHEDULE AND FRAMING SECTIONS

### ARCHITECTURAL DRAWINGS

- A0.01 LIFE SAFETY BASEMENT PLAN
- A0.02 LIFE SAFETY FIRST FLOOR PLAN
- A0.03 LIFE SAFETY SECOND FLOOR PLAN
- A0.04 LIFE SAFETY THIRD FLOOR PLAN
- A1.00 BASEMENT FLOOR PLAN
- A1.01 FIRST FLOOR PLAN
- A1.02 SECOND FLOOR PLAN
- A1.03 THIRD FLOOR PLAN
- A1.04 ROOF PLAN
- A2.01 BUILDING ELEVATIONS
- A2.02 BUILDING ELEVATIONS
- A2.10 CABANA PLANS, ELEVATIONS & SECTIONS
- A2.11 CABANA DECK PLAN
- A3.01 BUILDING SECTIONS
- A3.02 BUILDING SECTIONS
- A3.10 WALL SECTIONS
- A3.11 PORCH SECTIONS
- A3.20 ELEVATOR SECTION & DETAILS
- A3.21 STAIR SECTION, PLANS AND DETAILS
- A4.01 WALL TYPES
- A4.02 FLOOR TYPES
- A5.01 DETAILS
- A5.10 WINDOW DETAILS
- A5.11 WINDOW DETAILS
- A6.00 BASEMENT REFLECTED CEILING PLAN
- A6.01 FIRST FLOOR REFLECTED CEILING PLAN
- A6.02 SECOND FLOOR REFLECTED CEILING PLAN
- A6.03 THIRD FLOOR REFLECTED CEILING PLAN
- A6.10 BASEMENT FLOOR FINISH SCHEDULE
- A6.11 FIRST FLOOR FLOOR FINISH SCHEDULE
- A6.12 SECOND FLOOR FLOOR FINISH SCHEDULE
- A6.13 THIRD FLOOR FLOOR FINISH SCHEDULE
- A7.00 LOBBY INTERIOR ELEVATIONS
- A7.01 LOBBY INTERIOR ELEVATIONS
- A7.02 INTERIOR MILLWORK DETAILS
- A8.00 DOOR SCHEDULE
- A8.10 FURNISHING KEY PLAN
- A9.00 MILLWORK DETAILS
- A9.00A MILLWORK DETAILS
- A9.01 INTERIOR ELEVATIONS UNITS 101A,112A
- A9.02 INTERIOR ELEVATIONS UNITS 101B,112B
- A9.03 INTERIOR ELEVATIONS UNITS 102B,111B
- A9.04 INTERIOR ELEVATIONS UNITS 102A,111A
- A9.05 INTERIOR ELEVATIONS UNITS 103B,110B
- A9.06 INTERIOR ELEVATIONS UNITS 103A,110A
- A9.07 INTERIOR ELEVATIONS UNITS 104B,109B
- A9.08 INTERIOR ELEVATIONS UNITS 104A,109A
- A9.09 INTERIOR ELEVATIONS UNITS 105A,107A
- A9.10 INTERIOR ELEVATIONS UNITS 105B
- A9.10a INTERIOR ELEVATIONS UNITS 107B
- A9.11 INTERIOR ELEVATIONS UNITS 106A,107A
- A9.12 INTERIOR ELEVATIONS UNITS 106B,107B
- A9.13 INTERIOR ELEVATIONS UNITS 201B,210B
- A9.14 INTERIOR ELEVATIONS UNITS 201A,210A
- A9.15 INTERIOR ELEVATIONS UNITS 202A,209A
- A9.16 INTERIOR ELEVATIONS UNITS 202B,209B
- A9.17 INTERIOR ELEVATIONS UNITS 203B,208B
- A9.18 INTERIOR ELEVATIONS UNITS 203A,208A
- A9.19 INTERIOR ELEVATIONS UNITS 204A
- A9.19a INTERIOR ELEVATIONS UNITS 206A
- A9.20 INTERIOR ELEVATIONS UNITS 204B,206B
- A9.21 INTERIOR ELEVATIONS UNITS 205A
- A9.21a INTERIOR ELEVATIONS UNITS 207A
- A9.22 INTERIOR ELEVATIONS UNITS 205B,207B

### LIFE SAFETY DRAWINGS

- LS-1.00 LIFE SAFETY - BASEMENT
- LS-1.01 LIFE SAFETY - FIRST FLOOR
- LS-1.02 LIFE SAFETY - SECOND FLOOR
- LS-1.03 LIFE SAFETY - THIRD FLOOR

## CONTACTS

<b>Developer:</b> The Inn at Diamond Cove, LLC P.O. BOX 3572 Portland, ME 04101	<b>Architect:</b> Archetype Architects 48 Union Wharf Portland, ME 04101 (207) 772-6022	<b>Structural Engineer:</b> Structural Design Consulting Inc. 22 Oakmont Drive Old Orchard Beach, ME (207) 934-8038	<b>Civil Engineer:</b> DeLuca-Hoffman Associates, Inc. 778 Main Street South Portland, ME (207) 775-1121	<b>General Contractor:</b> Portland Builders, Inc. 85 York Street Portland, ME 04104 (207) 879-0118
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