

LEGEND:

BUILDING SECTION	(X/XXX)
WALL SECTION	(X/XX)
SECTION DETAIL	(X/XX)
PLAN DETAIL	(X/XXX)
WALL TYPE (SEE SHEET A4.01)	(WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(FX)
FLOOR AREA DEMOLITION	(Hatched pattern)
NEW CMU WALL	(Hatched pattern)
NEW MASONRY INFILL	(Hatched pattern)
NEW CONCRETE FOUNDATION/RET. WALL	(Hatched pattern)
EXISTING STUD WALL	(Hatched pattern)
EXISTING MASONRY WALL	(Hatched pattern)
DEMO AND REMOVE	(Dashed line)

- GENERAL NOTES - DEMOLITION:
- DEMOLISH AND REMOVE INTERIOR PARTITIONS AS INDICATED BY DASHED LINES AND AS NOTED ON THE PLANS AND/OR FOR THE PREPARATION OF THE WORK AS INDICATED ON OTHER DRAWINGS.
 - DEMOLISH AND REMOVE ALL INTERIOR STAIRS AND SHAFTS
 - DEMOLISH AND REMOVE ALL LATH AND PLASTER WALL AND CEILING MATERIAL
 - AT ALL EXTERIOR MASONRY WALLS, REMOVE PLASTER AND LATH MATERIAL TO EXPOSE FULL INTERIOR FACE OF MASONRY WALLS FOR PREPARATION OF NEW WORK.
 - DEMOLISH AND REMOVE ALL TEMPORARY SHORING AND THE MATERIAL SUPPORTED BY SAID SHORING
 - DEMOLISH AND REMOVE ALL WINDOW SASH AND FRAMES TO PREPARE FOR NEW WINDOW INSTALLATION. AS INDICATED ON ELEVATIONS, REMOVE MASONRY INFILL FROM WINDOW OPENINGS BELOW SILLS TO CREATE M.O. FOR NEW DOORS. WHERE HISTORIC WOOD FRAME EXISTS, LEAVE IN PLACE AND PREP FOR REPAIR AND PAINT.
 - CLEAR BASEMENT FLOOR SLAB - DEMO AND REMOVE DAMAGED CONCRETE SLAB ON GRADE.
 - REMOVE LOOSE OR DAMAGED MASONRY - TYPICAL ALL LEVELS.
 - EXISTING HARDWOOD FLOOR TO REMAIN. VERIFY IN THE FIELD CONDITION OF EXIST FLOORING AND WHICH IS TO REMAIN OR BE REMOVED.
 - REMOVE EXISTING DOORS AND FRAMES AS INDICATED ON PLANS. ALL DOORS AND TRIM SUBJECT TO SALVAGE, THUS PROPER CARE MUST BE TAKEN IN REMOVAL AND APPROPRIATE MEASURES TAKEN TO COORDINATE REUSE WITH ARCHITECT AND OWNER.
 - SAND AND SCRAPE EXISTING STEEL COLUMNS AND PREP FOR PAINT.
 - REMOVE ALL DEBRIS, AND PREP FOR NEW WORK
 - DEMOLISH AND REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
 - ANY NECESSARY SHORING IS THE RESPONSIBILITY OF THE CONSTRUCTION MANAGER OR DESIGNATED SUB-CONTRACTOR. ASSUMED BEARING LOCATIONS THROUGH BUILDING ARE TO BE VERIFIED PRIOR TO ANY DEMOLITION OF MAJOR BUILDING COMPONENTS AND FINDINGS COMMUNICATED TO THE ARCHITECT AND ENGINEER.
 - AT ALL NEW MASONRY OPENINGS, AT NEW DOORS, ETC., MASONRY SHALL RETURN INTO OPENING AND BE TOOTHED-IN WITH LIKE MATERIAL AND FINISH TO PROVIDE CLEAN MASONRY OPENING FOR NEW WORK.
 - SALVAGE ALL WOOD TRIM FOR RE-USE. ALL MATERIAL MUST BE CATEGORIZED AND STORED IN PROTECTED AREA.

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Architect:

Project:

THE INN AT
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 MCKINLEY COURT
 GREAT DIAMOND ISLAND, MAINE

Revisions:

Date:

19 March 2012

Scale:

1/8" = 1'-0"

Project North

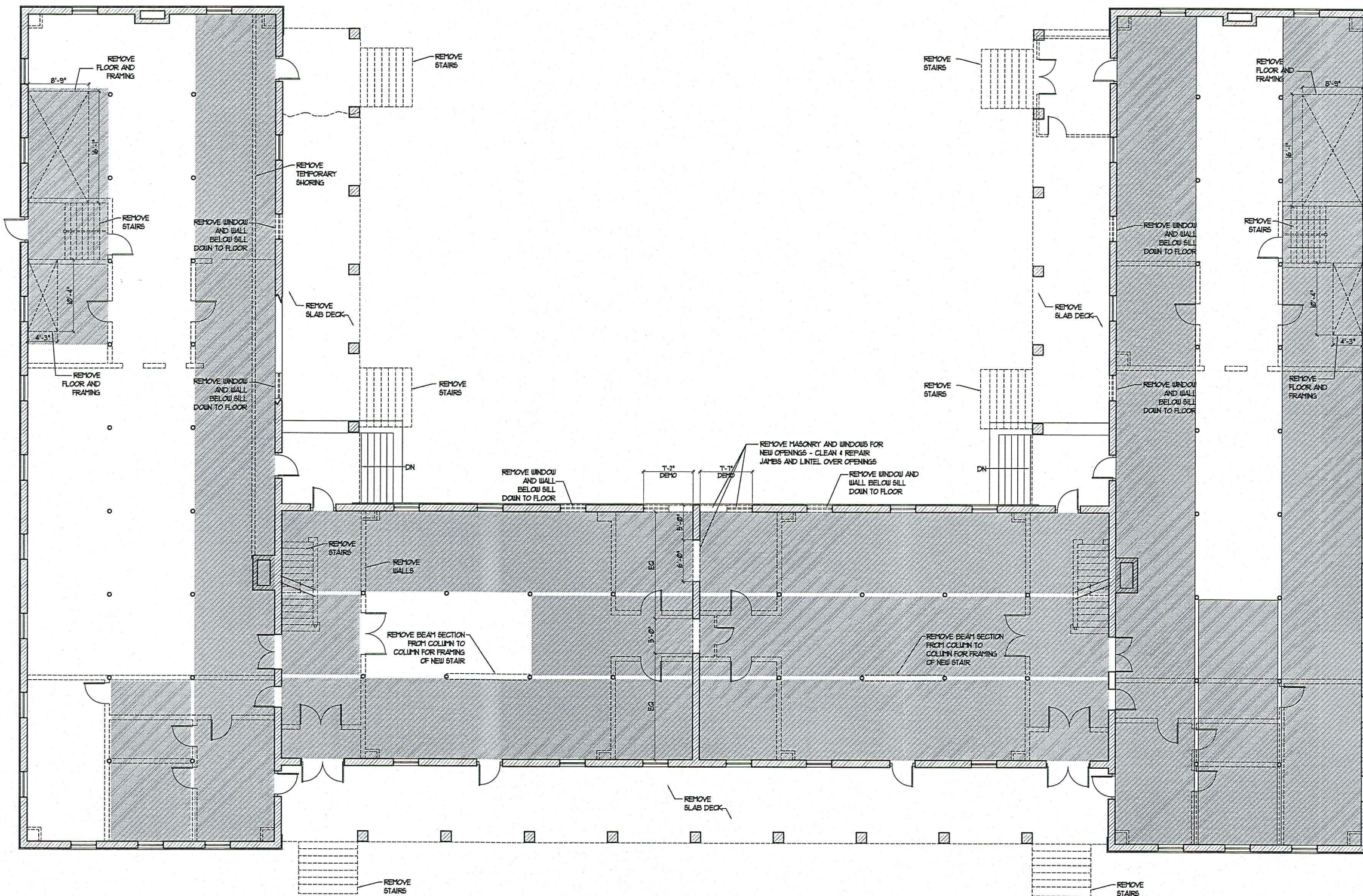
Title:

BASEMENT DEMOLITION
 PLAN

D0.10

1 | BASEMENT PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

STABILIZATION PLAN 9/15/12



LEGEND:

BUILDING SECTION	(X) AXX
WALL SECTION	(X) AXX
SECTION DETAIL	(X) AXX
PLAN DETAIL	(X) AXX
WALL TYPE (SEE SHEET A4.01)	WX
FLOOR/CEILING TYPE (SEE SHEET A4.02)	FX
FLOOR AREA DEMOLITION	[Hatched Pattern]
NEW CMU WALL	[Hatched Pattern]
NEW MASONRY INFILL	[Hatched Pattern]
NEW CONCRETE FOUNDATION/RET. WALL	[Hatched Pattern]
EXISTING STUD WALL	[Hatched Pattern]
EXISTING MASONRY WALL	[Hatched Pattern]
DEMO AND REMOVE	[Dashed Line]

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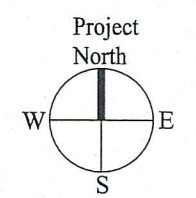
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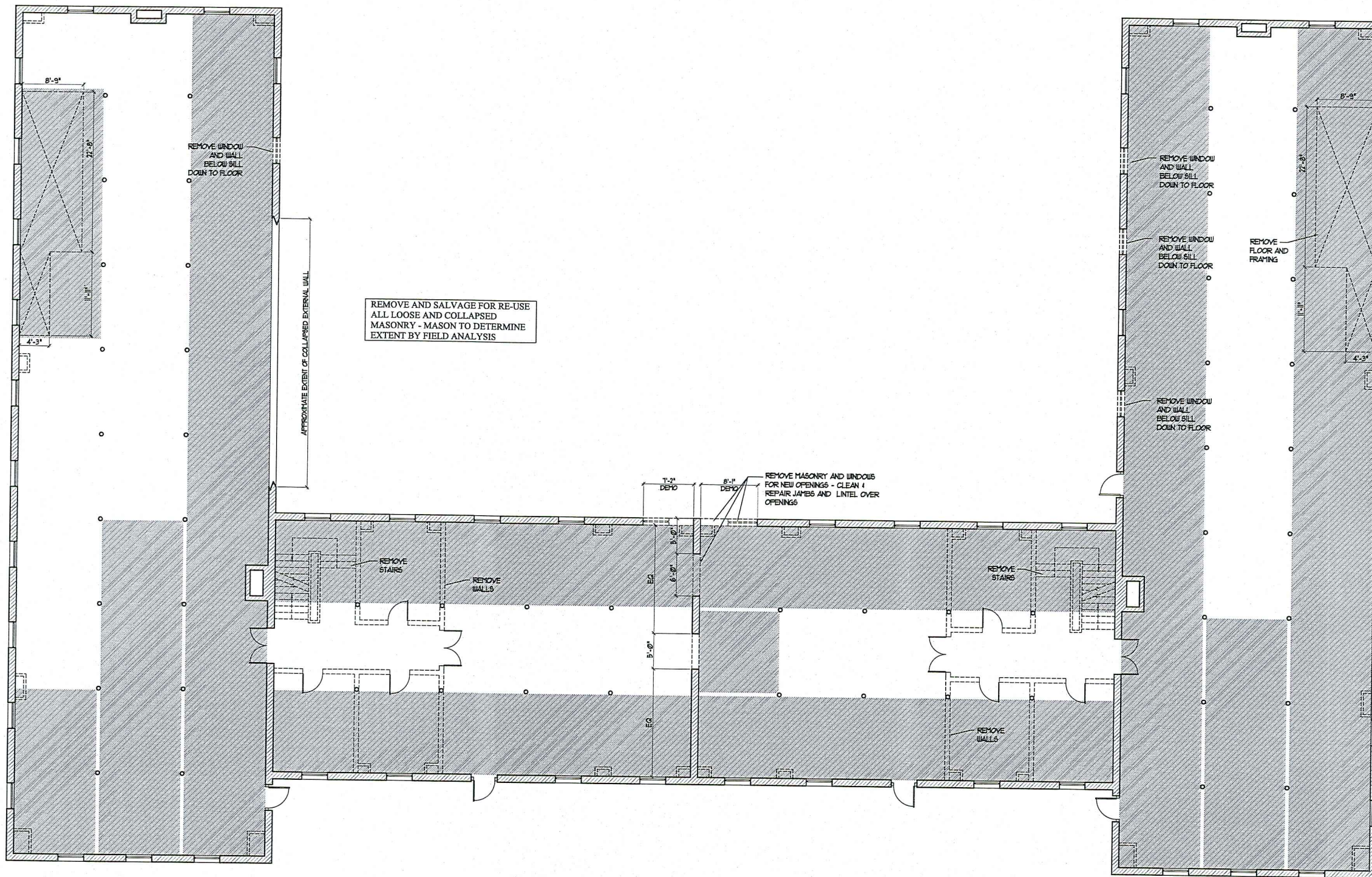
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Date: 19 March 2012
Scale: 1/8" = 1'-0"
FIRST FLOOR DEMOLITION
PLAN

STABILIZATION PLAN 9/15/12



D0.11



LEGEND:

BUILDING SECTION	(X) (XXX)
WALL SECTION	(X) (XXX)
SECTION DETAIL	(X) (XXX)
PLAN DETAIL	(X) (XXX)
WALL TYPE (SEE SHEET A4.01)	(WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(FX)
FLOOR AREA DEMOLITION	[Hatched pattern]
NEW CMU WALL	[Diagonal hatched pattern]
NEW MASONRY INFILL	[Cross-hatched pattern]
NEW CONCRETE FOUNDATION/RET. WALL	[Stippled pattern]
EXISTING STUD WALL	[Thin line]
EXISTING MASONRY WALL	[Thick line]
DEMO AND REMOVE	[Dashed line]

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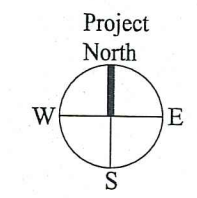
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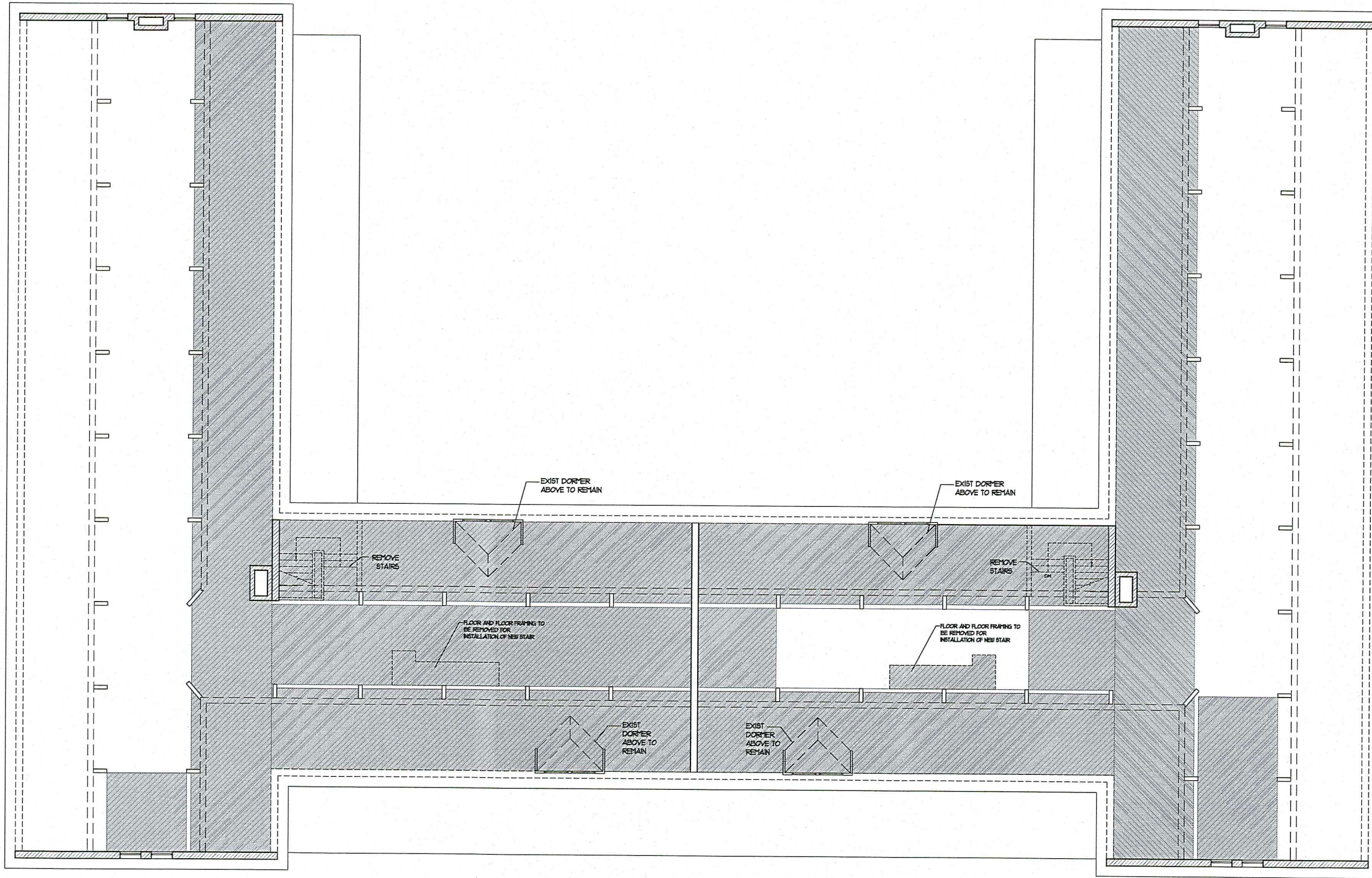
Date: 19 March 2012
 Scale: 1/8" = 1'-0"
SECOND FLOOR DEMOLITION PLAN

D0.12

3 | SECOND FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

STABILIZATION PLAN 9/15/12





LEGEND:

BUILDING SECTION	(X AAX)
WALL SECTION	(X AAX)
SECTION DETAIL	(X AAX)
PLAN DETAIL	(X AAX)
WALL TYPE (SEE SHEET A4.01)	(WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(FX)
FLOOR AREA DEMOLITION	(Diagonal hatching)
NEW CMU WALL	(Horizontal hatching)
NEW MASONRY INFILL	(Vertical hatching)
NEW CONCRETE FOUNDATION/RET. WALL	(Cross-hatching)
EXISTING STUD WALL	(Dashed line)
EXISTING MASONRY WALL	(Diagonal hatching)
DEMO AND REMOVE	(Dotted line)

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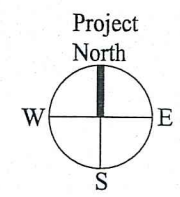
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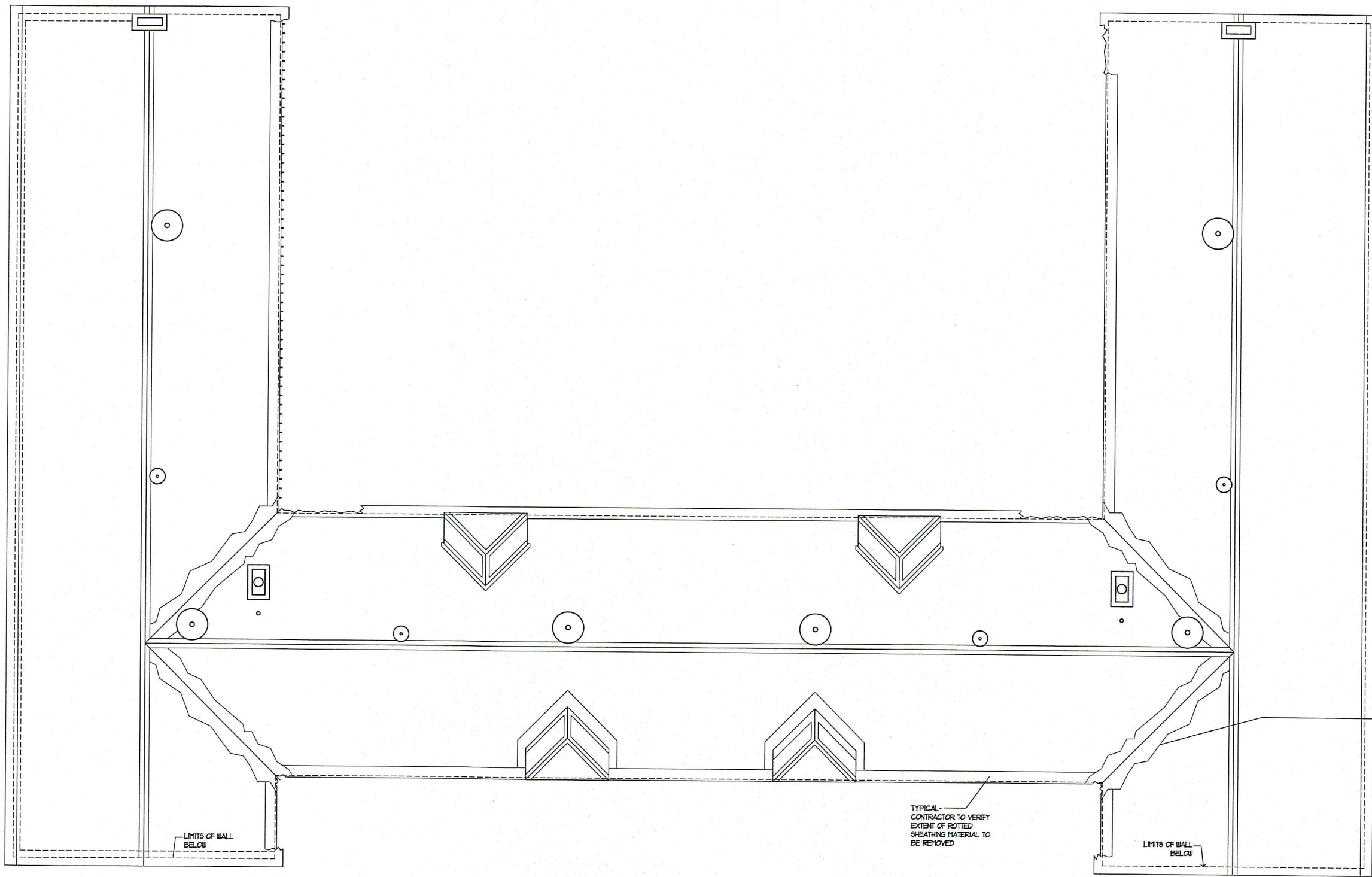
Revisions:

Date: 19 March 2012
 Scale: 1/8" = 1'-0"
**THIRD FLOOR
 DEMOLITION PLAN**

D0.13

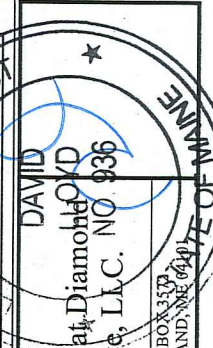
STABILIZATION PLAN 9/15/12





LEGEND:

BUILDING SECTION	(Symbol: Triangle with X and AXX)
WALL SECTION	(Symbol: Circle with X and AXX)
SECTION DETAIL	(Symbol: Square with X and AXX)
PLAN DETAIL	(Symbol: Circle with X and AXX)
WALL TYPE (SEE SHEET A4.01)	(Symbol: Circle with WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(Symbol: Circle with FX)
FLOOR AREA DEMOLITION	(Symbol: Diagonal hatching)
NEW CMU WALL	(Symbol: Horizontal hatching)
NEW MASONRY INFILL	(Symbol: Vertical hatching)
NEW CONCRETE FOUNDATION/RET. WALL	(Symbol: Stippled pattern)
EXISTING STUD WALL	(Symbol: Dashed line)
EXISTING MASONRY WALL	(Symbol: Diagonal hatching)
DEMO AND REMOVE	(Symbol: Dotted line)



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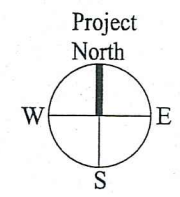
Project:
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 GREAT DIAMOND ISLAND, MAINE

Revisions:

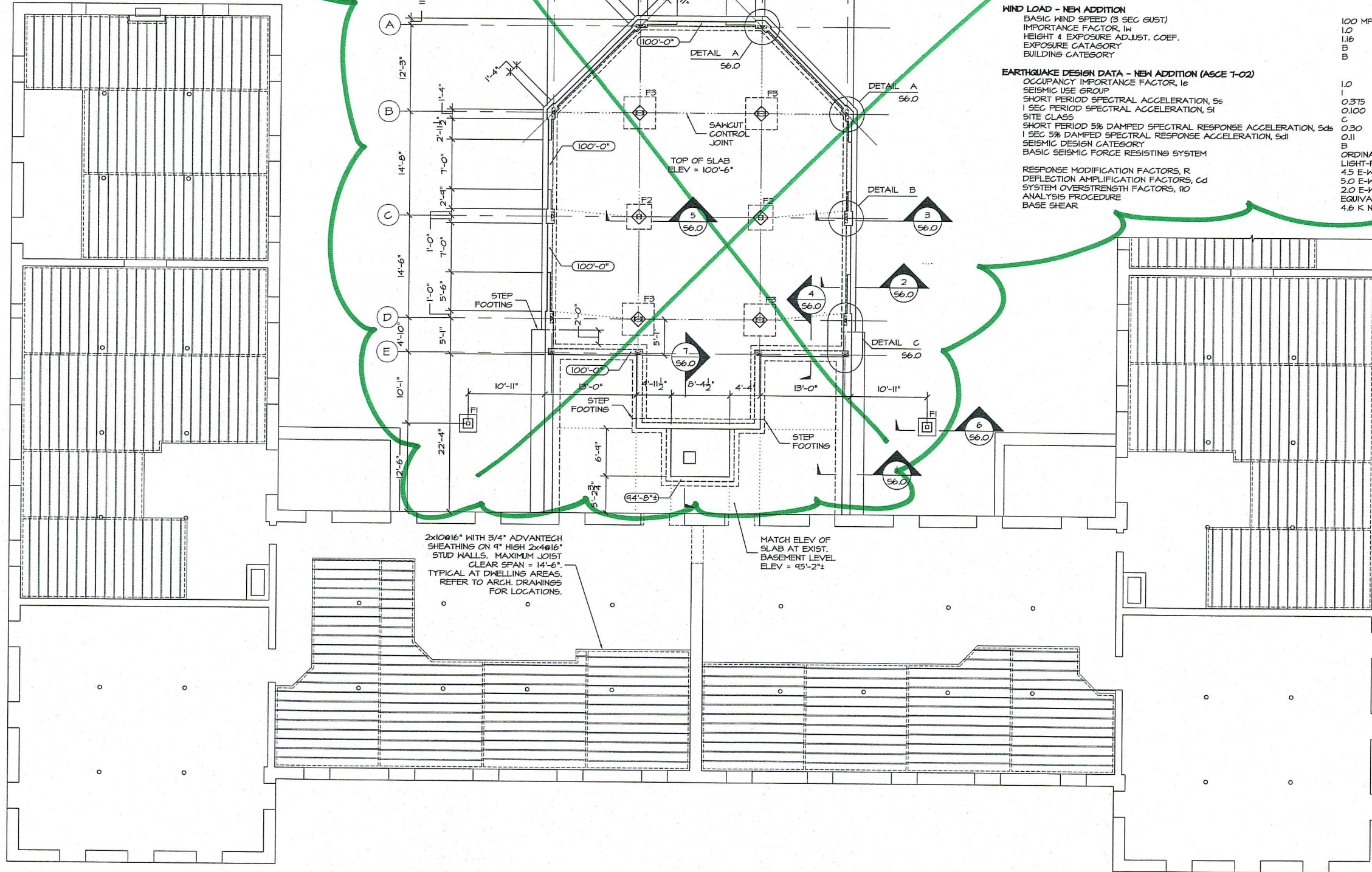
Date: 19 March 2012
 Scale: 1/8" = 1'-0"
ROOF DEMOLITION PLAN

D0.14

STABILIZATION PLAN 9/15/12



FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F1	2'-6" x 2'-6" x 1'-0"	(3) #5 E.H. BOT.
F2	3'-6" x 3'-6" x 1'-0"	(4) #5 E.H. BOT.
F3	4'-6" x 4'-6" x 1'-2"	(6) #5 E.H. BOT.



DESIGN CRITERIA:

BUILDING CODE INTERNATIONAL BUILDING CODE/2004

LIVE LOAD
PRIVATE ROOMS AND CORRIDORS SERVING THEM 40 PSF
PUBLIC ROOMS AND CORRIDORS SERVING THEM 100 PSF
CORRIDORS AND STAIRS 100 PSF

DEAD LOAD
NEW FLOORS 15 PSF
NEW STEEL-FRAMED ROOF 20 PSF
NEW WOOD-FRAMED ROOF 15 PSF
EXISTING FLOOR AND ROOF 25

SNOW LOAD
GROUND SNOW LOAD 50 PSF
EXPOSURE FACTOR, C_e 1.0
THERMAL FACTOR, C_t 1.2
IMPORTANCE FACTOR, I_s 1.0
FLAT ROOF SNOW LOAD, P_f 42 PSF

WIND LOAD - NEW ADDITION
BASIC WIND SPEED (3 SEC GUST) 100 MPH
IMPORTANCE FACTOR, I_w 1.0
HEIGHT & EXPOSURE ADJUST. COEF. 1.16
EXPOSURE CATEGORY B
BUILDING CATEGORY B

EARTHQUAKE DESIGN DATA - NEW ADDITION (ASCE 7-02)
OCCUPANCY IMPORTANCE FACTOR, I_e 1.0
SEISMIC USE GROUP I
SHORT PERIOD SPECTRAL ACCELERATION, S_s 0.375
1 SEC PERIOD SPECTRAL ACCELERATION, S_1 0.100
C
SITE CLASS C
SHORT PERIOD 5% DAMPED SPECTRAL RESPONSE ACCELERATION, S_{ds} 0.30
1 SEC 5% DAMPED SPECTRAL RESPONSE ACCELERATION, S_{d1} 0.11
SEISMIC DESIGN CATEGORY B
BASIC SEISMIC FORCE RESISTING SYSTEM
ORDINARY MOMENT FRAME E-W
LIGHT-FRAMED WALLS WITH WOOD STRUCT PANELS N-S
4.5 E-W, 6.5 N-S
3.0 E-W, 4.0 N-S
2.0 E-W, 3.0 N-S
EQUIVALENT LATERAL FORCE PROCEDURE
4.0 K N-S, 5.7 K E-W

FOUNDATION AND BASEMENT FLOOR FRAMING PLAN
1/8"=1'-0"

TOP OF CONCRETE ELEV = 101'-2" UNLESS NOTED (XXX'-X")

4" THICK, FIBER-REINFORCED SLAB-ON-GRADE SHALL BEAR ON A VAPOR BARRIER OVERLYING 6" OF COMPACTED STRUCTURAL FILL.

DIMENSIONS AND ELEVATIONS NOTED AT GRID 1 ARE MIRRORED ON GRID 4.

SECTIONS AND DETAILS NOTED ON GRID 4 ARE MIRRORED ON GRID 1.

ALL WOOD FRAMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

← NOT INCLUDED IN STABILIZATION PLAN

STABILIZATION PLAN 9/15/12

Project North



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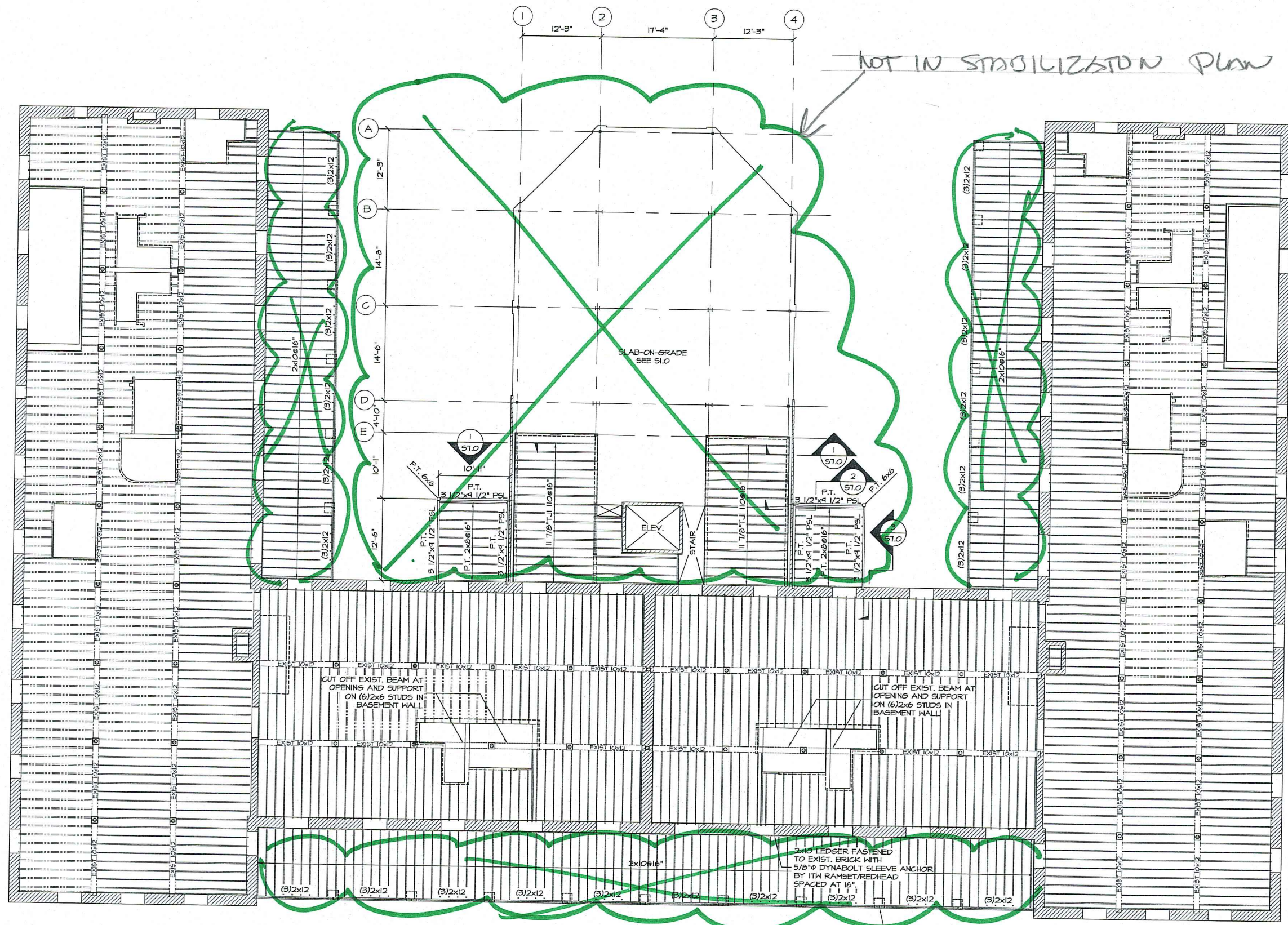
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McKINLEY COURT
GREAT DIAMOND ISLAND, MAINE

Revisions:

Date: 19 March 2012
Scale: 1/8" = 1'-0"
GENERAL NOTES
FOUNDATION AND BASEMENT FRAMING PLAN

S1.0



EXISTING BUILDING FRAMING SCHEDULE	
MARK	SIZE
—	EXIST. 2"x11 7/8" JOIST
—	NEW JOIST - 2x12@16" UNO
I	3 1/2"x11 1/4" PSL

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

1ST FLOOR FRAMING PLAN
1/8"=1'-0"

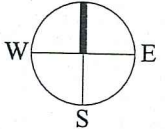
FLOOR SHEATHING IS 3/4" ADVANTECH. MATCH TOP OF NEW SHEATHING ELEVATION TO TOP OF EXISTING SUBFLOOR (105'-6")±.

NEW FLOOR JOISTS IN EXISTING BUILDING ARE TO BEAR INTO EXISTING OR NEW POCKETS IN BRICK WALL.

ALL PORCH FRAMING IS P.T. SOUTHERN YELLOW PINE. ALL HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOTDIPPEP GALVANIZED OR SIMPSON Z-MAX COATED.

STABILIZATION PLAN 9/15/12

Project North



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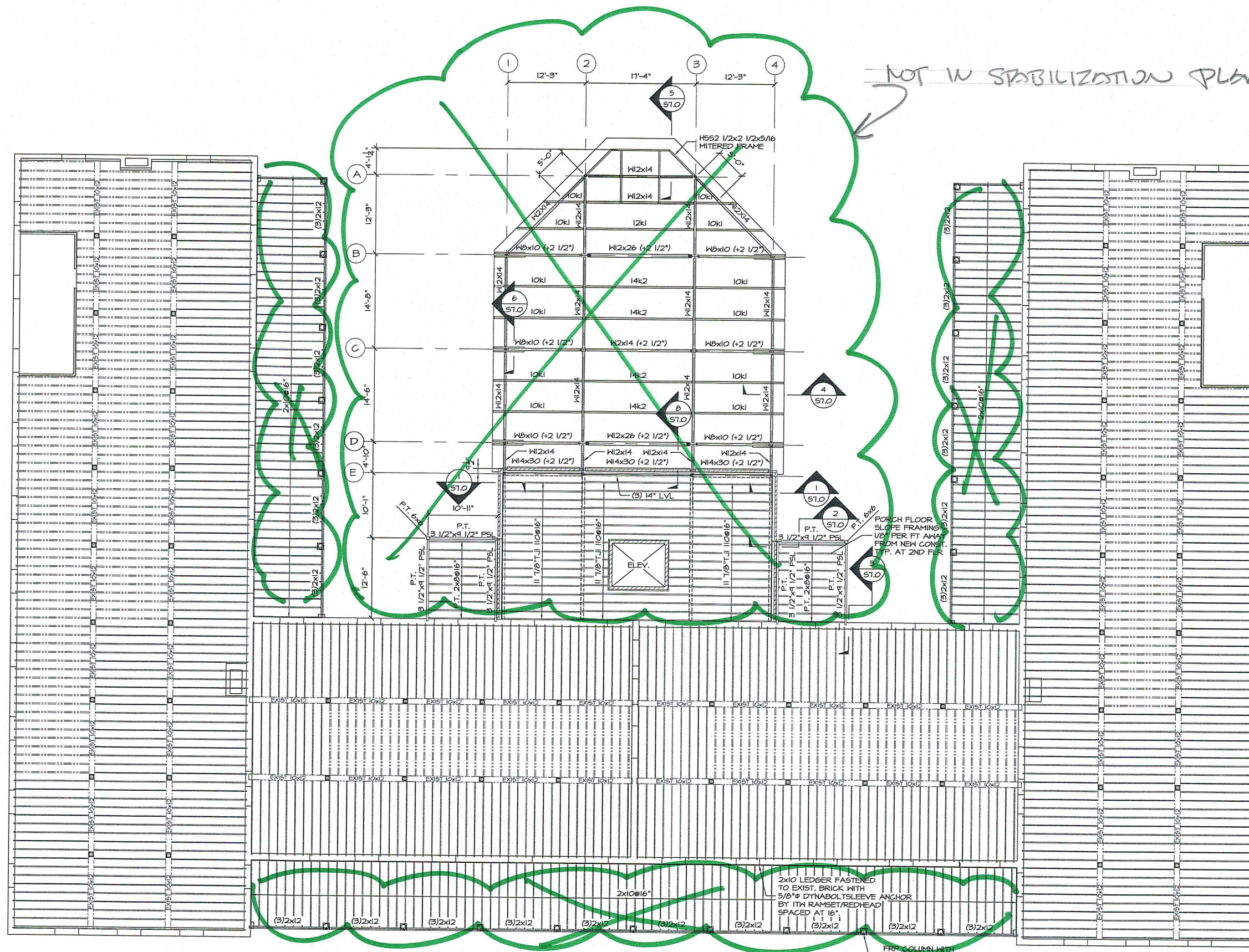
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Project:
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GREAT DIAMOND ISLAND, MAINE

Revisions:

Date: 19 March 2012
Scale: 1/8" = 1'-0"
FIRST FLOOR
FRAMING PLAN

S2.0



NOT IN STABILIZATION PLAN

FRAMING SCHEDULE	
MARK	SIZE
	EXIST. 2"x11 7/8" JOIST
	NEW JOIST - 2"x10 1/2" UNO
1	3 1/2"x11 1/4" PSL
EL	5 1/8"x13 1/2" GLULAM BEAM

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

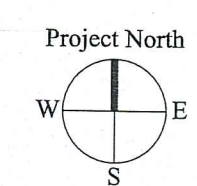
2ND FLOOR AND ADDITION LOW ROOF FRAMING PLAN
1/8"=1'-0"

- TOP OF STEEL ELEVATION = 113'-5 1/2" UNLESS NOTED (4x).
- INDICATES MOMENT CONNECTION. SEE STO.
- LOBBY ROOF DECK IS PAINTED, 20 GAGE, 1 1/2" TYPE B STEEL DECK.
- FLOOR SHEATHING IS 3/4" ADVANTECH. MATCH TOP OF NEW SHEATHING ELEVATION TO TOP OF EXISTING SUBFLOOR (116'-1"±).
- NEW FLOOR JOISTS IN EXISTING BUILDING ARE TO BEAR INTO EXISTING OR NEW POCKETS IN BRICK WALL.
- ALL PORCH FRAMING IS P.T. SOUTHERN YELLOW PINE. ALL HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOTDIPPED GALVANIZED OR SIMPSON Z-MAX COATED.

2x10 LEDGER FASTENED TO EXIST. BRICK WITH 5/8"Ø DYNABOLT/SLEEVE ANCHOR BY 17H RAMSET/REDHEAD SPACED AT 16"

FRP COLUMN WITH CAPACITY = 32,000 LB OR H554x4x3/16 WITH DECORATIVE WRAP (TYPICAL AT PORCHES)

STABILIZATION PLAN 9/15/12



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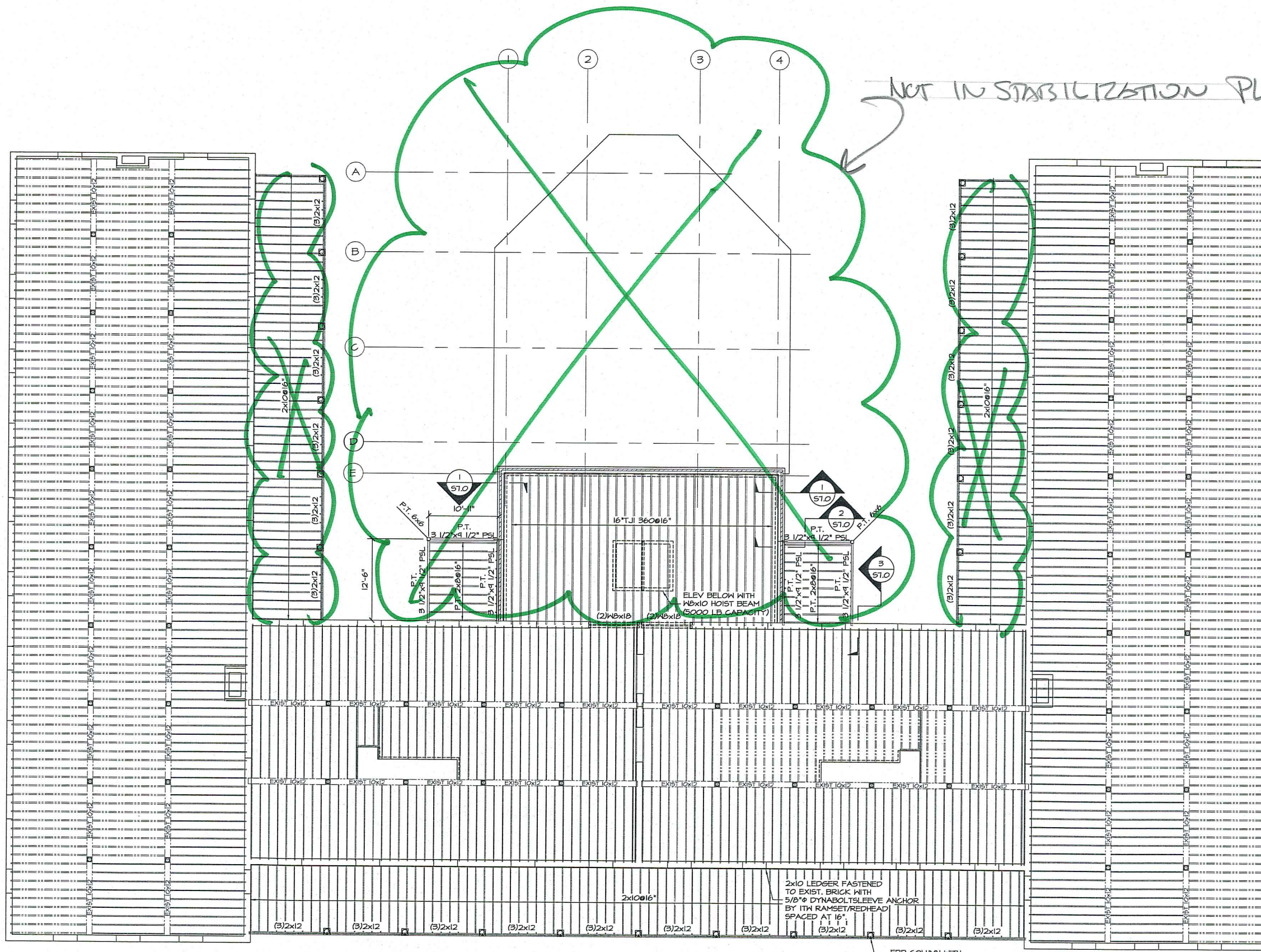
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GREAT DIAMOND ISLAND, MAINE

Date:
19 March 2012

Scale:
1/8" = 1'-0"

SECOND FLOOR & ADDN. LOW ROOF FRAMING PLAN

S3.0



NOT IN STABILIZATION PLAN

FRAMING SCHEDULE	
MARK	SIZE
---	EXIST. 1 7/8"x4 5/8" JOIST
---	NEW JOIST - 2x10@16" UNO
I	3 1/2"x11 1/4" PSL
GL	5 1/8"x13 1/2" GLULAM BEAM

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

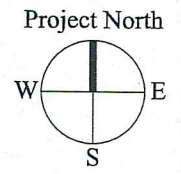
3RD FLOOR AND ADDITION HIGH ROOF FRAMING PLAN
1/8"=1'-0"

FLOOR AND ROOF SHEATHING IS 3/4" ADVANTECH.
TOP OF SHEATHING ELEVATIONS:
ADDITION HIGH ROOF = 14'-3" ABOVE EXISTING 2ND FLOOR
PORCH ROOFS (HIGH END) = 12'-6" ABOVE EXISTING 2ND FLOOR
NEW FLOOR JOISTS IN EXISTING BUILDING ARE TO BEAR INTO EXISTING OR NEW POCKETS IN BRICK WALL.

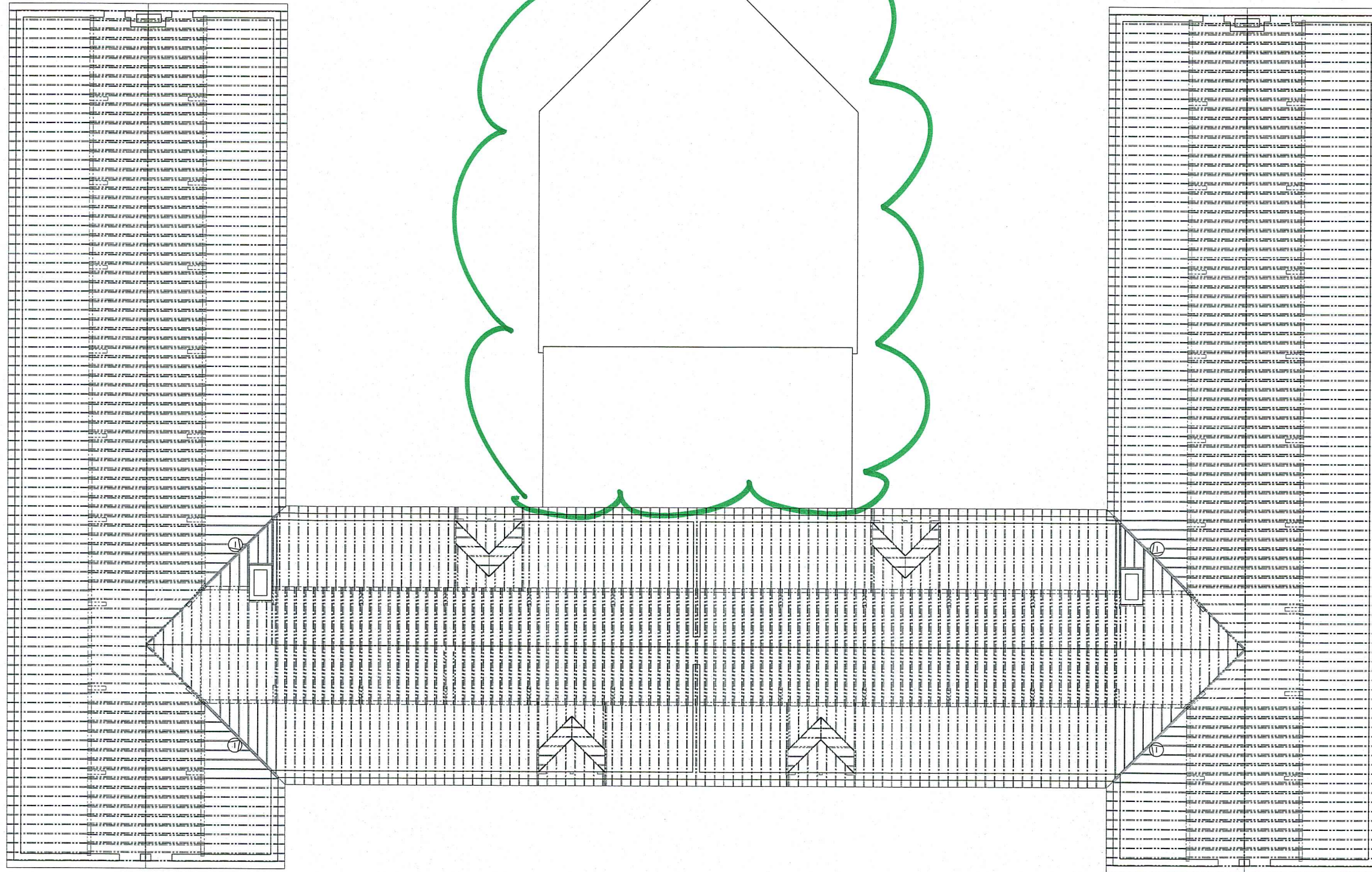
FRP COLUMN WITH CAPACITY = 16,000 LB OR H554x4x3/16 WITH DECORATIVE WRAP (TYPICAL AT PORCHES)

2x10 LEDGER FASTENED TO EXIST. BRICK WITH 5/8" DYNABOLTSLEEVE ANCHOR BY ITM RAMSET/REDHEAD SPACED AT 16"

STABILIZATION PLAN 9/15/12



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 Date: 19 March 2012
 Scale: 1/8" = 1'-0"
 THIRD FLOOR AND ADDN. HIGH ROOF FRAMING PLAN
 S4.0



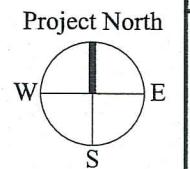
FRAMING SCHEDULE	
MARK	SIZE
	EXIST. 2"x8" RAFTER
	NEW RAFTER - 2x8@16" UNO
I	3 1/2"x11 1/4" PSL

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

EXISTING ROOF FRAMING PLAN
1/8"=1'-0"

NEW ROOF DECK IS 5/8" ADVANTECH.

STABILIZATION PLAN 9/15/12



S5.0



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Revisions:

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EXISTING ROOF
FRAMING PLAN