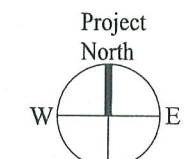


BUILDING SECTION	(X) AXX
WALL SECTION	(X) AXX
SECTION DETAIL	(X) AXX
PLAN DETAIL	(X) AXX
WALL TYPE (SEE SHEET A4.01)	(WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(FX)
FLOOR AREA DEMOLITION	[Hatched Pattern]
NEW CMU WALL	[Hatched Pattern]
NEW MASONRY INFILL	[Hatched Pattern]
NEW CONCRETE FOUNDATION/RET. WALL	[Hatched Pattern]
EXISTING STUD WALL	[Hatched Pattern]
EXISTING MASONRY WALL	[Hatched Pattern]
DEMO AND REMOVE	[Dashed Line]

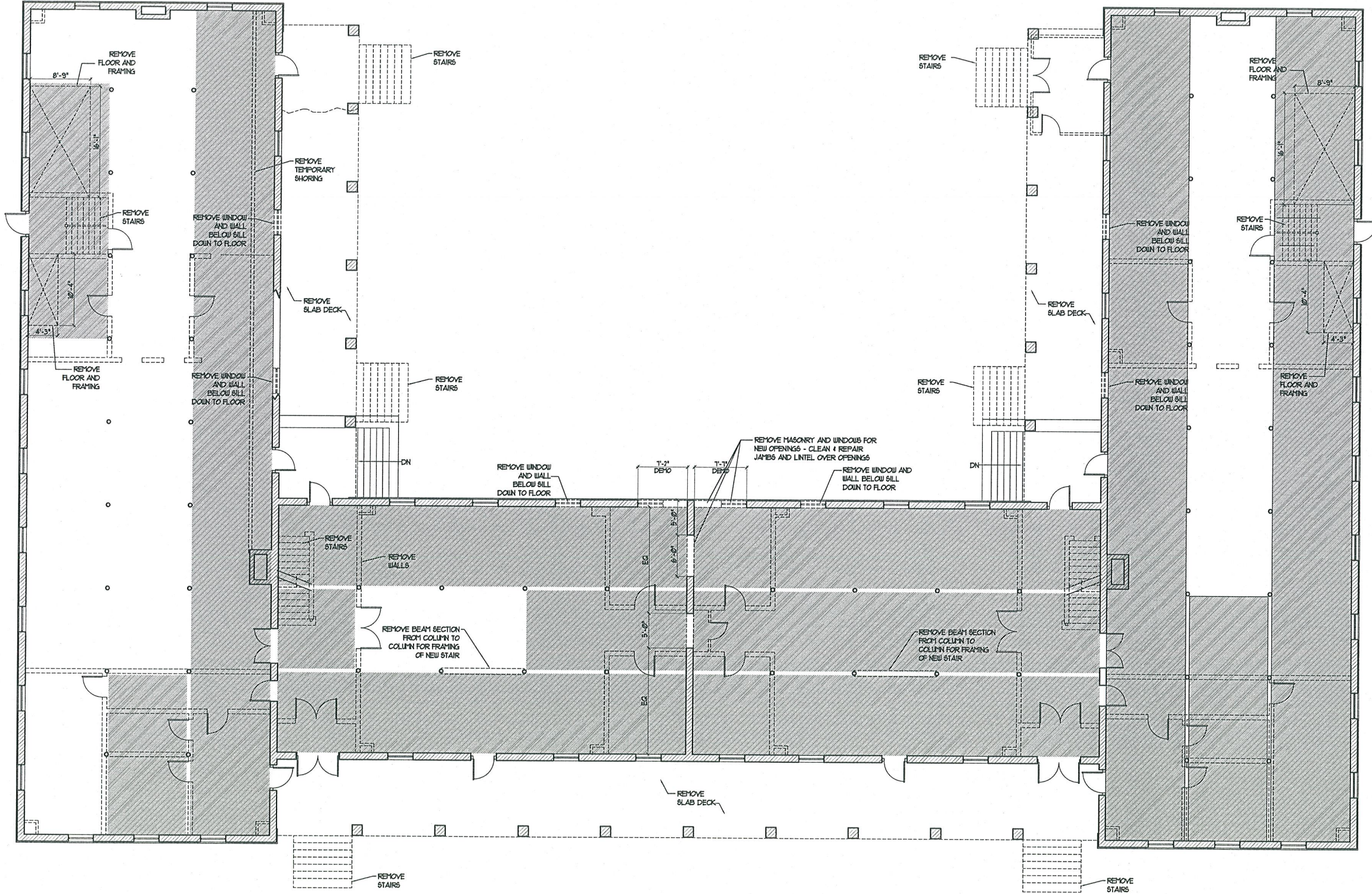
- GENERAL NOTES - DEMOLITION:**
- DEMOLISH AND REMOVE INTERIOR PARTITIONS AS INDICATED BY DASHED LINES AND AS NOTED ON THE PLANS AND/OR FOR THE PREPARATION OF THE WORK AS INDICATED ON OTHER DRAWINGS.
 - DEMOLISH AND REMOVE ALL INTERIOR STAIRS AND SHAFTS
 - DEMOLISH AND REMOVE ALL LATH AND PLASTER WALL AND CEILING MATERIAL
 - AT ALL EXTERIOR MASONRY WALLS, REMOVE PLASTER AND LATH MATERIAL TO EXPOSE FULL INTERIOR FACE OF MASONRY WALLS FOR PREPARATION OF NEW WORK.
 - DEMOLISH AND REMOVE ALL TEMPORARY SHORING AND THE MATERIAL SUPPORTED BY SAID SHORING
 - DEMOLISH AND REMOVE ALL WINDOW SASH AND FRAMES TO PREPARE FOR NEW WINDOW INSTALLATION. AS INDICATED ON ELEVATIONS, REMOVE MASONRY INFILL FROM WINDOW OPENINGS BELOW SILLS TO CREATE M.O. FOR NEW DOORS. WHERE HISTORIC WOOD FRAME EXISTS, LEAVE IN PLACE AND PREP FOR REPAIR AND PAINT.
 - CLEAR BASEMENT FLOOR SLAB - DEMO AND REMOVE DAMAGED CONCRETE SLAB ON GRADE.
 - REMOVE LOOSE OR DAMAGED MASONRY - TYPICAL ALL LEVELS.
 - EXISTING HARDWOOD FLOOR TO REMAIN. VERIFY IN THE FIELD CONDITION OF EXIST FLOORING AND WHICH IS TO REMAIN OR BE REMOVED.
 - REMOVE EXISTING DOORS AND FRAMES AS INDICATED ON PLANS. ALL DOORS AND TRIM SUBJECT TO SALVAGE, THUS PROPER CARE MUST BE TAKEN IN REMOVAL AND APPROPRIATE MEASURES TAKEN TO COORDINATE REUSE WITH ARCHITECT AND OWNER.
 - SAND AND SCRAPE EXISTING STEEL COLUMNS AND PREP FOR PAINT.
 - REMOVE ALL DEBRIS, AND PREP FOR NEW WORK
 - DEMOLISH AND REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
 - ANY NECESSARY SHORING IS THE RESPONSIBILITY OF THE CONSTRUCTION MANAGER OR DESIGNATED SUB-CONTRACTOR. ASSUMED BEARING LOCATIONS THROUGH BUILDING ARE TO BE VERIFIED PRIOR TO ANY DEMOLITION OF MAJOR BUILDING COMPONENTS AND FINDINGS COMMUNICATED TO THE ARCHITECT AND ENGINEER.
 - AT ALL NEW MASONRY OPENINGS, AT NEW DOORS, ETC., MASONRY SHALL RETURN INTO OPENING AND BE TOOTHED-IN WITH LIKE MATERIAL AND FINISH TO PROVIDE CLEAN MASONRY OPENING FOR NEW WORK.
 - SALVAGE ALL WOOD TRIM FOR RE-USE. ALL MATERIAL MUST BE CATEGORIZED AND STORED IN PROTECTED AREA.

1 | BASEMENT PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

STABILIZATION PLAN 9/15/12



Architect: **ARCHETYPE architects**
 Project: **THE INN AT DIAMOND COVE, LLC**
 Date: 19 March 2012
 Scale: 1/8" = 1'-0"
 Revisions:
 Prepared For: **DAVID THE INN AT DIAMOND COVE, LLC. NO. 036**
 trutexulins INTERIORS
 BASEMENT DEMOLITION
 D0.1

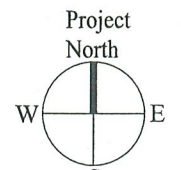


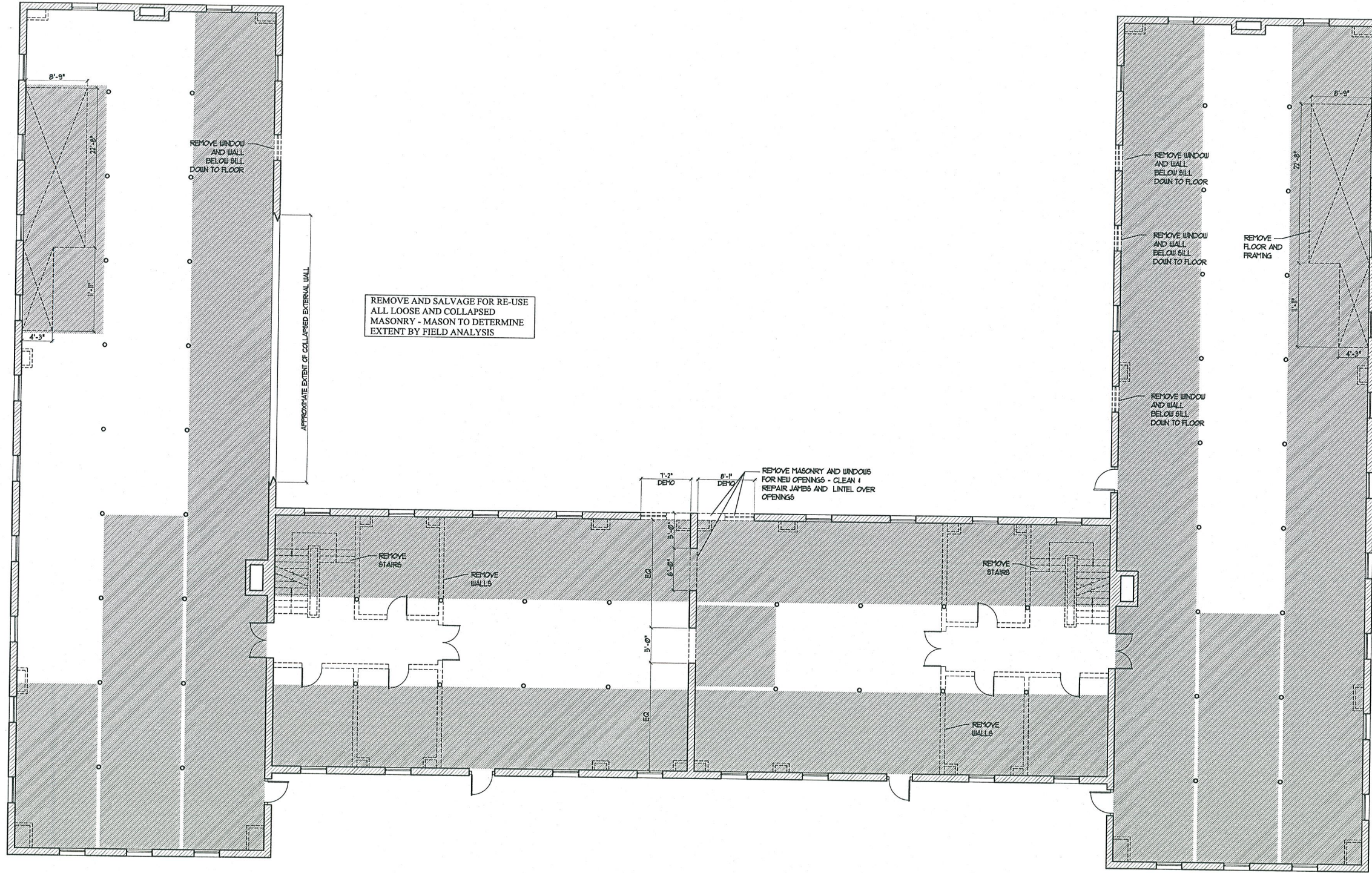
BUILDING SECTION	(X/XXX)
WALL SECTION	(X/XXX)
SECTION DETAIL	(X/XXX)
PLAN DETAIL	(X/XXX)
WALL TYPE (SEE SHEET A4.01)	(WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(FX)
FLOOR AREA DEMOLITION	(Hatched pattern)
NEW CMU WALL	(Hatched pattern)
NEW MASONRY INFILL	(Hatched pattern)
NEW CONCRETE FOUNDATION/RET. WALL	(Hatched pattern)
EXISTING STUD WALL	(Hatched pattern)
EXISTING MASONRY WALL	(Hatched pattern)
DEMO AND REMOVE	(Dashed lines)

Prepared For: **DAVID**
 The Inn at Diamond Cove, LLC. NO. 1936
 Interior Designer: **truexculins** INTERIORS
 Architect: **ARCHETYPE** architects
 Project: **THE INN AT DIAMOND COVE, LLC**
 Date: 19 March 2012
 Scale: 1/8" = 1'-0"
 Revisions:
 FIRST FLOOR DEMOLITION
 Project North
DO.

2 | FIRST FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

STABILIZATION PLAN 9/15/12





BUILDING SECTION	(X) AXX
WALL SECTION	(X) AX
SECTION DETAIL	(X) AX
PLAN DETAIL	(X) AX
WALL TYPE (SEE SHEET A4.01)	WX
FLOOR/CEILING TYPE (SEE SHEET A4.02)	FX

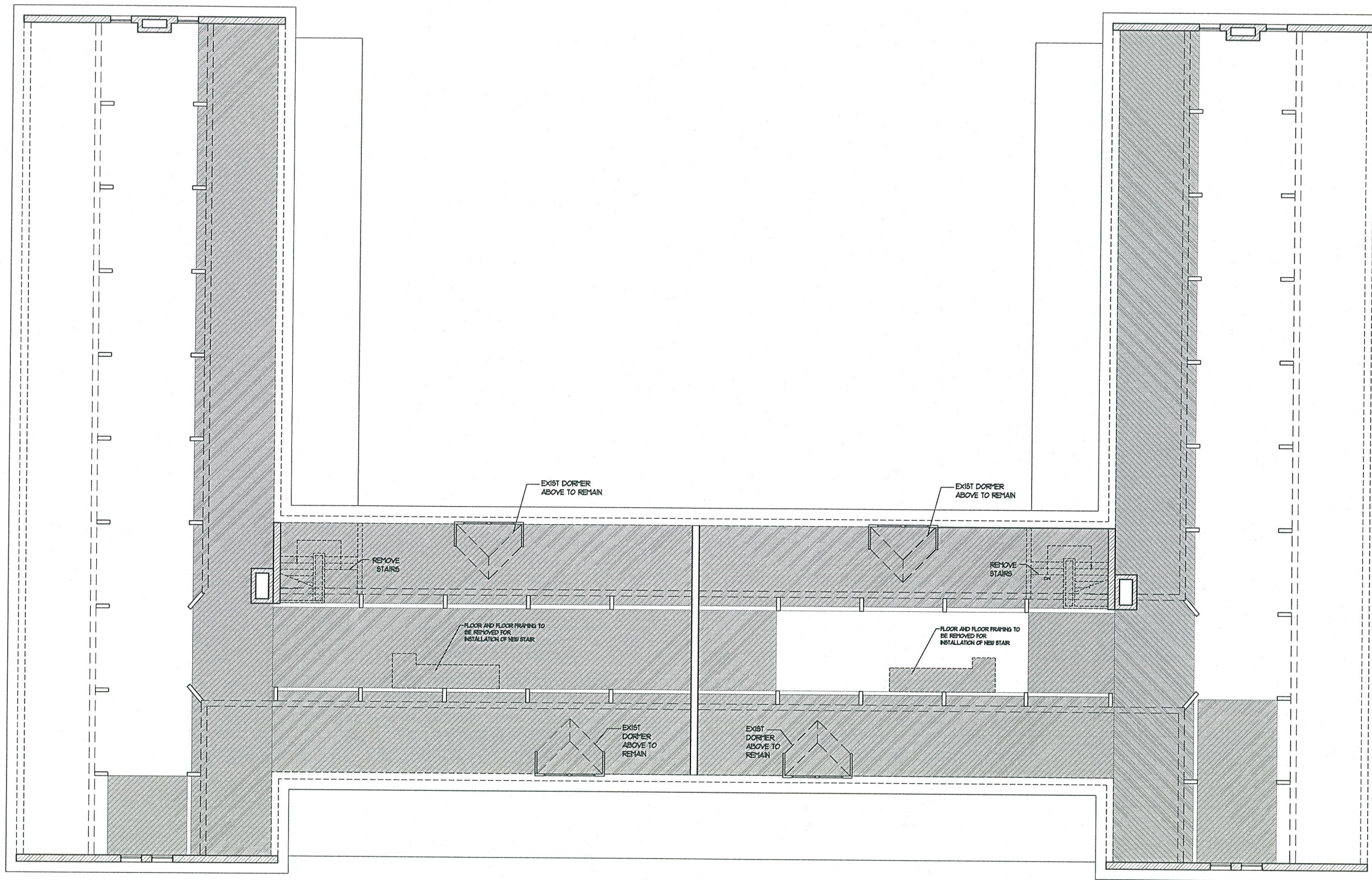
FLOOR AREA DEMOLITION	(Diagonal hatching)
NEW CMU WALL	(Vertical hatching)
NEW MASONRY INFILL	(Horizontal hatching)
NEW CONCRETE FOUNDATION/RET. WALL	(Stippled pattern)
EXISTING STUD WALL	(Thin solid line)
EXISTING MASONRY WALL	(Thick solid line)
DEMO AND REMOVE	(Dashed line)

Prepared For: **The Inn at Diamond Cove, LLC**
 Interior Designer: **truexculins INTERIORS**
 Architect: **ARCHETYPE architects**
 Project: **THE INN AT DIAMOND COVE, LLC**
 Date: 19 March 2012
 Scale: 1/8" = 1'-0"
 SECOND FLOOR
 Revisions:

STABILIZATION PLAN 9/15/12



D0.1

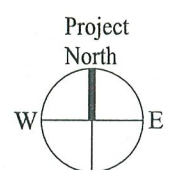


BUILDING SECTION	(X/AXX)
WALL SECTION	(X/AXX)
SECTION DETAIL	(X/AXX)
PLAN DETAIL	(X/AXX)
WALL TYPE (SEE SHEET A4.01)	(WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(FX)
FLOOR AREA DEMOLITION	(Diagonal hatching)
NEW CMU WALL	(Diagonal hatching)
NEW MASONRY INFILL	(Diagonal hatching)
NEW CONCRETE FOUNDATION/RET. WALL	(Diagonal hatching)
EXISTING STUD WALL	(Horizontal hatching)
EXISTING MASONRY WALL	(Diagonal hatching)
DEMO AND REMOVE	(Dashed line)

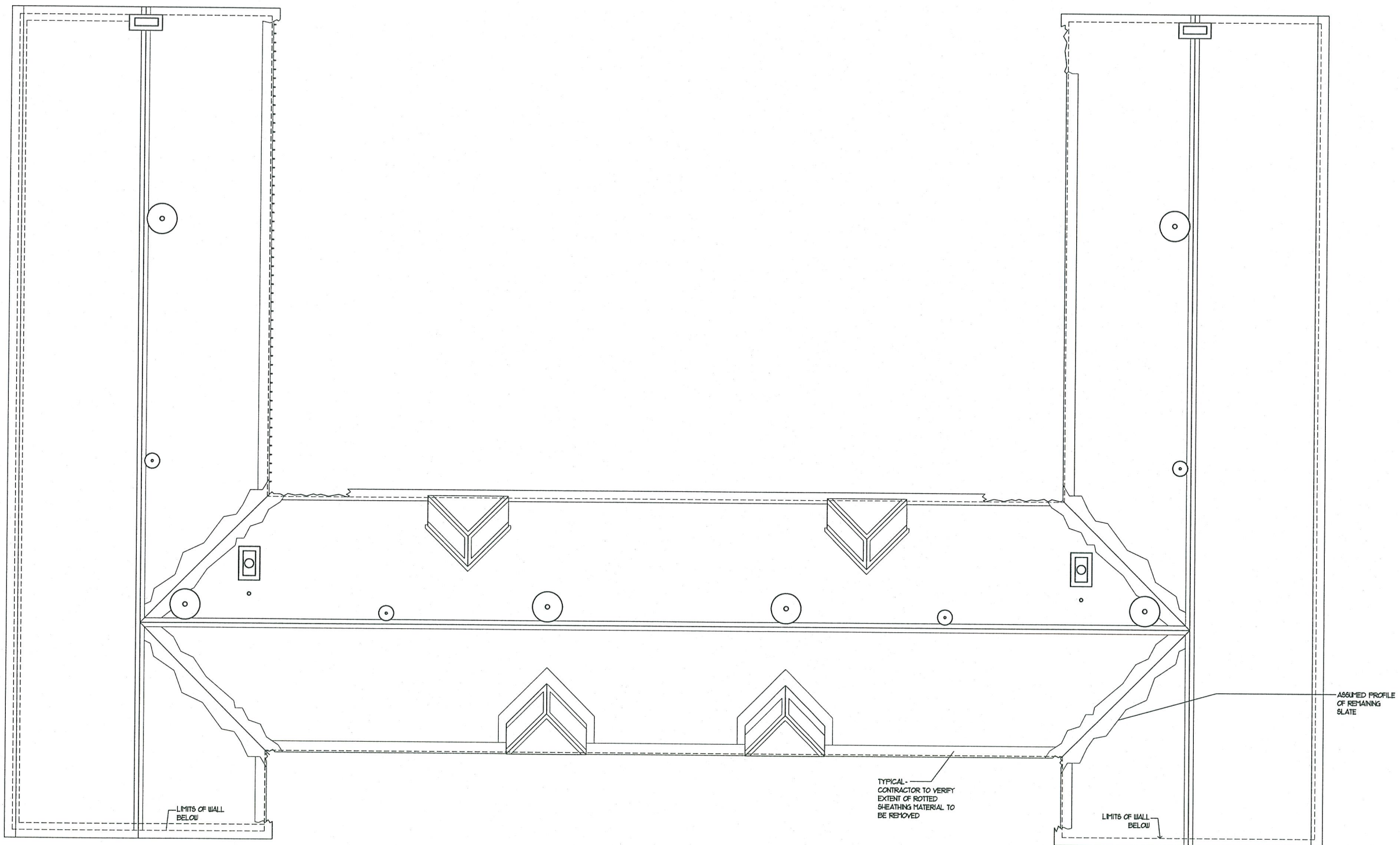
Prepared For: The Inn at Diamond Cove, LLC.
 Interior Designer: **truexullins** INTERIORS
 Architect: **ARCHETYPE** architects
 Project: THE INN AT DIAMOND COVE, LLC
 Date: 19 March 2012
 Scale: 1/8" = 1'-0"
 Revisions:

4 | THIRD FLOOR / ATTIC PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

STABILIZATION PLAN 9/15/12



DO.

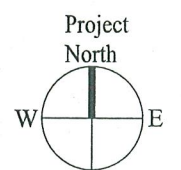


BUILDING SECTION	(X/XXX)
WALL SECTION	(X/XXX)
SECTION DETAIL	(X/XXX)
PLAN DETAIL	(X/XXX)
WALL TYPE (SEE SHEET A4.01)	(WX)
FLOOR/CEILING TYPE (SEE SHEET A4.02)	(FX)
FLOOR AREA DEMOLITION	[Hatched Pattern]
NEW CMU WALL	[Hatched Pattern]
NEW MASONRY INFILL	[Hatched Pattern]
NEW CONCRETE FOUNDATION/RET. WALL	[Hatched Pattern]
EXISTING STUD WALL	[Hatched Pattern]
EXISTING MASONRY WALL	[Hatched Pattern]
DEMO AND REMOVE	[Dashed Line]

Prepared For: **DAVID O'NEILL**
 The Inn at Diamond Cove, LLC, NO. 936
 Interior Designer: **truexullins** INTERIORS
 Architect: **ARCHETYPE architects**
 Project: **THE INN AT DIAMOND COVE, LLC**
 Scale: 1/8" = 1'-0"
 Date: 19 March 2012
 Revisions:

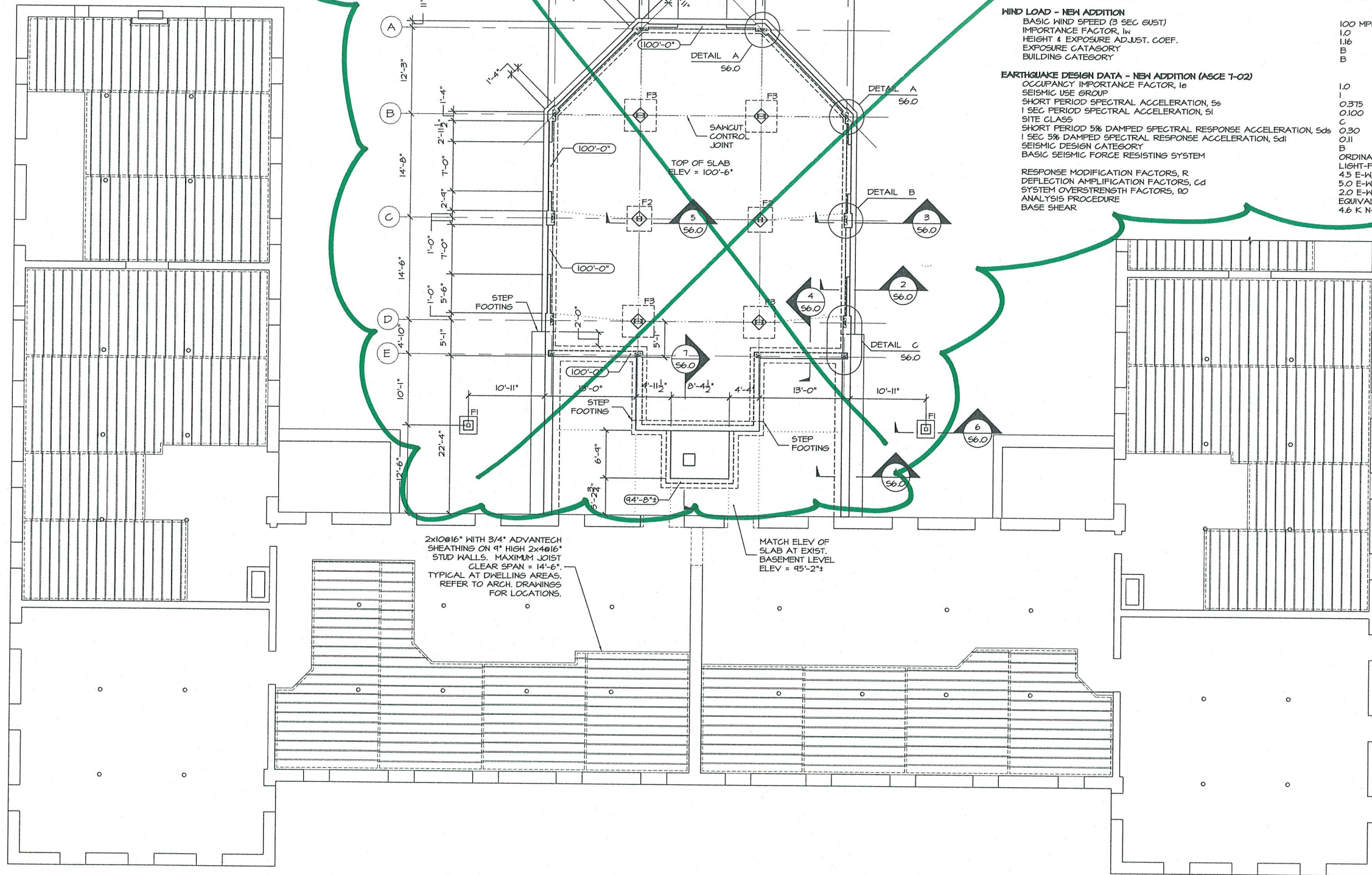
4 | THIRD FLOOR / ATTIC PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

STABILIZATION PLAN 9/15/12



DO.

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F1	2'-6" x 2'-6" x 1'-0"	(3) #5 E.W. BOT.
F2	3'-6" x 3'-6" x 1'-0"	(4) #5 E.W. BOT.
F3	4'-6" x 4'-6" x 1'-2"	(6) #5 E.W. BOT.



DESIGN CRITERIA:

BUILDING CODE: INTERNATIONAL BUILDING CODE/2009

LIVE LOAD:
 PRIVATE ROOMS AND CORRIDORS SERVING THEM: 40 PSF
 PUBLIC ROOMS AND CORRIDORS SERVING THEM: 100 PSF
 CORRIDORS AND STAIRS: 100 PSF

DEAD LOAD:
 NEW FLOORS: 15 PSF
 NEW STEEL-FRAMED ROOF: 20 PSF
 NEW WOOD-FRAMED ROOF: 15 PSF
 EXISTING FLOOR AND ROOF: 25

SNOW LOAD:
 GROUND SNOW LOAD: 50 PSF
 EXPOSURE FACTOR, C_e : 1.0
 THERMAL FACTOR, C_t : 1.2
 IMPORTANCE FACTOR, I_s : 1.0
 FLAT ROOF SNOW LOAD, P_f : 42 PSF

WIND LOAD - NEH ADDITION:
 BASIC WIND SPEED (3 SEC GUST): 100 MPH
 IMPORTANCE FACTOR, I_w : 1.0
 HEIGHT & EXPOSURE ADJUST. COEF.: 1.16
 EXPOSURE CATEGORY: B
 BUILDING CATEGORY: B

EARTHQUAKE DESIGN DATA - NEH ADDITION (ASCE T-02):
 OCCUPANCY IMPORTANCE FACTOR, I_e : 1.0
 SEISMIC USE GROUP: I
 SHORT PERIOD SPECTRAL ACCELERATION, S_s : 0.375
 1 SEC PERIOD SPECTRAL ACCELERATION, S_1 : 0.100
 SITE CLASS: C
 SHORT PERIOD 5% DAMPED SPECTRAL RESPONSE ACCELERATION, S_{ds} : 0.30
 1 SEC 5% DAMPED SPECTRAL RESPONSE ACCELERATION, S_{d1} : 0.11
 SEISMIC DESIGN CATEGORY: B
 BASIC SEISMIC FORCE RESISTING SYSTEM: ORDINARY MOMENT FRAME E-W
 RESPONSE MODIFICATION FACTORS, R : LIGHT-FRAMED WALLS WITH WOOD STRUCT PANELS N-S: 4.5 E-W, 6.5 N-S
 DEFLECTION AMPLIFICATION FACTORS, C_d : 5.0 E-W, 4.0 N-S
 SYSTEM OVERSTRENGTH FACTORS, Ω_0 : 2.0 E-W, 3.0 N-S
 ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
 BASE SHEAR: 4.6 K N-S, 5.7 K E-W



Prepared For:
The Inn at Diamond Cove, LLC

22 Oakmont Drive
Old Orchard Beach, MD 21111
Tel: 410-326-1171



Project:
THE INN AT
DIAMOND COVE,
TTC

Revisions:

Date:
19 March 2012

Scale:
1/8" = 1'-0"

Project North
GENERAL NOTES
S1.

FOUNDATION AND BASEMENT FLOOR FRAMING PLAN
 1/8"=1'-0"

TOP OF CONCRETE ELEV = 101'-2" UNLESS NOTED (XXX'-X")

4" THICK, FIBER-REINFORCED SLAB-ON-GRADE SHALL BEAR ON A VAPOR BARRIER OVERLYING 6" OF COMPACTED STRUCTURAL FILL.

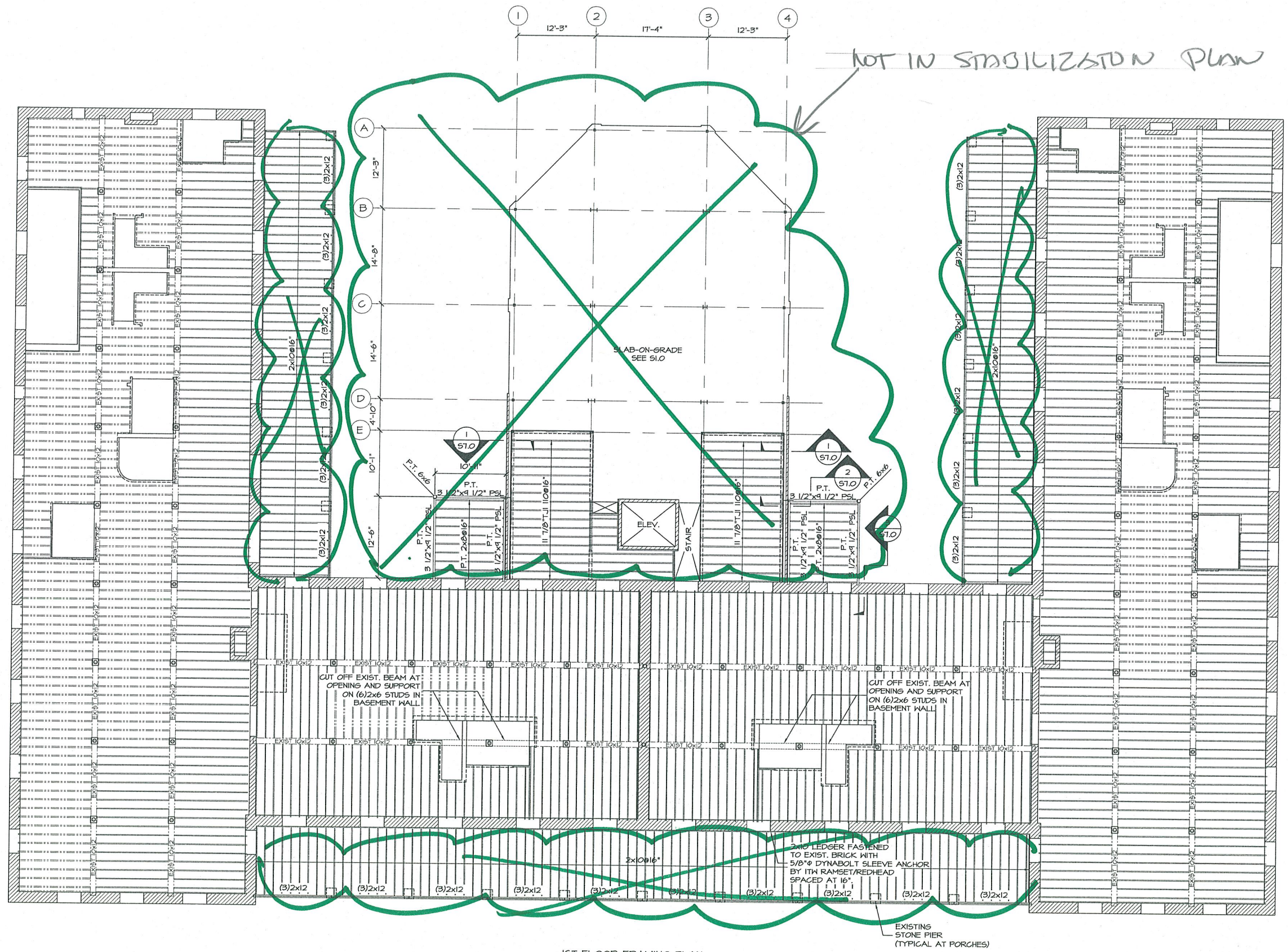
DIMENSIONS AND ELEVATIONS NOTED AT GRID 1 ARE MIRRORED ON GRID 4.

SECTIONS AND DETAILS NOTED ON GRID 4 ARE MIRRORED ON GRID 1.

ALL WOOD FRAMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

NOT INCLUDED IN STABILIZATION PLAN

STABILIZATION PLAN 9/15/17.



EXISTING BUILDING FRAMING SCHEDULE	
MARK	SIZE
	EXIST. 2"x11 1/8" JOIST
	NEW JOIST - 2x12@16" UNO
I	3 1/2"x11 1/4" PSL

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

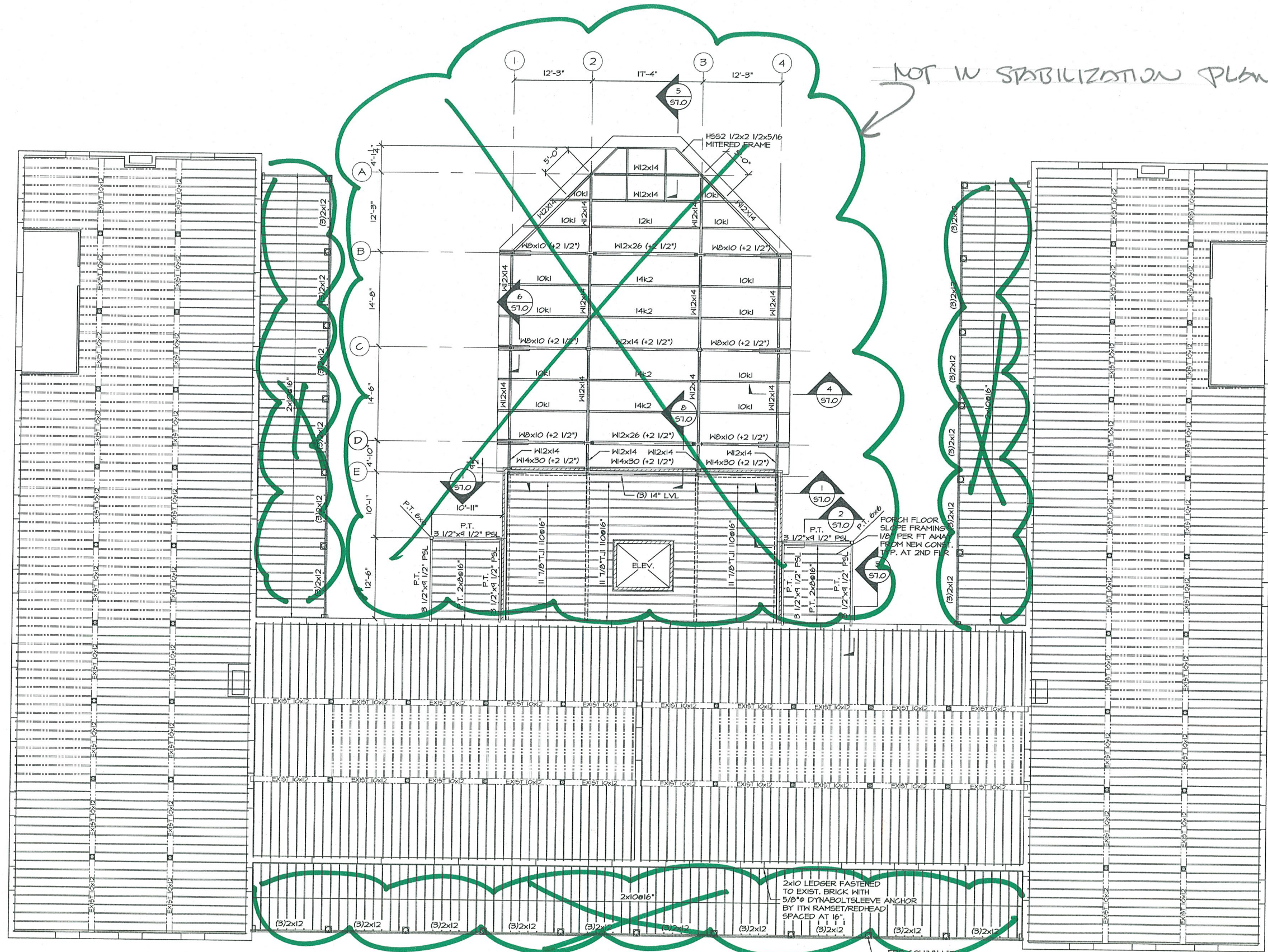
1ST FLOOR FRAMING PLAN
 1/8"=1'-0"

FLOOR SHEATHING IS 3/4" ADVANTECH. MATCH TOP OF NEW SHEATHING ELEVATION TO TOP OF EXISTING SUBFLOOR (105'-6")₁.

NEW FLOOR JOISTS IN EXISTING BUILDINGS ARE TO BEAR INTO EXISTING OR NEW POCKETS IN BRICK WALL.

ALL PORCH FRAMING IS P.T. SOUTHERN YELLOW PINE. ALL HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOTDIPPED GALVANIZED OR SIMPSON Z-MAX COATED.

STABILIZATION PLAN 9/15/12



NOT IN STABILIZATION PLAN

FRAMING SCHEDULE	
MARK	SIZE
	EXIST. 2"x11 7/8" JOIST
	NEW JOIST - 2"x12@16" UNO
1	3 1/2"x11 1/4" PSL
GL	5 1/8"x13 1/2" GLULAM BEAM

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

2ND FLOOR AND ADDITION LOW ROOF FRAMING PLAN
1/8"=1'-0"

TOP OF STEEL ELEVATION = 113'-5 1/2" UNLESS NOTED (±x").

• INDICATES MOMENT CONNECTION. SEE S7.0.

LOBBY ROOF DECK IS PAINTED, 20 GAGE, 1 1/2" TYPE B STEEL DECK.

FLOOR SHEATHING IS 3/4" ADVANTECH. MATCH TOP OF NEW SHEATHING ELEVATION TO TOP OF EXISTING SUBFLOOR (116'-4").

NEW FLOOR JOISTS IN EXISTING BUILDING ARE TO BEAR INTO EXISTING OR NEW POCKETS IN BRICK WALL.

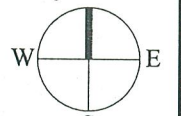
ALL PORCH FRAMING IS P.T. SOUTHERN YELLOW PINE. ALL HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOTDIPPED GALVANIZED OR SIMPSON Z-MAX COATED.

2x10 LEDGER FASTENED TO EXIST. BRICK WITH 5/8" Ø DYNABOLTS/SLEEVE ANCHOR BY 11X RAMSET/REDHEAD SPACED AT 16".

FR. COLUMN WITH CAPACITY = 32,000 LB OR H554x4x3/16 WITH DECORATIVE WRAP (TYPICAL AT PORCHES)

STABILIZATION PLAN 9/15/12

Project North



S3



Prepared For:
The Inn at Diamond Cove LLC

Structural Engineer:
ARCHITECTURAL DESIGN

ARCHETYPE architects

THE INN AT DIAMOND COVE, PROJECT

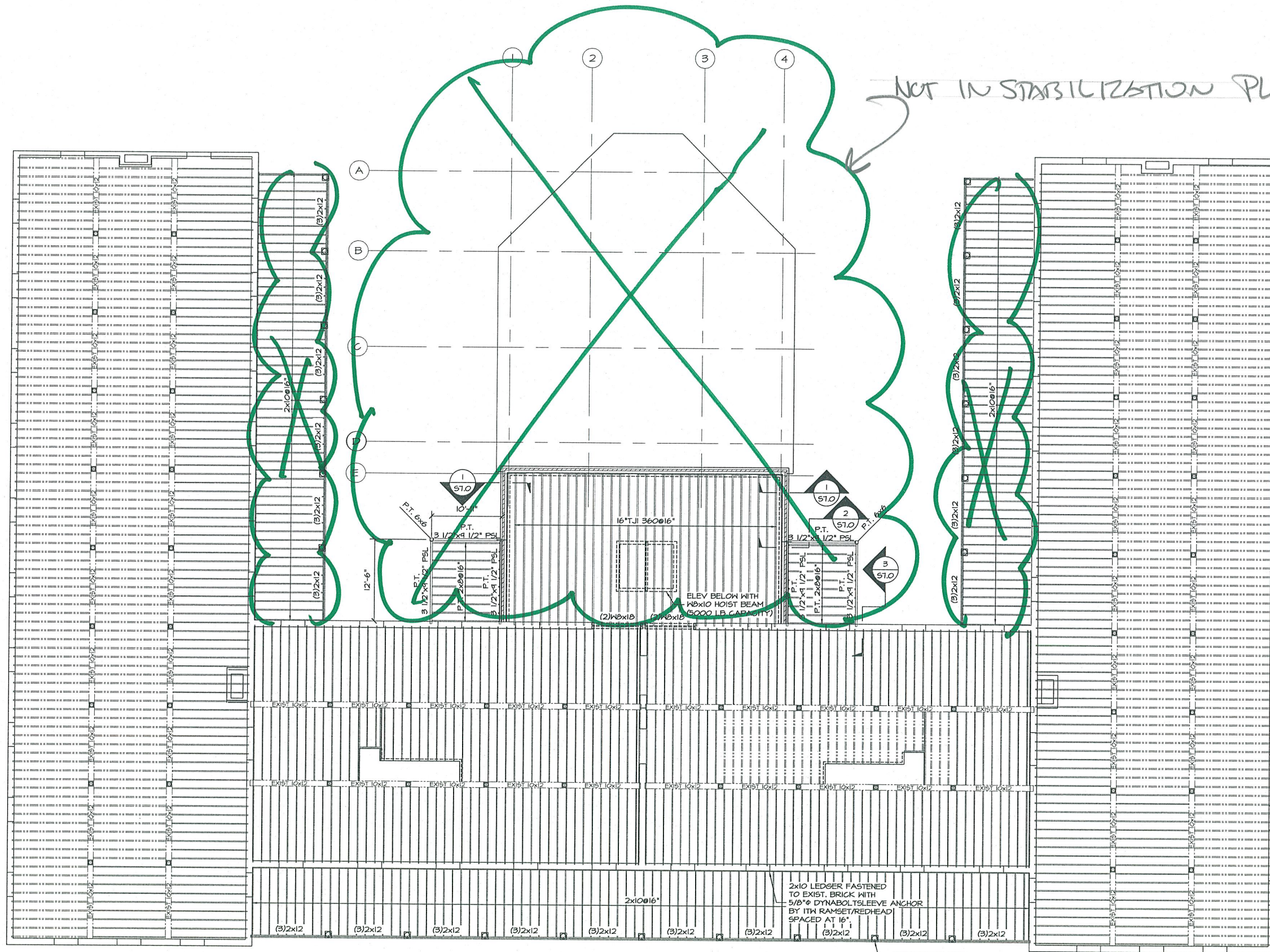
Project:
THE INN AT DIAMOND COVE, PROJECT

Revisions:

Scale:
1/8" = 1'-0"

Date:
19 March 2012

SECOND FLOOR & STABILIZATION PLAN



NOT IN STABILIZATION PLAN

FRAMING SCHEDULE	
MARK	SIZE
---	EXIST. 1 7/8" x 9 5/8" JOIST
---	NEW JOIST - 2x10@16" UNO
I	3 1/2" x 11 1/4" PSL
GL	5 1/8" x 13 1/2" GLULAM BEAM

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

3RD FLOOR AND ADDITION HIGH ROOF FRAMING PLAN
1/8"=1'-0"

FLOOR AND ROOF SHEATHING IS 3/4" ADVANTECH.

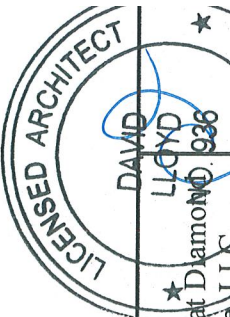
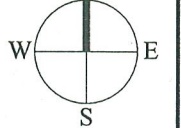
TOP OF SHEATHING ELEVATIONS:
ADDITION HIGH ROOF = 14'-3" ABOVE EXISTING 2ND FLOOR
PORCH ROOFS (HIGH END) = 12'-6" ABOVE EXISTING 2ND FLOOR

NEW FLOOR JOISTS IN EXISTING BUILDING ARE TO BEAR INTO EXISTING OR NEW POCKETS IN BRICK WALL.

2x10 LEDGER FASTENED TO EXIST. BRICK WITH 5/8" DYNABOLTS/SLLEEVE ANCHOR BY ITW RAMSET/REDHEAD SPACED AT 16"
FRP COLUMN WITH CAPACITY = 16,000 LB OR HSS4x4x3/16 WITH DECORATIVE WRAP (TYPICAL AT PORCHES)

STABILIZATION PLAN 9/15/12

Project North



Prepared For:
The Inn at Diamond Cove, LLC

22 Ockment Drive
Old Greenwich, CT 06840-4121



Architect:
ARCHETYPE
architects

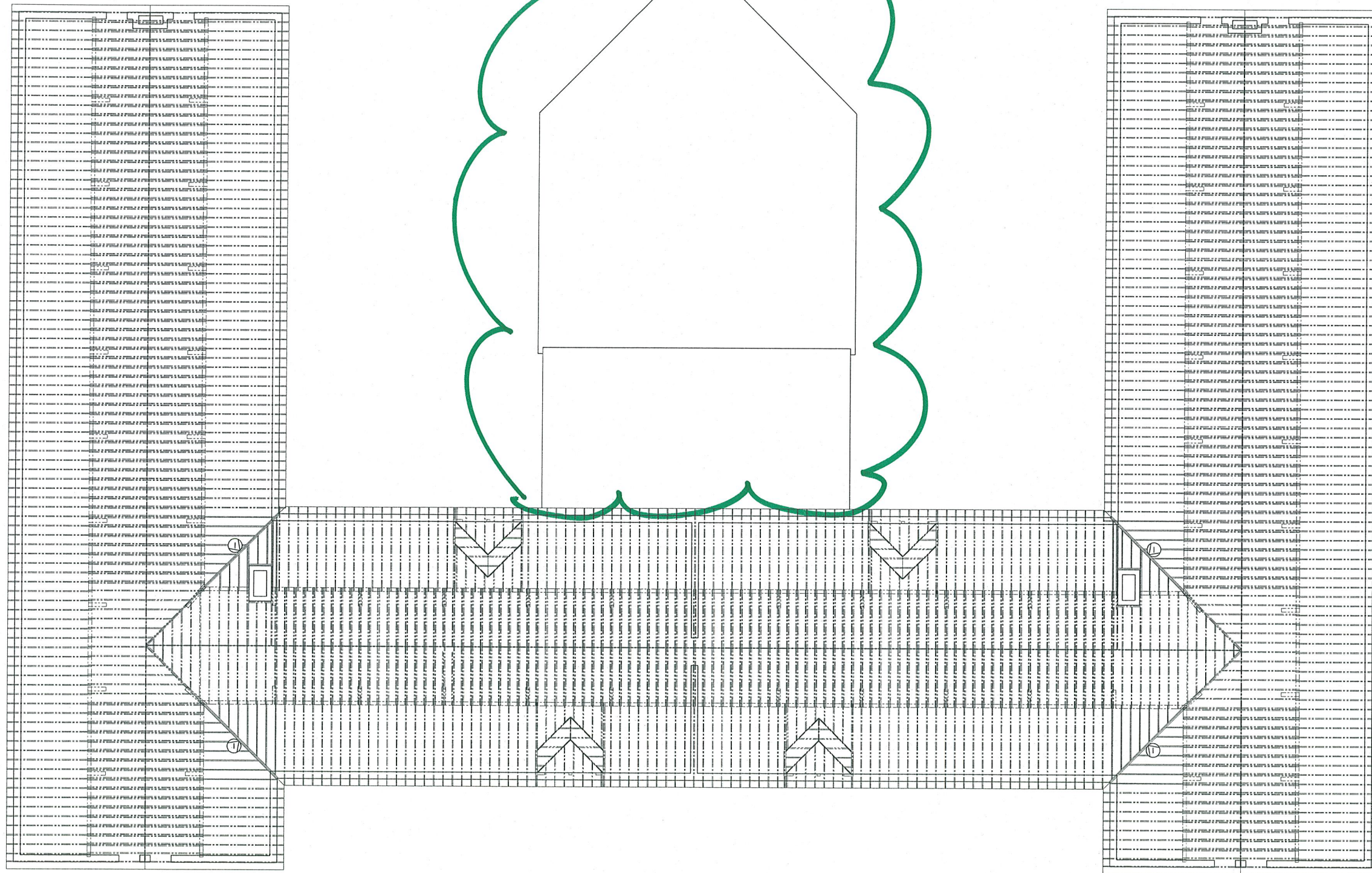
Project:
THE INN AT
DIAMOND COVE,
ITC

Revisions:

Date:
19 March 2012

Scale:
1/8" = 1'-0"

THIRD FLOOR AND
S4

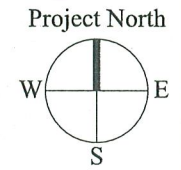


FRAMING SCHEDULE	
MARK	SIZE
	EXIST. 2"x8" RAFTER
	NEW RAFTER - 2x8@16" UNO
I	3 1/2"x11 1/4" PSL

THE EXTENT OF EXISTING ROTTED FRAMING TO BE REPLACED IS APPROXIMATE AND MUST BE VERIFIED DURING DEMOLITION.

EXISTING ROOF FRAMING PLAN
1/8"=1'-0"
NEW ROOF DECK IS 5/8" ADVANTECH.

STABILIZATION PLAN 9/15/12



Date: 19 March 2012
 Scale: 1/8" = 1'-0"
 Revisions:
 Project: THE INN AT DIAMOND COVE,
 ARCHITECTS
 Structural Engineer: ARCHITECTURE
 Prepared For: The Inn at Diamond Cove
 DAVID
 LICENSED ARCHITECT
 22 Odemont Drive
 Old Orchard Beach, ME
 S5