DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING PERMIT

This is to certify that THOMAS R & LAURA LUCKE

Located At 74 MCKINLEY CT

Job ID: 2011-06-1278-MF 3

CBL: 083 - E - E - 154 - 001 - - - - -

has permission to Make repairs to existing rear deck, 2 beams, rim and joist replacement

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.	A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

6/24/11

Fire Prevention Officer **Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No:	Date Applied:	CBL:	
2011-06-1278-MF 3	**6/2/2011**	**083 - E - E - 154 - 001 - - - - -**	
Location of Construction: **74 MCKINLEY CT**	Owner Name: **THOMAS R & LAURA LUCKE**	Owner Address: **74 MIDDLE ST LEXINGTON, MA 02421**	Phone: 617-775-5923
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: **BUILDING**	Zone: **IR-3**
Past Use: Single family unit in 8 unit building	Proposed Use: Single Family unit in 8 unit building – repair rear porch in existing footprint	Cost of Work: **1000.00**	CEO District:
		Fire Dept: ✓ Approved w/conditions ___ Denied ___ N/A Signature: BJ Caldwell (5F)	Inspection: Use Group: R-2 Type: 5 IBC-2009 Signature: JMB 6/24/11
Proposed Project Description: **repair to existing porch**		Pedestrian Activities District (P.A.D.)	
Permit Taken By:			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrial work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
___ Shoreland		yes
___ Wetlands work is w/in existing footprint	___ Variance	___ Not in Dist or Landmark
___ Flood Zone	___ Miscellaneous	___ Does not Require Review
___ Subdivision	___ Conditional Use	___ Requires Review
___ Site Plan	___ Interpretation	✓ Approved
___ Maj ___ Min ___ MM	___ Approved	___ Approved w/Conditions
Date: Ok w/ condition 6/7/11 ARM	___ Denied	___ Denied
	Date.	Date: 6/13/11 D. Andrews

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHON

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Framing/Final

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCU0PIED.

#2011 06 1278 6/6/11 GF By Mail owes $50.00 HP IR-3 H-P

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 74 McKinley Court		
Total Square Footage of Proposed Structure/Area: Rear Porch, approx 280 sq. ft.	Square Footage of Lot: Approx. 1650 sq. ft.	Number of Stories: 2
Tax Assessor's Chart, Block & Lot Chart# 083E Block# E15 Lot# 4001	Applicant *must be owner, Lessee or Buyer* Name: Thomas Lucke Address: 74 Middle St. City, State & Zip: Lexington, MA 02421	Telephone: 617-775-5923
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: $ 500 C of O Fee: $ Total Fee: $ 30

RECEIVED
JUN - 2 2011
Dept. of Building Inspections
City of Portland Maine

owes $30.00 HP

Current legal use (i.e. single family): Single Family Number of Residential Units: 1
If vacant, what was the previous use?
Proposed Specific use:
Is property part of a subdivision? If yes, please name: Diamond Cove / Ft. McKinley
Project description:
See attached – repair to an existing porch

Contractor's name: Self / N-A
Address: 74 Middle St
City, State & Zip: Lexington, MA 02421 Telephone: 617 775 5923
Who should we contact when the permit is ready: Tom Lucke Telephone: 617 775 5923
Mailing address: Same

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Thomas R Lucke Date: 6/1/11

This is not a permit; you may not commence ANY work until the permit is issued

Building Permit Application
Project Description

June 1, 2011

Property:
74 McKinley Court
Diamond Cove
Great Diamond Island, ME 04109

CBL: 083E E154001

Owner/Applicant:
Tom Lucke
74 Middle Street
Lexington, MA 02421
617- 775-5923

This application is for structural repairs to a rear porch attached to a single-family unit that is part of Building 15 at Diamond Cove/ Fort McKinley, located on Great Diamond Island.

Attachments:

1. Plan of Diamond Cove (showing the location of the property, identified as unit 15-D in this plan).
2. Plan detail showing lot footprint of 74 McKinley Court (shown as unit 15-D on the plan) and the porch to be repaired.
3. Southwest Elevation, showing porch to be repaired. Repair area is highlighted in yellow. Note that the railing that is part of the stairs to the neighboring property is not shown so that the porch supports are visible on this elevation.
4. Existing Condition – Framing plan and elevation for porch.
5. Existing Condition – Detail sections through porch.
6. Proposed Repair – Framing plan and elevation for porch (repairs highlighted in yellow).
7. Proposed Repair – Detail sections through porch (repairs highlighted in yellow).
8. Building Permit Application Checklist.

The attached plan of the development (Attachment 1) shows the location of the building on the property, and a detail from the plan (Attachment 2) shows the location of the rear porch relative to the building and unit itself (note that the given the nature of the Diamond Cove redevelopment, the legal "lot" footprint is identical to the building footprint occupied by the unit).

The lot line is shown on the existing framing plan (Attachment 4). No changes are proposed on the "far" side of this property line (to the left of the line as seen on the plan).

The Southeast Elevation (Attachment 3) shows the area of repair (highlighted in yellow), as do the framing plan and elevation (Attachment 4) showing the existing condition. The outer-most 10" of "Beam 1", the marked 6x10 beam, is rotted. In addition, the 2X10s that make up the rim joist system between "Beam 1" and Beam 2" (location also marked on the plan) have areas of rot, and one of the members is cracked. Finally, there are several pieces of the 4/4" T&G decking that are either rotted or beginning to show signs of decay.

The proposed repair is as follows:

- The existing 9' 4" long 6"x10" (actual dimension) beam marked on the framing plan as "Beam 1"will be removed and replaced with a built-up beam fabricated from four (4) pressure treated 2x12s, each 9' 4" in length
    - The 2x12s will be trimmed to an actual 10" height to fit the existing support in the foundation wall
    - As with the existing beam, 6" of beam will rest in a pocket in the granite foundation wall
    - The 2x12s making up the beam will be fastened to each other with 16D 316 stainless ring nails in two lines (top and bottom of the beam), angled at 30 degrees from vertical, joining each of the 2x12s.
    - The built-up beam will be notched in the same way that the existing beam is, to rest correctly on the steel plate and support post, and to receive the 2x6 that is a component of the rim joist system (see framing plan of the existing condition, Attachment 4 and framing detail, Attachment 5).
    - The built up beam will be secured to the steel plates from below, using 16D stainless commons through the existing holes in the plates.
    - The existing iron strap shown on the framing plan, Attachment 4, (36" long 2 x ½") will be reused to secure the new built-up beam to the foundation. The beam will be covered with a section of Grace Ice and Water shield to prevent direct contact between the strap and the pressure treated lumber (to reduce the potential for corrosion)
- The existing 2x10 (nominal) joists that support the porch decking will be re-used in place and attached to the new built-up beam.
    - The joists are currently notched to accommodate ledger boards on the existing 6x10 beam, and are toe-nailed to the beam with 16d commons. (see section B on Attachment 5, showing framing plan details). The repair will duplicate this method of attachment.
    - New 2x2 pressure treated ledger boards will be nailed to the built-up beam (using 16d 316 stainless nails).

    - Each existing joist will be toe-nailed to the new beam with six 16d HGD commons (galvanized per ASTM-A153 for use in pressure treated lumber).
- The existing rim joist system between Beam 1 and Beam 2 (as highlighted on the existing framing plan, Attachment 4) will be replaced with pressure treated lumber. Three new pressure treated 2x10s and one pressure treated 2x6 will be place and nailed as in the existing system. Fasteners will be 16d 316 stainless.
- New pressure treated 1x2 standoffs will be nailed to the face of the rim joist, replacing the existing non-treated pine standoffs.
- A new section of 1x10 fascia will be applied over the standoffs, matching the existing fascia
- Sections of 4/4" T&G decking that are rotted will be replace with identical material previously salvage from another porch. These sections will be toe-nailed to the joists with 10d HDG commons (as are the existing). Roughly 10-12 sections are likely to require replacement.

The proposed repairs are shown on Attachments 6 and 7, highlighted in yellow.

Because this property is in the Fort McKinley historic district, this project has been coordinated with and approved by the Diamond Cove Homeowners Association Design Review Board.

A copy of these materials is also being submitted to Deb Andrews at Portland Historic for review.

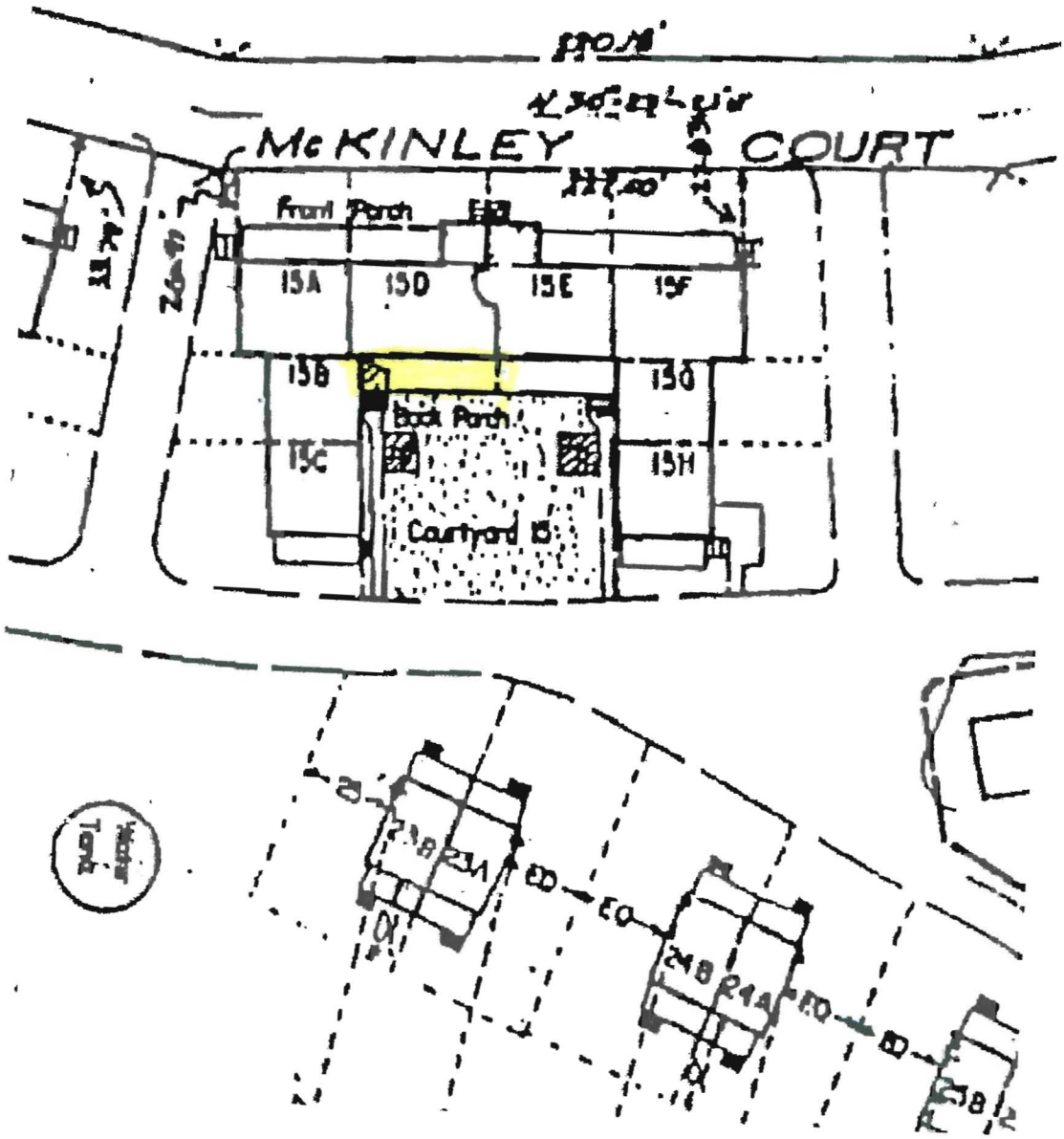
Please call me if you have any questions.

ATTACHMENT 2

DETAIL OF BUILDING (15-D)
FROM DIAMOND COVE PLAN

UNIT 15-D
REAR PORCH HIGHLIGHTED

Tom Locke
74 McKinley Ct.
Diamond Cove
Great Diamond Island, ME



ATTACHMENT 3

SOUTHEAST ELEVATION

EXISTING CONDITION + PROPOSED CONDITION (NO CHANGE)

1/8" = 1'0

NOTE- RAILING ON STAIRS NOT SHOWN FOR CLARITY
AREA OF REPAIR HIGHLIGHTED

Tom Lucke
74 McKinley Ct.
Diamond Cove
Great Diamond Island, ME

ATTACHMENT 8

Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than $3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- ☑ Cross sections w/framing details
- ☑ Floor plans and elevations existing & proposed
- ☑ Detail removal of all partitions & any new structural beams
- N/A ☐ Detail any new walls or permanent partitions
- N/A ☐ Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- N/A ☐ Window and door schedules
- N/A ☐ Foundation plans w/required drainage and damp proofing (if applicable)
- N/A ☐ Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- N/A ☐ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
- ☑ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- N/A ☐ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- N/A ☐ Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- ☑ The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- N/A ☐ Location and dimensions of parking areas and driveways
- N/A ☐ A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: $30.00 for the first $1000.00 construction cost, $10.00 per additional $1000.00 cost

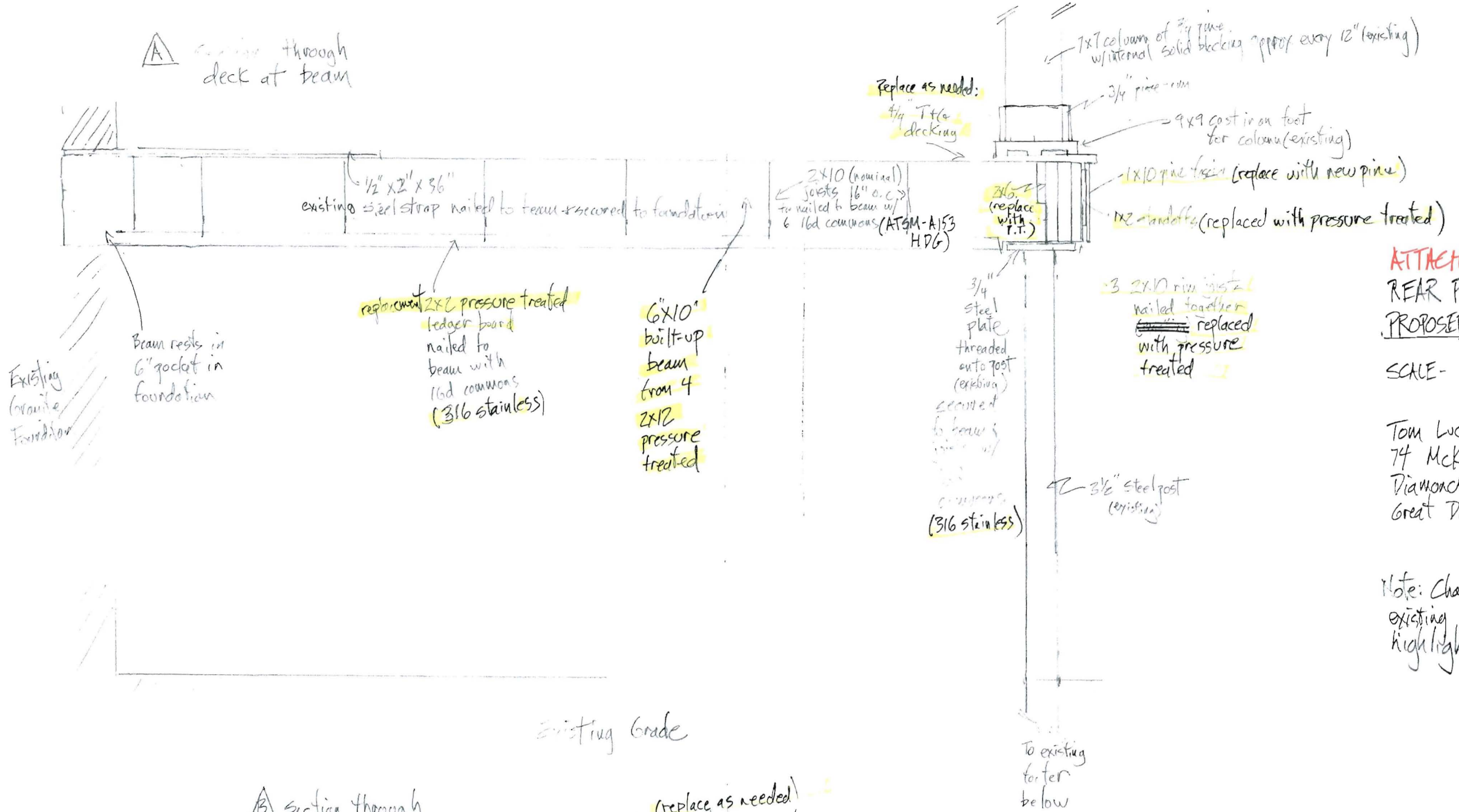
This is not a Permit; you may not commence any work until the Permit is issued.

Revised 01-20-10

TABLE R602.3(1)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER[a, b, c]	SPACING OF FASTENERS
	Roof		
1	Blocking between joists or rafters to top plate, toe nail	3-8d ($2^1/_2$″ × 0.113″)	—
2	Ceiling joists to plate, toe nail	3-8d ($2^1/_2$″ × 0.113″)	—
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	—
4	Collar tie rafter, face nail or $1^1/_4$″ × 20 gage ridge strap	3-10d (3″ × 0.128″)	—
5	Rafter to plate, toe nail	2-16d ($3^1/_2$″ × 0.135″)	—
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	 4-16d ($3^1/_2$″ × 0.135″) 3-16d ($3^1/_2$″ × 0.135″)	 — —
	Wall		
7	Built-up corner studs	10d (3″ × 0.128″)	24″ o.c.
8	Built-up header, two pieces with $^1/_2$″ spacer	16d ($3^1/_2$″ × 0.135″)	16″ o.c. along each edge
9	Continued header, two pieces	16d ($3^1/_2$″ × 0.135″)	16″ o.c. along each edge
10	Continuous header to stud, toe nail	4-8d ($2^1/_2$″ × 0.113″)	—
11	Double studs, face nail	10d (3″ × 0.128″)	24″ o.c.
12	Double top plates, face nail	10d (3″ × 0.128″)	24″ o.c.
13	Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d ($3^1/_2$″ × 0.135″)	—
14	Sole plate to joist or blocking, face nail	16d ($3^1/_2$″ × 0.135″)	16″ o.c.
15	Sole plate to joist or blocking at braced wall panels	3-16d ($3^1/_2$″ × 0.135″)	16″ o.c.
16	Stud to sole plate, toe nail	3-8d ($2^1/_2$″ × 0.113″) or 2-16d $3^1/_2$″ × 0.135″)	— —
17	Top or sole plate to stud, end nail	2-16d ($3^1/_2$″ × 0.135″)	—
18	Top plates, laps at corners and intersections, face nail	2-10d (3″ × 0.128″)	—
19	1″ brace to each stud and plate, face nail	2-8d ($2^1/_2$″ × 0.113″) 2 staples $1^3/_4$″	— —
20	1″ × 6″ sheathing to each bearing, face nail	2-8d ($2^1/_2$″ × 0.113″) 2 staples $1^3/_4$″	— —
21	1″ × 8″ sheathing to each bearing, face nail	2-8d ($2^1/_2$″ × 0.113″) 3 staples $1^3/_4$″	— —
22	Wider than 1″ × 8″ sheathing to each bearing, face nail	3-8d ($2^1/_2$″ × 0.113″) 4 staples $1^3/_4$″	— —
	Floor		
23	Joist to sill or girder, toe nail	3-8d ($2^1/_2$″ × 0.113″)	—
24	1″ × 6″ subfloor or less to each joist, face nail	2-8d ($2^1/_2$″ × 0.113″) 2 staples $1^3/_4$″	— —
25	2″ subfloor to joist or girder, blind and face nail	2-16d ($3^1/_2$″ × 0.135″)	—
26	Rim joist to top plate, toe nail (roof applications also)	8d ($2^1/_2$″ × 0.113″)	6″ o.c.
27	2″ planks (plank & beam – floor & roof)	2-16d ($3^1/_2$″ × 0.135″)	at each bearing
28	Built-up girders and beams, 2-inch lumber layers	10d (3″ × 0.128″)	Nail each layer as follows: 32″ o.c. at top and bottom and staggered. Two nails at ends and at each splice.
29	Ledger strip supporting joists or rafters	3-16d ($3^1/_2$″ × 0.135″)	At each joist or rafter

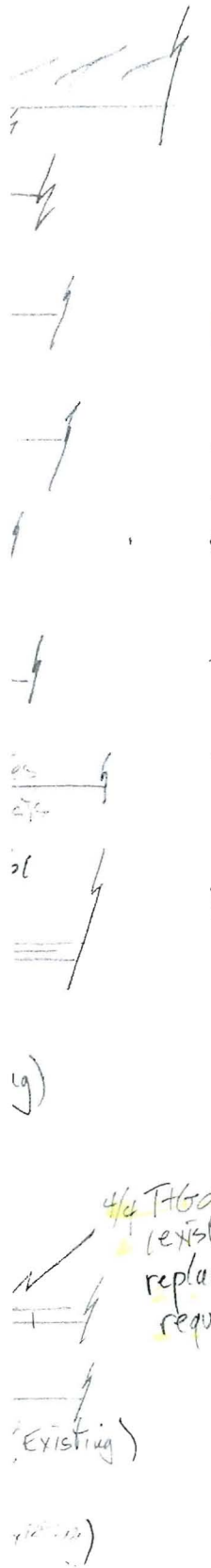
(continued)



ATTACHMENT 7
REAR PORCH
PROPOSED REPAIR
SCALE- 1/2" = 1'0"

Tom Lucke
74 McKinley Ct
Diamond Cove
Great Diamond Island, ME

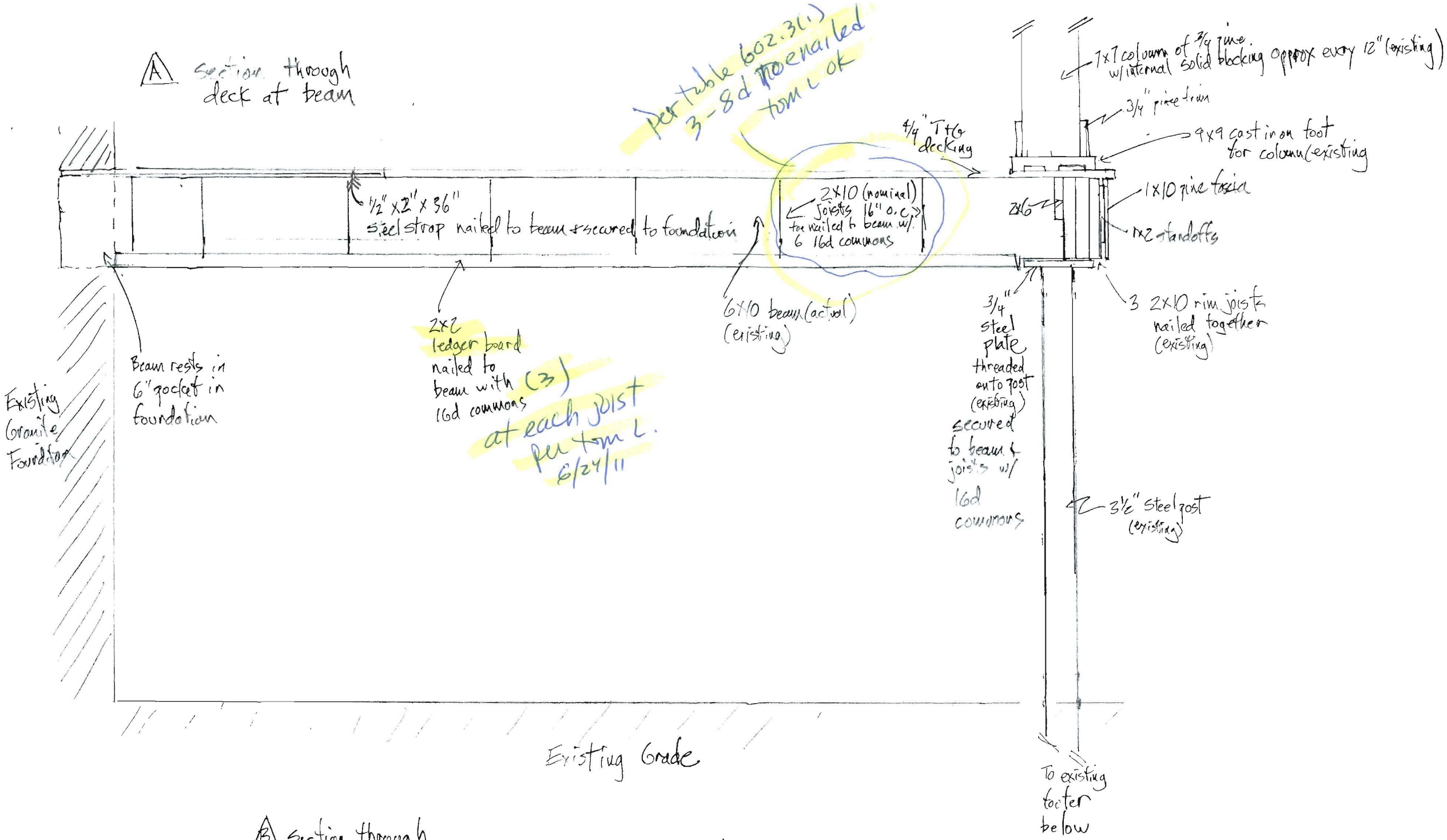
Note: Changes from existing condition highlighted

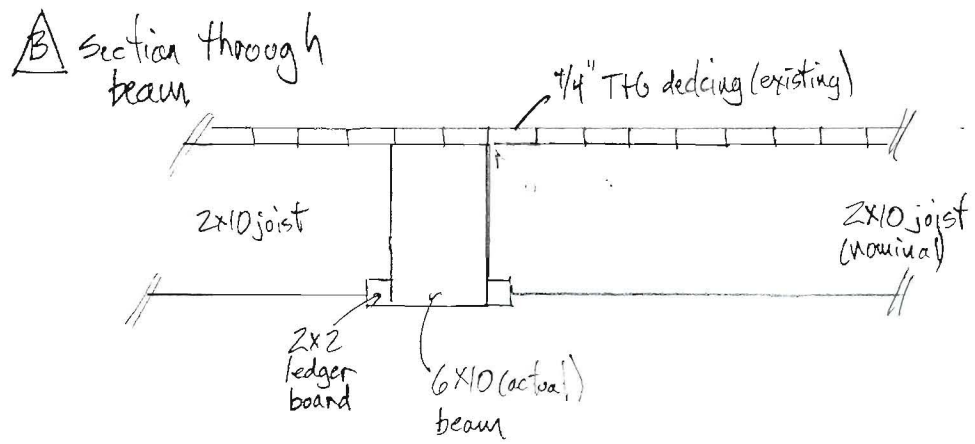


ATTACHMENT 6
REAR PORCH
PROPOSED REPAIR
SCALE- 1/2" = 1'0"

Tom Lucke
74 McKinley Ct.
Diamond Cove
Great Diamond Island, ME

Note: Changes from existing condition highlighted





ATTACHMENT 5

REAR PORCH EXISTING CONDITION DETAILS

SCALE - 1" = 1'0"

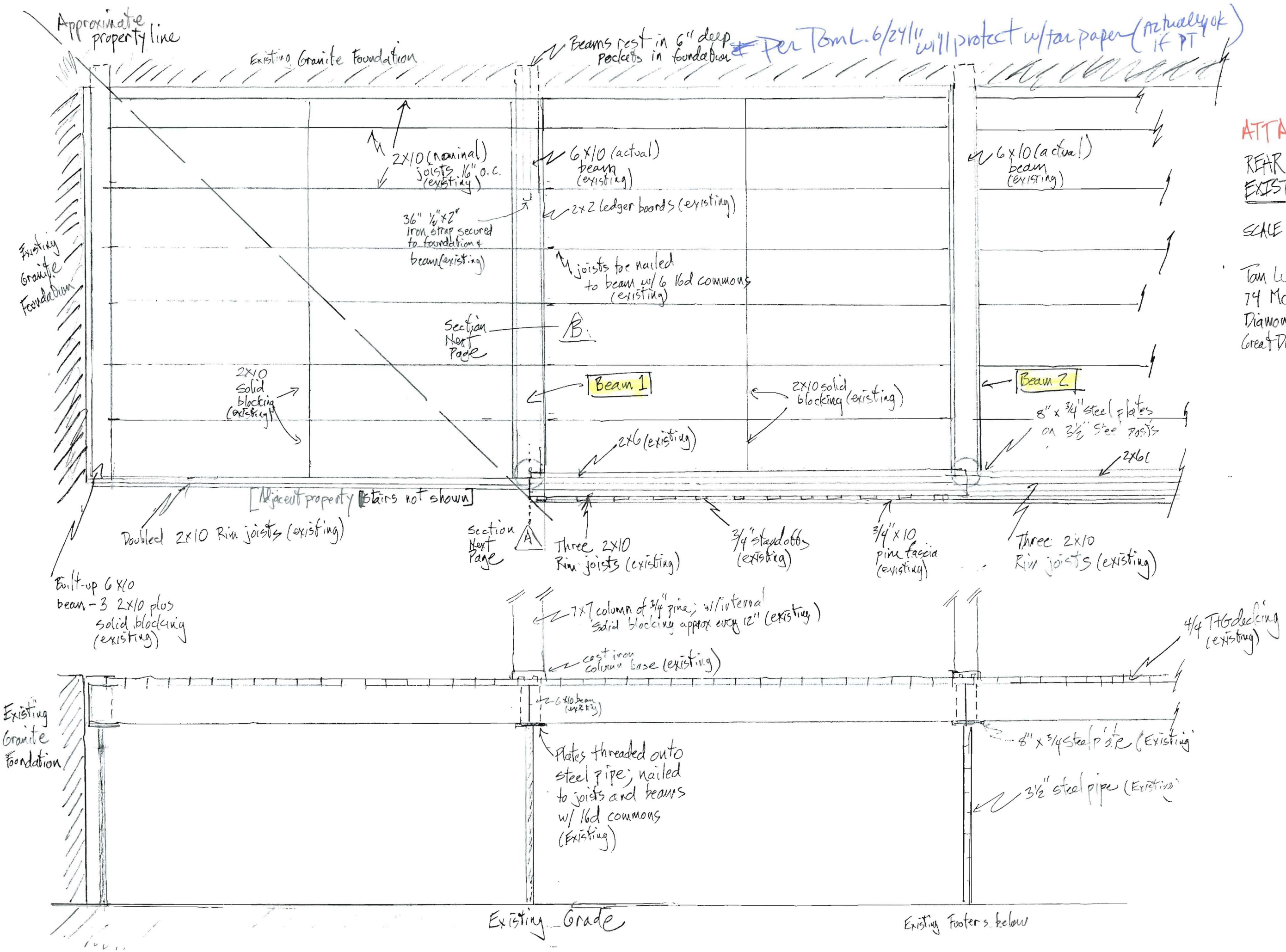
Tom Locke
74 McKinley Ct.
Diamond Cove
Great Diamond Island, ME

ATTACHMENT 4

REAR PORCH
~~EXISTING~~ CONDITION

SCALE - ½" = 1'0"

Tom Locke
74 McKinley Ct.
Diamond Cove
Great Diamond Island, ME



ATTACHMENT 1

Tom Locke
74 McKinley Ct.
Diamond Cove
Great Diamond Island, ME

SURVEYORS STATEMENT

I HEREBY STATE TO DIAMOND COVE ASSOCIATES, EXCLUSIVELY, THAT THE ALTERATIONS OF SHEET 4 OF "PLAN OF DIAMOND COVE," NOW KNOWN AS SHEET 4A, CONFORM TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CATEGORY I, CONDITION II STANDARDS AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SEPTEMBER 19, 1990

JOHN D. ROBERTS
MAINE PROFESSIONAL LAND SURVEYOR #1155
LAND USE CONSULTANTS
PORTLAND, MAINE

STATE OF MAINE JOHN D. ROBERTS 1155 REGISTERED LAND SURVEYOR

W/ DIAMOND COVE ASSOCIATES

SURVEYOR'S CERTIFICATION

I HEREBY STATE TO McKINLEY PARTNERS LIMITED PARTNERSHIP, EXCLUSIVELY, THAT:

INFORMATION SHOWN HEREON FOR THE CREATION OF THIS AMENDED PLAN, IS FROM A SKETCH AND A DESCRIPTION PREPARED BY LAND USE CONSULTANTS, INC. AND DATED JUNE 20, 1996. THE UNDERSIGNED SURVEYOR DID NOT SUPERVISE, SUPERVISE ANY WORK PERFORMED FOR THE CREATION OF SAID SKETCH AND DESCRIPTION, AND DID NOT PERFORM A COMPREHENSIVE COMPREHENSIVE REVIEW OF SAID DOCUMENTS. THE [illegible] USE EASEMENT AS SHOWN ON THIS PLAN TO THE BEST OF MY KNOWLEDGE IS CORRECT.

TIMOTHY A. PATCH
MAINE PROFESSIONAL LAND SURVEYOR #2284

STATE OF MAINE TIMOTHY A. PATCH 2284 REGISTERED LAND SURVEYOR

SEE SHEET 3 OF 7 FOR CONTINUATION OF LINE

SEE SHEET 3 OF 7 FOR COURSE AND DISTANCE OF LINE

MATCHLINE SEE SHEET 3 of 7

ARC = 102.12'
R = 800.00'
S 71°-24'-33" W
101.93'

S 60°-07'-45" W
220.37'

S 42°-58'-19" W
209.08'

N 49°-09'-21" W
179.30'

S 18°-50'-39" W
209.19'

SEE SHEET 5 OF 7 FOR CONTINUATION OF LINE

MATCHLINE SEE SHEET 5 of 7

McKINLEY COURT

DIAMOND AVENUE

Open Space
Recreation Area

SWIMMING POOL

Flagpole

Water Tank

BUILDING #20
EXCLUSIVE USE EASEMENT PER A DESCRIPTION BY LAND USE CONSULTANTS, INC. DATED JUNE 20, 1996.

IR-1 Zone
IR-3 Zone

MATCHLINE SEE SHEET 7 of 7

MATCHLINE SEE SHEET 7 of 7

NOTE: THE PURPOSE OF THIS AMENDED PLAN IS TO DEPICT AN EXCLUSIVE USE EASEMENT AT BUILDING #20.

Key Map

DATE:	REVISIONS:

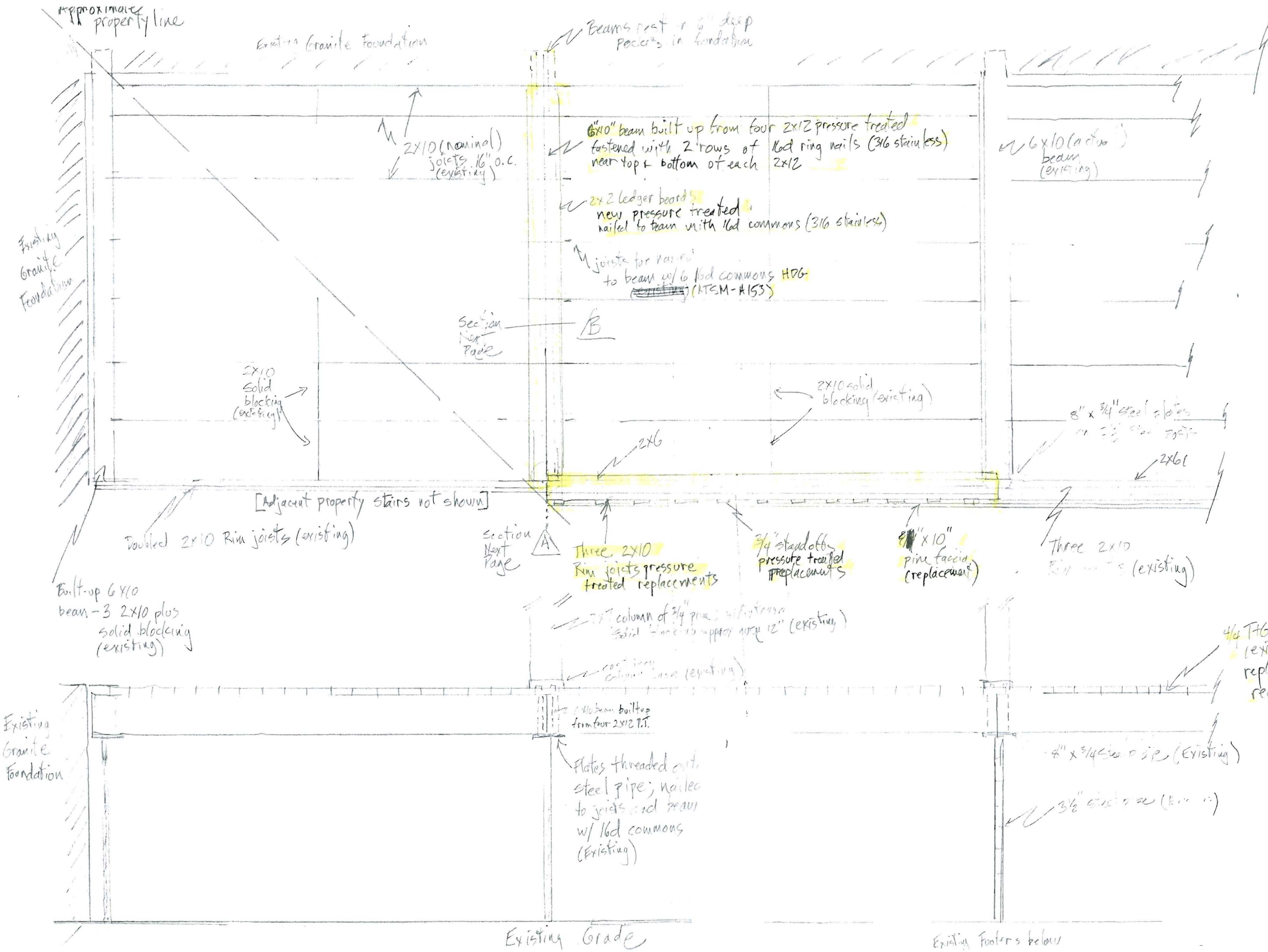
DIAMOND COVE
Great Diamond Island
Portland, Maine
AMENDED
Plan of Diamond Cove

Prepared For Record Owner:
McKinley Partners Limited Partnership
P.O. Box 125
Saco, Maine 04072

DATE: JULY 1, 1999	JOB NO: 1420
DRN: EBY CHK:	FIELD BK: 140, 106
SCALE: 1" = 60'	SHEET 4A OF 7 AMENDED

FEET
0 50 100 150
0 10 20 40
METERS

LAND USE CONSULTANTS



Approximate property line
Existing Granite Foundation
Beams rest in 6" deep pockets in foundation
2x10 (nominal) joists 16" o.c. (existing)
6x10" beam built up from four 2x12 pressure treated fastened with 2 rows of 16d ring nails (316 stainless) near top + bottom of each 2x12
6x10 (actual) beam (existing)
2x2 ledger boards new pressure treated nailed to beam with 16d commons (316 stainless)
joists to beam w/ 6 16d commons HDG (ATSM-A153)
Existing Granite Foundation
Section Next Page
B
2x10 Solid blocking (existing)
2x10 solid blocking (existing)
2x6
2x6
[Adjacent property stairs not shown]
Doubled 2x10 Rim joists (existing)
Section Next Page
A
Three 2x10 Rim joists pressure treated replacements
3/4" standoffs pressure treated replacements
"x10" pine faccia (replacement)
Three 2x10 (existing)
Built-up 6x10 beam - 3 2x10 plus solid blocking (existing)
(existing)
4/4 T+G (existing) replace as required
Existing Granite Foundation
6x10 beam builtup from four 2x12 P.T.
Plates threaded steel pipe; nailed to joists and beam w/ 16d commons (Existing)
8" x 3/4 (Existing)
Existing Grade
Existing Footers below

ATTACHMENT 6

REAR PORCH
PROPOSED REPAIR
SCALE ½" = 1'0"

Tom Locke
74 McKinley Ct.
Diamond Cove
Great Diamond Island, M

Note: Changes from existing condition highlighted