

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0658	Issue Date: MAY 25 2004	BL: 083E E153001
-----------------------	----------------------------	---------------------

PERMIT ISSUED

Location of Construction: 72 Mckinley Ct	Owner Name: Vackar Walter &	Owner Address: 72 Mckinley Ct	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Goduti Building Co.	Contractor Address: 9 Deering Street Portland	Phone: 2077742753
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone:

Past Use: condo	Proposed Use: condo - interior renovations to attic	Permit Fee: \$381.00	Cost of Work: \$40,000.00	CEO District: 1
--------------------	--	-------------------------	------------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied N/A Signature:	INSPECTION: Use Group: R Type: 5 BOCA 1999 Signature:
---	--

Proposed Project Description:
interior renovations to attic

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: tmm	Date Applied For: 05/25/2004	Zoning Approval
-------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED
MAY 25 2004
CITY OF PORTLAND

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/25/04	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions Per D. Andrews <input type="checkbox"/> Denied 5/14/04 Date: 5/25/04

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040658

Please Read Application And Notes, If Any, Attached

This is to certify that Vackar Walter & /Goduti Building Co.

has permission to interior renovations to attic

AT 72 Mckinley Ct 083E E153001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and when permission procured before this building or part thereof is occupied or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER PERMITS:
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

CITY OF PORTLAND
MAY 25 2004

[Signature]
Director - Building & Inspection Services
Director - Building & Inspection Services

HEAVY NOTICE FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.


_____ Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- _____ Footing/Building Location Inspection; Prior to pouring concrete
- _____ Re-Bar Schedule Inspection: Prior to pouring concrete
- _____ Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final**/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

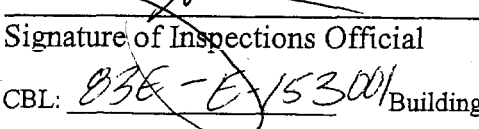
_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED



Signature of Applicant/Designee

5/25/04

Date



Signature of Inspections Official

5/25/04

Date

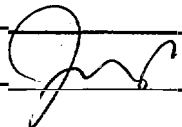
CBL: 036-E-153001 Building Permit #: 04-0658

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made **before** permits of any kind are accepted.

Location/Address of Construction: <u>UNIT 152 DIAMOND COVE</u>			
Total Square Footage of Proposed Structure <u>425</u> ✓		Square Footage of Lot <u>CONDO</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>83-E 153 UNIT 152</u>	Owner: <u>WALTER VACKER</u>		Telephone: <u>512-413-8072</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>776-3768</u> <u>9 DEERING STREET</u> <u>GOODIE BUILDING CO. INC</u> <u>PORTLAND ME 04101</u>		Cost Of Work: \$ <u>40,000.00</u> Fee: \$
Current use: <u>Residence</u>			
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____			
Proposed use: <u>Residence</u>			
Project description: <u>Build out attic. 25' x 25' Finish 25 x 18</u>			
Contractor's name, address & telephone: <u>Goodie Building Co. Inc, 9 Deering St. Portland 04101</u>			
Who should we contact when the permit is ready: <u>James Goodie</u>			
Mailing address: _____			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>776 3768</u>			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.


 you

104

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	083E E153001
Location	72 UCKINLEY CT
Land Use	SINGLE FAMILY
Owner Address	VACKAR WALTER & MARTHA VACKAR JTS 72 MCKINLEY CT GREAT DIAUOND ISLAND ME 04109
Book/Page	20779/028
Legal	83E-E-153 UNIT 15C PLAN OF DIAMOND COVE MCKINLEY CT 72 GREAT DIAMOND ISLAND

Valuation Information

Land	Building	Total
\$31,500	\$112,140	\$143,640

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1850	Townhse	2	1350	0.02	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	5	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
01/16/2004	LAND + BLDING	\$280,000	20779-2a
02/26/2002	LAND + BLDING	\$200,000	17358-059
03/03/1998	LAND + BLDING	\$187,000	13636-273

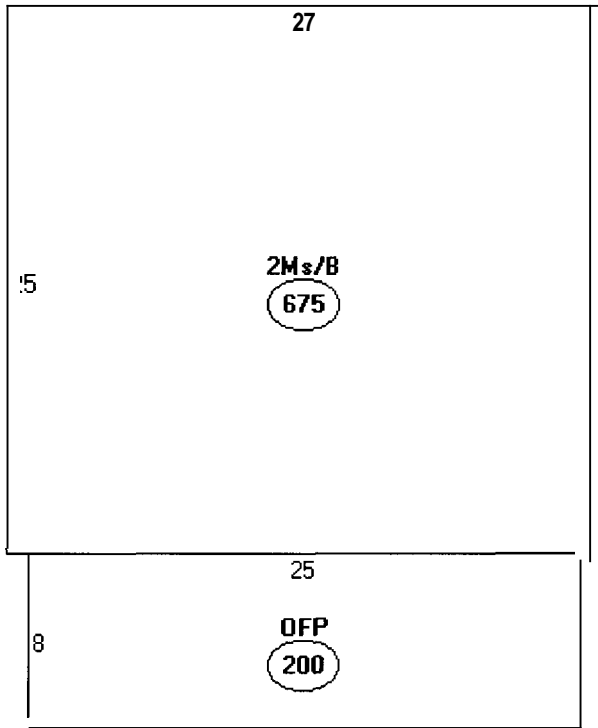
Picture and Sketch

<u>Picture</u>	<u>Sketch</u>
----------------	---------------

[Click here](#) to view **Tax Roll** Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



Descriptor/Area

A 2Ms/B
675 sqft

E: OFF
200 sqft



Date: 7/12/04

HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROPERTY ADDRESS: Unit 15C, McKinley Cove, Great Diamond Island
CBL (Chart-Block-Lot): _____

APPLICANT:

Name: James Goduti / Goduti Building Co. Inc Telephone: 774-2753 + FAX
Company, if applicable: Goduti Building Co. Inc my cell #: 776-3768 - best to reach me.
Address: 9 Darling St.
Portland, ME 04101

PROPERTY OWNER (if different):

Name: Walter Vacker Telephone: 512-413-8072
Address: P.O. Box 163497
Austin Texas, 78716

Architect (if any): _____

Contractor of Builder (if any): Goduti Building Co. Inc

[Signature]
Applicant's Signature

Owner's Signature (if different)

APPLICATION FEE:

See page 4 for fee schedule. Please submit fee with completed application.

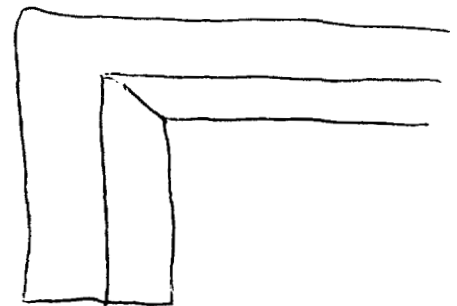
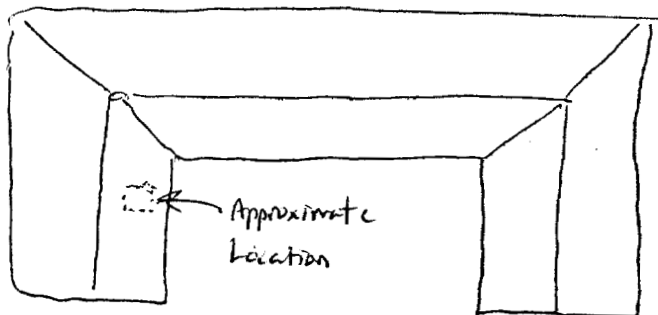
DESCRIPTION OF PROJECT:

Describe in a separate paragraph each type of proposed exterior architectural alteration, such as window replacement, roof replacement, porch alteration, repointing of masonry, and/or new addition/construction. Briefly describe the feature or materials affected by the work and give the approximate date that it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. Use as many items as necessary to cover all aspects of the project. If more space is needed, continue on a separate page. Reference work items to accompanying drawings or photographs.

Attic Finish Out, 3rd Floor

Need To Add A skylight for egress, approximately 3'w x 5'h, Velux, terracotta color, This has been done to a number of units on the parade ground.

PARADE GROUND



REAR OF BUILDING

We have matching slate if needed once the unit is installed.

ATTACHMENTS:

To supplement your application, please submit the following items, as applicable to your project. Keep in mind that the information you provide the Historic Preservation Committee and staff is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s).

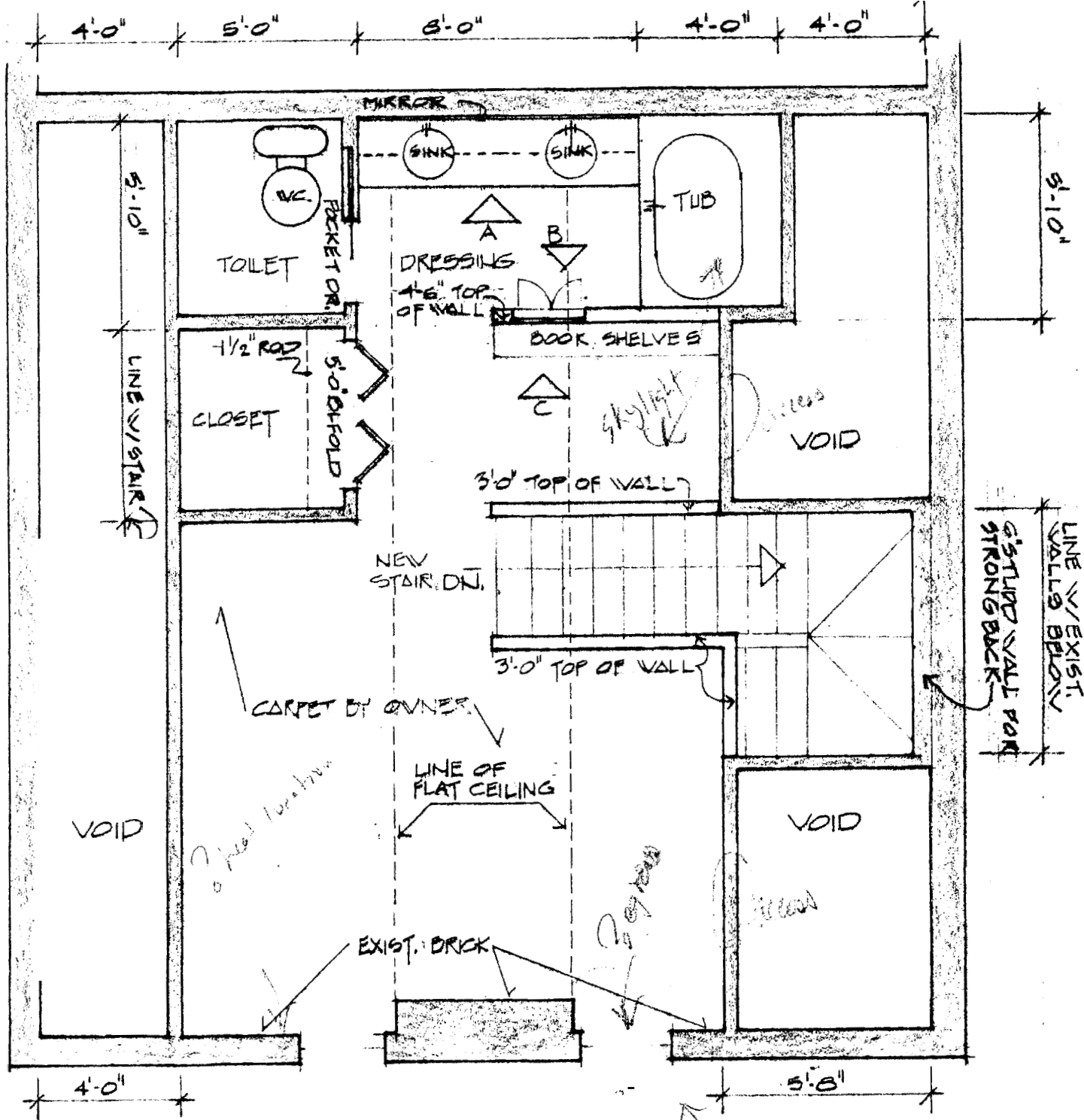
- Exterior photographs (include general streetscape view, view of entire building & close-ups of affected area.)
- Sketches or elevation drawings at a minimum 1/4" scale. Please label relevant dimensions.
- Details or sections, where applicable.
- Floor plans
- Site plan showing relative location of adjoining structures.
- Catalog cuts or product information (e.g. proposed windows, doors, lighting fixtures)
- Materials - list all visible exterior materials. Samples are helpful.
- Other (explain) _____

Please Note: In order to be photocopied by the City, plans or drawings should generally not exceed 11" x 17". If you wish to submit larger plans, please provide 10 copies for distribution.

If you have any questions or need assistance in completing this form, please contact the Historic Preservation Staff at 874-8726.

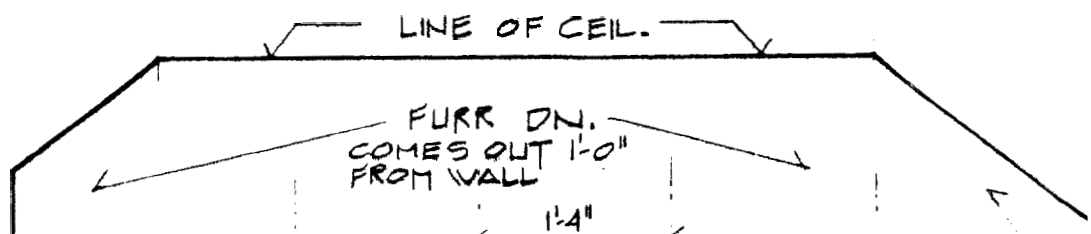
Please return this form, application fee (see page 4 of this application), and related materials to:

Deborah Andrews, Historic Preservation Program Manager
Department of Planning and Development
Portland City Hall, 4th Floor
389 Congress Street
Portland, ME 04101



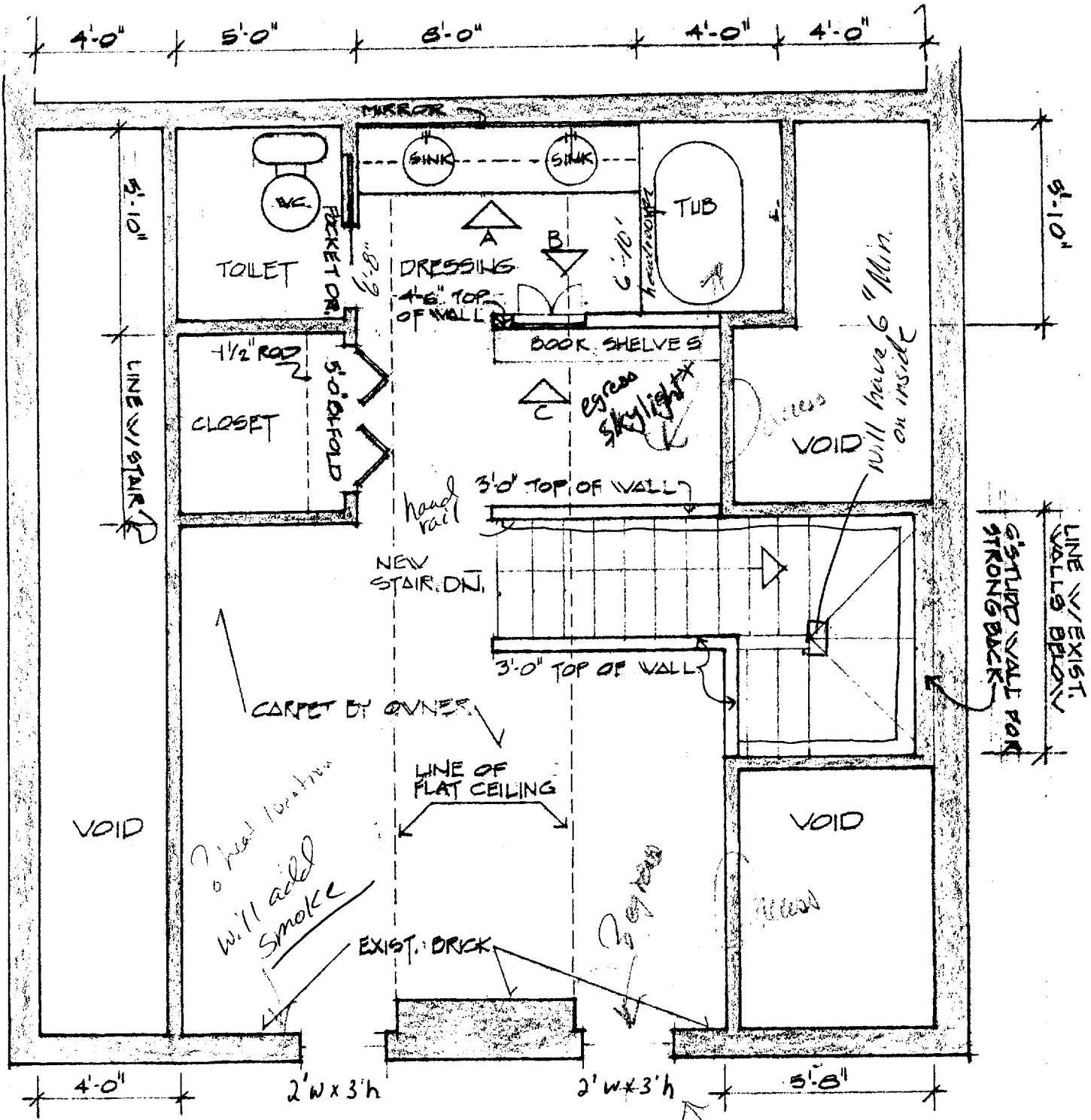
NEW ATTIC PLAN SCALE: 1/4" = 1'-0"

REAR OF BUILDING









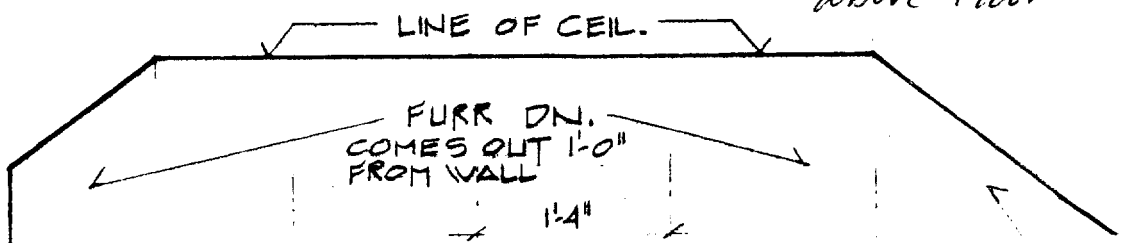
NEW ATTIC PLAN SCALE: 1/4" = 1'-0"

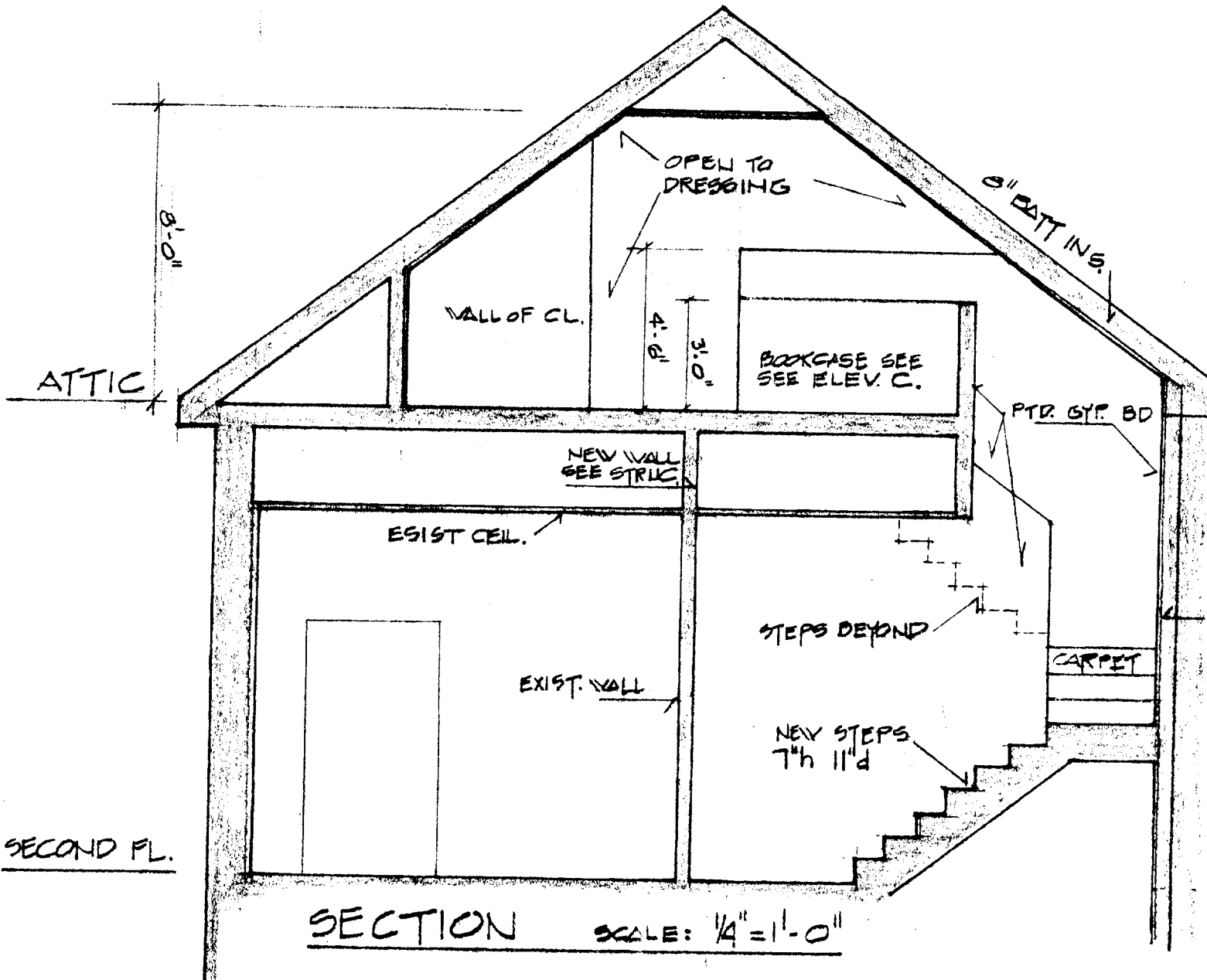
REAR OF BUILDING

* VLVX GP M03

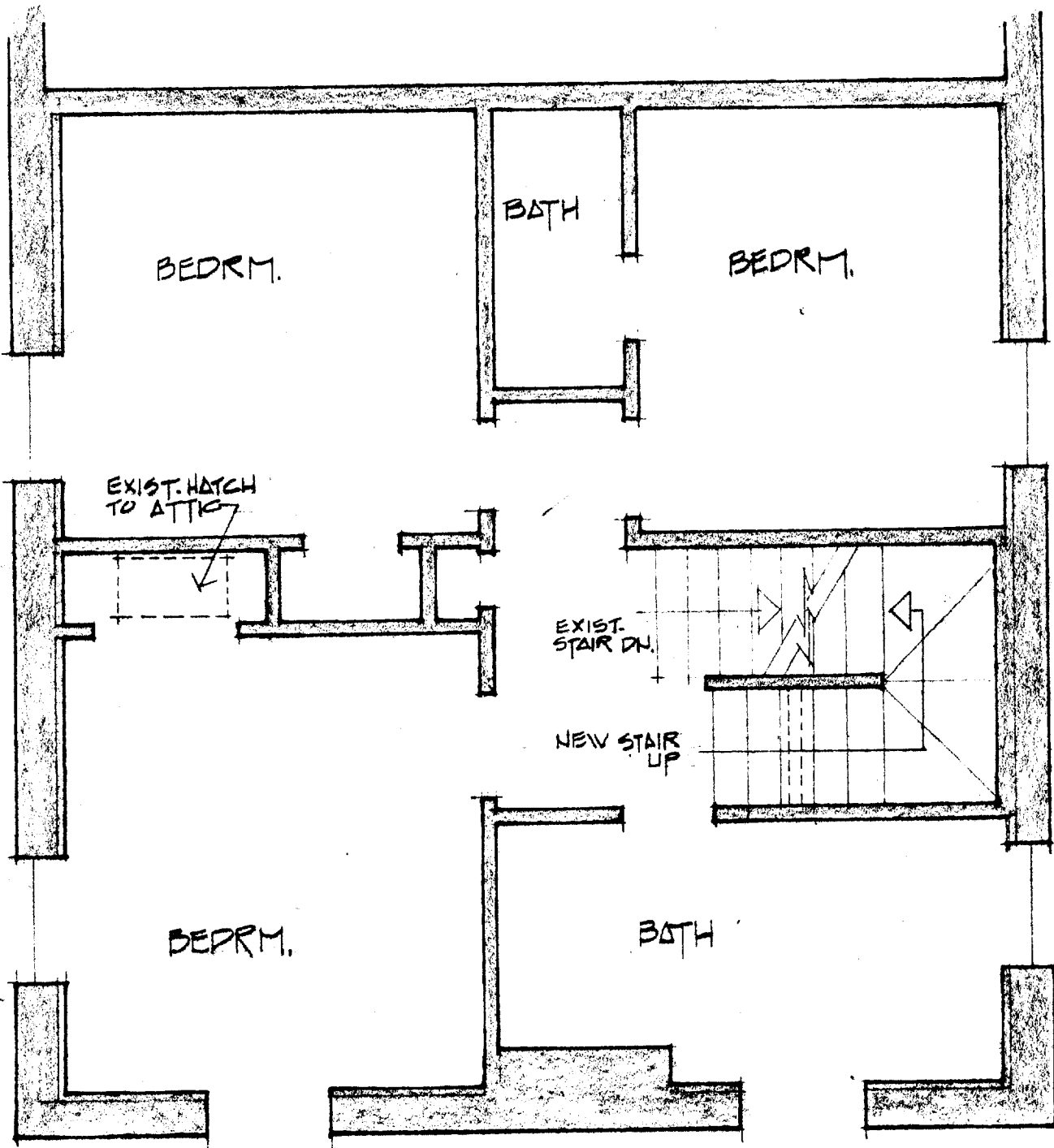
R.O. 31 1/4 x 55 1/2

* Will be 44" MAX above floor.

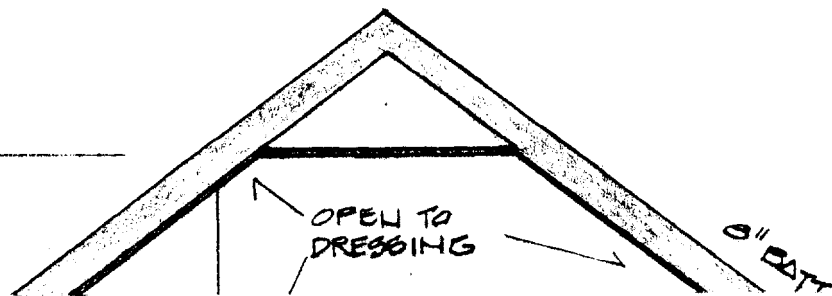


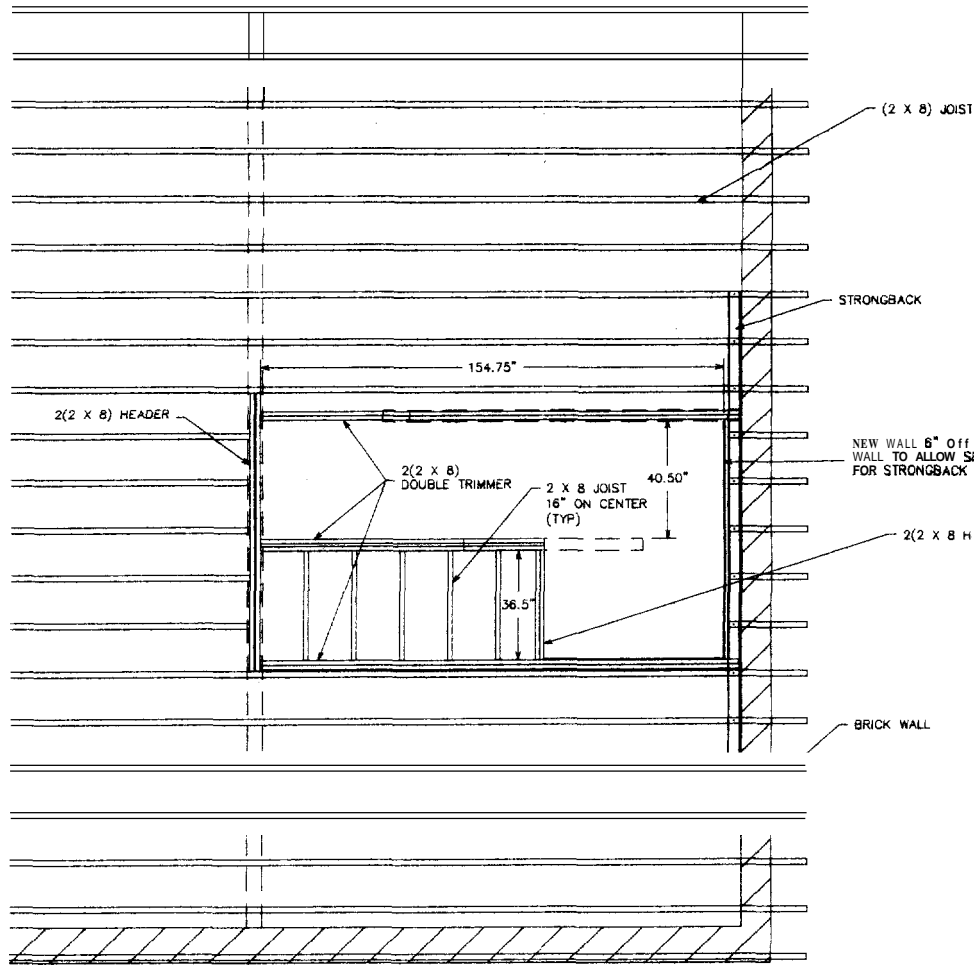


8/14/01
 Tammy -
 James Godwin's
 proposed design
 at Unit 15-C,
 Diamond Cove has
 rec'd HD approval.
 Deb A.



EXISTING SECOND FLOOR SCALE: 1/4" = 1'-0"





PLAN VIEW

GENERAL NOTES

VIDES THE DESIGN FOR STRUCTURAL MODIFICATIONS TO THE EXISTING ROOF AND ATTIC STRUCTURE OF UNIT 15C AT DIAMOND CO K ME PURPC ARE TO PROVIDE ACCESS TO THE ATTIC SPACE AND CONVERSION OF THE ATTIC SPACE FOR BUILT UP BEANS, COLUMNS, AND NEW FLOOR JOIST SHALL BE SPF #2 OR BETTER

Detail @ stairs - Reduced