

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND BUILDING PERMIT



This is to certify that WILLIAM & TRACY SOMMERS

Located At 15 PLEASANT COVE LN

Job ID: 2012-07-4454-ALTR

CBL: 083E- A-027-001

has permission to Add Sunroom and studio addition to existing home in front

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

8.21.12

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 (ONLY) or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months. If the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



Strengthening a Remarkable City, Building a Community for Life . www.portlandmaine.gov

Director of Planning and Urban Development Jeff Levine

Job ID: 2012-07-4454-ALTR

Located At: <u>15 PLEASANT COVE</u> CBL: <u>083E- A-027-001</u> LN

Conditions of Approval:

Zoning

- 1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
- 3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. It is understood that the studio is for owner's hobby and is not a business nor retail use.

Fire

- 1. Approval for single-family residential home only.
- 2. All construction shall comply with City Code Chapter 10.
- 3. All smoke detectors and smoke alarms shall be photoelectric.
- 4. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
- 5. A sprinkler system is recommended but not required based on the following:
 - a. Plans indicate the addition will not exceed _50_% of the total completed structure.

Building

- 1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
- 3. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4. The frost protection needs to be a minimum 48" below grade.
- 5. A sono tube needs to be added under the existing 3- 2" x 10"-s under the new sunroom area.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-07-4454-ALTR	Date Applied: 7/13/2012		CBL: 083E- A-027-001			
Location of Construction: 15 PLEASANT COVE LN/ 16 MOON GARDEN WAY - GDI	Owner Name: WILLIAM & TRACY SO	OMMERS	Owner Address: 16 MOON GARDE GREAT DIAMONI	N WAY D ISLAND, ME 04109		Phone: 766-2045
Business Name:	Contractor Name: KEN STOVER		Contractor Addre 4 HARRISON RD	ess: BRIDGTON MAINE 04	1009	Phone: (207) 318-8119
Lessee/Buyer's Name:	Phone:		Permit Type: BLDG ADD			Zone: IR-1
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family	Dwelling	Cost of Work: \$80,000.00			CEO District:
	– to add a sunroom a addition to existing h front	and studio	Fire Dept: Signature:	Approved Denied N/A 1. Immi	Ĩ	Inspection: Use Group: R-3 Type: 573 TBC 09 Signature
Proposed Project Description Sunroom, Studo, Addition to exist			Pedestrian Activi	ties District (P.A.D.)	(2
Permit Taken By: Lannie				Zoning Approva		
 This permit application of Applicant(s) from meetin Federal Rules. Building Permits do not septic or electrial work. Building permits are void within six (6) months of False informatin may inv permit and stop all work. 	ng applicable State and include plumbing, d if work is not started the date of issuance. validate a building	Shorelan Wetlands Flood Zo Subdivis Site Plan	ion	Zoning Appeal Variance Miscellaneous Conditional Use Interpretation Approved Denied Date:	Does not I Requires I Approved	t or Landmark Require Review

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE (OF WORK, TITLE	DATE	PHONE

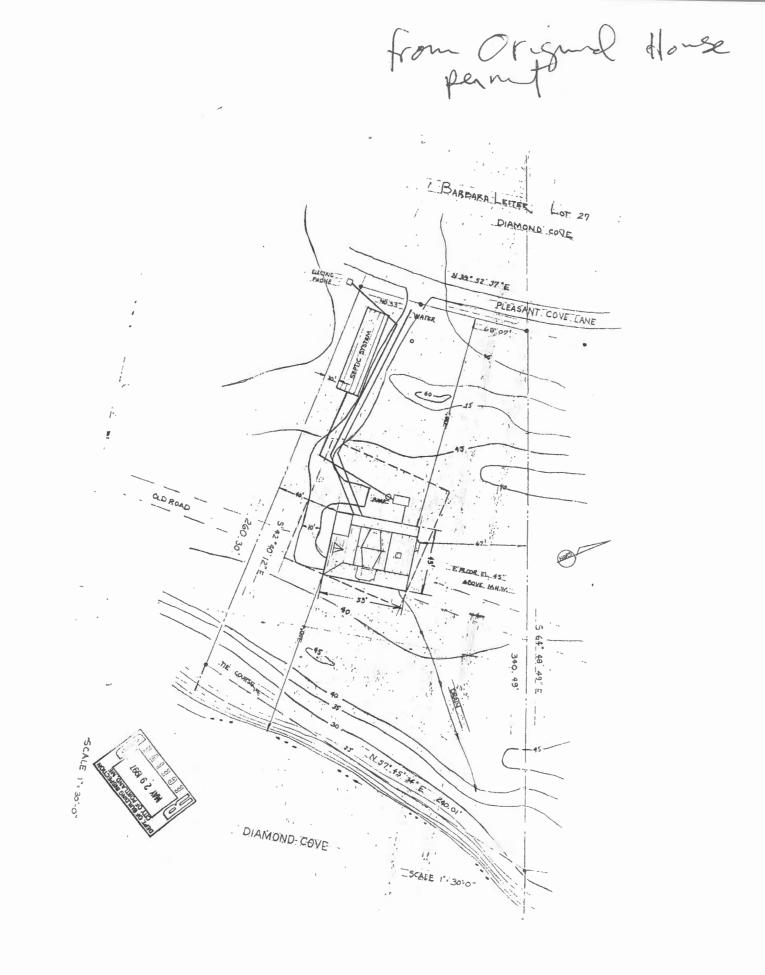
If you or the property owner owe	s real estate or personal property taxes or angements must be made before permits	user charges on any
Location/Address of Construction:	noon garden uay	DIAmond Love
Total Square Footage of Proposed Structure/1		Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# A Lot# 27 083E	Applicant * <u>must</u> be owner, Lessee or Buyer Name Tray Sommers Address Le moon Garden City, State & Zip DIAmond Love	7111-2045
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ & 0, 000 C of O Fee: \$ Total Fee: \$ & 20
		rond Love.
Address: <u>4 hawison</u> RA City, State & Zip <u>Dridyeton</u> Who should we contact when the permit is rea Mailing address: <u>10 Moon</u> Say	dy: Tray Sommers To	elephone: 318-8119 elephone: 744-2045 OC ME 04109
Please submit all of the information do so will result in the	outlined on the applicable Checkli e automatic denial of your permit.	st. Failure to

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <u>www.portlandmaine.gov</u>, or hop by the Inspections Division office, room 315 City Hall or call 874-8703. I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to show to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Date: Signature:

This is not a permit; you may not commence ANY work until the permit is issued



MARVIN DESIGN GALLERY

a complete window and door showroom by Eldredge

May 15, 2012

Ken Stover Buillding & Remodeling 4 Harrison Road Bridgton, ME 04009 Home: (207) 318-8119 Email: kenstoverbuilding@gmail.com

Marvin Design Gallery

317 Marginal Way Portland, Maine 04101 (207) 772-2003 Sales Person: John Collins jcollins@marvinportland.com

Sommers Project: Summer **Diamond Cove** Great Diamond Island, ME

PROPOSAL

Proposal

The Marvin Design Gallery proposes to supply the product listed below Please review to ensure all the sizing and specifications are correct and meet your project requirements. Marvin products are special order items and may not be changed, cancelled or returned once the order is approved and PLEASE NOTE: to match existing existing items on His proposition

DOES NOT INCLUDE THE SKY LIGHTS OR THE WINDOW THAT IS THIS PROPOSAL MARKED T.B.D.

ALL UNITS CONVERTED TO CLOSEST STANDARD SIZE.

GENERAL PRODUCT SPECIFICATIONS EXCEPT AS NOTED BELOW

Manufacturer: Marvin

Product Line: Clad

Glass: Low E II 272 With Argon

Grille/Divided Lite Bar Type: None

Interior Finish: Bare Wood

Exterior Finish: Stone White Aluminum Clad w/ Kynar 2605 Finish

Exterior Weather Stripping Color: Beige

Interior Casing: None

Exterior Casing: None

Jamb Depth: 6 9/16"

Screen: Screen: No Screens on Doors

Screen Color: White Screens Screen Cloth: Charcoal Fiberglass Jambliner Color: Beige Window Hardware: White with Coastal Hardware Door Hardware: PVD Oil Rubbed Bronze Door Hinges: PVD Oil Rubbed Bronze

Item#: 1 Loca	ation: V	Nest Elev CUDH2628-2w Qty: 2	Unit Price: \$1,061.58 Total: \$2,123.16
		Manufacturer: Marvin; Rough opening: 63 3/4" X 64 jamb depth; Bare pine interior; Clad exterior; No exte <u>Windows A</u> Clad ultimate double hung; Call number: 2628; Insul gas; White sash locks; Screen: stone white frame, ch	rior casing; Nailing fin. 1-A2 ated glass – 1 lite; Low E II glass with argon

Item#: 2 Location: West Elev CUDHT2612-2w Qty: 2 Unit Price: \$640.38 Total: \$1,280.76 Manufacturer: Marvin; Rough opening: 63 3/4" X 20 3/16" - 2 wide x 1 high multiple unit; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin. A2 Windows A1-A2 Clad ultimate double hung transom; Call number: 2612; Insulated glass - 1 lite; Low E II glass with argon gas.

Item#: 3 Location: West Elev CUCA2420/2454 LH Qty: 1

Manufacturer: Marvin: Frame size: 24" X 72 1/4" - 1 wide x 2 high multiple unit: Rough opening: 25" X 72 3/4"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

Window A1

Clad ultimate awning - stationary; Call number: 2420; Frame size: 24" X 19 1/8"; Rough opening: 25" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

Window B1

Clad ultimate casement - left hand; Call number: 2454; Frame size: 24" X 53 1/8"; Rough opening: 25" X 53 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Interior screen: white frame, charcoal fiberglass mesh; Beige weather strip.

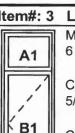
This configuration is certified to AAMA 450.

Location: North Elev CUAWN3020 Qty: 1 Item#: 4

Manufacturer: Marvin; Clad ultimate awning - roto operating; Call number: 3020; Frame size: 30" X 19 1/8"; Rough opening: 31" X 19 5/8"; 6 9/16" jamb depth; 3/4" insulated glass - 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Bare pine interior; Clad exterior; No exterior casing; Interior screen: white frame, charcoal fiberglass mesh; Nailing fin; Beige weather strip.

Total: \$937.56

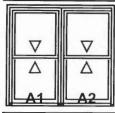
Total: \$522.60





Item#: 5 Location: North Elev CUDH2020-2w Qty: 2

Unit Price: \$838.50 Total: \$1,677.00

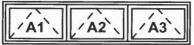


Manufacturer: Marvin; Rough opening: 51 3/4" X 48 7/8" – 2 wide x 1 high multiple unit; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

Windows A1-A2

Clad ultimate double hung; Call number: 2020; Insulated glass – 1 lite; Low E II glass with argon gas; White sash locks; Screen: stone white frame, charcoal fiberglass mesh.

Item#: 6 Location: South Elev CUAWN3020-3w Qty: 1



 Iev CUAWN3020-3w Qty: 1
 Total: \$1,568.58

 Manufacturer: Marvin; Frame size: 90" X 19 1/8" – 3 wide x 1 high multiple unit; Rough opening: 91" X 19 5/8"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

Windows A1-A3

Clad ultimate awning – roto operating; Call number: 3020; Frame size: 30" X 19 1/8"; Rough opening: 31" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Interior screen: white frame, charcoal fiberglass mesh; Beige weather strip.

This configuration is certified to AAMA 450.

Item#: 7 Location: South Elev CUCA2420/2454-4w Qty: 1

A1	A2	A3	A4
B1	B2	В3	В4

A1

B1

Manufacturer: Marvin; Frame size: 96" X 72 1/4" – 4 wide x 2 high multiple unit; Rough opening: 97" X 72 3/4"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

Windows A1-A4

Clad ultimate awning – stationary; Call number: 2420; Frame size: 24" X 19 1/8"; Rough opening: 25" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

Windows B1-B4

Clad ultimate casement – stationary; Call number: 2454; Frame size: 24" X 53 1/8"; Rough opening: 25" X 53 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

Item#: 8 Location: East Elev CUCA2420/2454 LH Qty: 1

Manufacturer: Marvin; Frame size: 24" X 72 1/4" – 1 wide x 2 high multiple unit; Rough opening: 25" X 72 3/4"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

Window A1

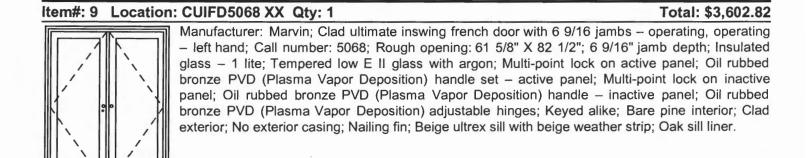
Clad ultimate awning – stationary; Call number: 2420; Frame size: 24" X 19 1/8"; Rough opening: 25" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

Window B1

Clad ultimate casement – right hand; Call number: 2454; Frame size: 24" X 53 1/8"; Rough opening: 25" X 53 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Interior screen: white frame, charcoal fiberglass mesh; Beige weather strip.

This configuration is certified to AAMA 450.

Total: \$2,775.24



Item#: 10 Location: CUIFD2668 XX Qty: 1

Manufacturer: Marvin; Clad ultimate inswing french door with 6 9/16 jambs – operating – left hand; Call number: 2668; Rough opening: 32 7/16" X 82 1/2"; 6 9/16" jamb depth; Insulated glass – 1 lite; Tempered low E II glass with argon; Multi-point lock on active panel; Oil rubbed bronze PVD (Plasma Vapor Deposition) handle set – active panel; Oil rubbed bronze PVD (Plasma Vapor Deposition) adjustable hinges; Keyed alike; Bare pine interior; Clad exterior; No exterior casing; Nailing fin; Beige ultrex sill with beige weather strip; Oak sill liner.

Item#: 11 Location: Gable Addition Qty: 2

Manufacturer: Marvin; Clad ultimate awning – stationary; Call number: 1818; Frame size: 18" X 17 1/8"; Rough opening: 19" X 17 5/8"; 6 9/16" jamb depth; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Bare pine interior; Clad exterior; No exterior casing; Nailing fin; Solid wood covers; Beige weather strip.

	Total Material	<u>\$17,753.58</u>
	Sub Total	\$17,753.58
	Sales Tax (5.0%)	\$887.68
Grand Total		\$18,641.26
Payment schedule terms		
\$9,320.63 deposit due upon acceptance		

\$9,320.63 deposit due before delivery

ALTERNATES

Description	Price
Add to change Gable End windows to Direct Glaze Diamond (includes tax)	\$419.33

Total: \$1,818.18

Unit Price: \$255.06 Total: \$510.12

HAVE APPROVALS IN ACCORDANCE WITH THE LOCAL NUMOPALITY, ALL REFERENCE SUBCIDES. AND WITH ANY OTHER FUBUC AUTHORITIES OR AGENOES OR AGENOES HAVING AURISOCCION OVER THE PROJECT.

UNK THE FROLET. 2. BEFORE COMMENSION WORK, THE CONTRACTOR SHALL FLE ALL REQUEED CRITINGATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, CORTAN LLE REQUEED FERMIS, AND PAY ALL FERS ENGLISHED BY CONTENSION NOW YORK ADMONSTORY 3. THE CONTRACTOR SHALL BE LICENSED WITHIN THE COUNTY OF WORK.

. THE CONTRACTOR SHALL PROVIDE WORKMEN'S COMPENSATION, LIABLITY, AND PROPERTY 4. THE LOURNALION SHALL HAVAE, WARNEN'S COMPLICATED, DARLIT, AND HAVDHATT OMALAE INSTRUCTS TO LINTS IS REQUED BY THE LOCAL WARDNETH AND YOR OWER, AND SHALL BE RESPONSEDE FOR OBLINNIA AND PAYNE FOR ANY AND ALL PERMIS ROURDD BY THE LOCAL BRAINING DEPARTIONIN IN AN ARRAYSIS FOR ALL PEQUED INDIFICIENTIAS, RESINGS, INSPECTIONS, AND APPROVAS 5. THE CONTRACTOR UPON LOCALETION OF THE WARS, SHALL APPLY AND ARRAYSI FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SCH-OFTS REQUED.

6 THE CONTRACTOR SHALL MOT THE STE AND BECOME FAMILIAR WITH THE EXISTING STE

TO EXISTING WORK, DO NOT SCALE ORIVINS. 8. INVERDETALS NOT USUALLY SKAWI OR SPECTED, BUT KEELESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUCED AS IF THEY HEPE INDICATED

ON THE DRAWINGS 9. THE CONTRACTOR SHALL LAY OUT HIS DAY WARK, AND SHALL PROVEE ALL DWENSONS RECUPED FOR OTHER TRADES (RUNGHO, ELECTRICAL, ETC.) 10. PLUNGING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, MO SHALL ARRANGE FOR AND ORTHON INSCEDUNG AND READERS AS REQUEED TO 11. THE CONTRACTOR SHALL DO ALL CUTTING PATCHNES AND REPAREM SO RECUPED TO 12. PLUNGING OF SHALL DO ALL CUTTING PATCHNES AND REPAREM SO REQUEED TO 13. PLUNGING OF SHALL DO ALL CUTTING PATCHNES AND REPAREM SO REQUEED TO 14. PLUNGING OF SHALL DO ALL CUTTING PATCHNES AND REPAREM SO REQUEED TO 15. PLUNGING OF SHALL DO ALL CUTTING PATCHNESS AND REPAREM SO REQUEED TO 15. PLUNGING OF SHALL DO ALL CUTTING PATCHNESS AND REPAREM SO REQUEED TO 15. PLUNGING OF SHALL DO ALL CUTTING PATCHNESS AND REPAREM SO REQUEED TO 15. PLUNGING OF SHALL DO ALL CUTTING PATCHNESS AND REPAREM SO REQUEED TO 15. PLUNGING OF SHALL DO ALL CUTTING PATCHNESS AND REPAREM SO REQUEED TO 15. PLUNGING OF SHALL TO ALL THE PATCHNESS AND REPAREM SO REQUEED TO ALL THE PATCHNESS AND REPAREM SO REPAREM SO REQUEED TO ALL THE PATCHNESS AND REPAREM SO REPAREM SO REQUEED TO ALL THE PATCHNESS AND REPAREM SO REPAR PEPFORN ALL OF THE WORK INDICATED ON THE DRAWNOS, AND ALL OTHER WORK THAT WAY BE REQUIRED TO COMPLETE THE JOB.

12. Det Contractor Shall protect and be responsele for the Site and Aldreine Proference Sullando Structures, pradents, socienais, success, caroscaphy, utilites, and approachemis anter the area of operations uncer the contract. The contractor shull produce lances carocaphy, utilities, and approachemis anter the area of operations uncer the contract. The contractor shull produce lances carocaphy, utilities, and approachemis, and the area of operations uncer the contract. The contractor shull produce the receivery operations and a duan law field. The approachemist and the project of the contractor structure protect all working occupants, and the ploud from possele numer, if necessary, illiporary protection and a duan law field. Investigation of the project size the contractor social best numericaphy and uncertainty from the structure from the contractor structure in the size of the quarties of the project of all these sizes of the size of the project of an all duals between and understructures from the allocation and a dual law field. Investigation and and an and the project of the size of the size of the size of the project of all duals the project of an all duals between and understructures and understructures and size project of an all duals between and social before the and understructure of the size of the project of an all duals before the size of the size o

and debys, and for the general cleaning for the for the duration of the project. The site shall be left daly with all materials and tools stored in an orderly THE SHE SHALL BE LEN DALT MITH ALL MATERIALS AND TOOLS STORED IN AN ORDERLY FASHICH, WITH ALL APADE ROCKO SHEPT. NO ACCUMULATION OF DRIT OF DEPIS SHALL BE PERMITED. UPON PROJECT COMPLETON, THE CONTINUED SHALL LEAKE THE PROMISES FREE AND CLEAR OF ALL ROBERSH AND DEBYS, AND IN A BROOM SHEPT DOMOTION IS. ALL EPOSED FINISHED SUFFACES SHALL BE TRATING, CLEANED, VACUMED, OR POUSHED IN ACCORDANCE WITH WAINFACTURED'S TECOMEDIDATIONS. 17. DISTRIBUTION, INCLUDING DISTRIBUTION OF THE OPERATION OF THE CONTINUE OF DAMAGE EVELSIAND ORDERLY OR ADDRECTLY FROM THE OPERATION OF THE CONTINUE OF DAMAGE TO LAWAS, PLANTINGS, OR OFFICE LANDSCAFE (TENS, DURING CHEMICATION DISTRIBUTION OF DURING AND OTHER DATASCOPY OF THE OPERATION OF THE CONTINUE OF DAMAGE TO LAWAS, PLANTINGS, OR OFFICE LANDSCAFE (TENS, DURING CHEMICATION DISTRIBUTION OF DURING AND OTHER DATASCOPY OF THE OPERATION.

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20. EXCAVATION FOR UTLITY PENS OR FOUNDATIONS SHALL BE THE RESPONSIBILITY OF THE GOMERAL CONTRACTOR. CONTRACTOR SHALL NOTIFY THE LOCAL BUILDING DEPARTMENT AND/OR UTUTY COMPANY TO DETERMINE LOCATIONS OF ANY EXISTING LABORADUND UTUTES, AND PROVIDE PROTECTION FOR SAME DURING EXCAVATION PROCEDURES.

21. THESE DRAWNOS AS ARTICLES OF SERVICE ARE PROPERTY OF THE AROWHECT AND SMALL NOT BE USED FOR ODER BUILDINGS, PROJECTS, OR PROPOSILS, OR PORTIONS DEBEOF UNLESS SPECIFICALLY APPROVED BY THE AROHTECT, IT IS A WOLMFOH OF THE LAW FOR ANY PERSON, UNLESS ALTING UNLER THE DESCENSION OF THE AROHTECT, TO RETTER THIS DOCLAVENT IN ANY WAY. THE INFORMATION, CONCEPTS, DEAS, AND DESIGN CONTAINED IN THESE DOOLVENTS ARE PROTECTED BY UNITED STATES COPYRICHT LAWS.

DEMOLITION NOTES

DEMOLITICAL NOTES 1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDEXAFED 2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDEXAFED COMPENSION OF AND AS ANY BELEFORM ON MANNER. 2. ALL EXISTING STRATES AND DEDUFFICIT TO PERMIN SHALL BE FULLY REDUCTED FROM DAVAGE. DE CONTRACTOR SHALL ASSUME TALL REFONSIBILITY FOR DOMAGE AND SHALL WARE FERRARS REQUIRED MIDDI ADDITIONIC COST TO THE GENER. 3. NO DEBRIS SHALL BE ALLONED TO ACCUMARATE ON THE STELL DEBRIS SHALL BE FROMOD BY THE CONTRACTOR AS THE JOE PROCESSIOL LEDALLY DESPOSE OF MATERIAS. GFI-STEL DEBRIS SHALL BE LEFIT BROWN CEAN AT THE COMPLETO AND ALCOMATELY SUPPORTIED BY DETRET TUTORARY. OR NEW STRUCTURAL ELEMENTS AS REQUIRED 10 PROTECT THE STRULTY AND INTEGRITY OF THE EXSTING STRUCTURE. 5. REVUER DEFINIST. BHALL BE REMOVED IN LESS PORTIONS AFTECED ARE REQUIRED 10 PROTECT THE STRULTY AND INTEGRITY OF THE EXSTING STRUCTURE. 5. REVUER ON FROM ONE FROM STRUCTURES. AD MICHANLA THE COMPTO OF PENDARD. OF RECOLOR ALL WARKE, PLUNGARS, AND MICHANLE DEURIPORT. METERTING DEAL 5. REVUER DIAL REPORTING DE DERIS TIMORARS, AND MICHANEL DE ENDERTS AS REQUIRED TO REFLOCATE ALL WARKE, PLUNGARS, AND MICHANEL DE ENDERTS AS REQUIRED TO REFLOCATE ALL MENNE, PLUNGARS, AND MICHANEL DE ENDERTS AS REQUIRED TO REFLOCATE ALL MENNE, PLUNGARS, AND MICHANEL DE ENDERTS AS DEVOLUTION. TO NOT INTERPET ENDERS TO REVAN AND PROTECT ACAMPTED DERIS DUDOED. MANTAN EXISTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DARGED DUDOED. MANTAN EXISTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DERIS DUDOED. MANTAN EXISTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DARGED DUDOED. MANTAN EXISTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DARGED DUDOED. MANTAN EXISTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DARGED DUDOED. MANTAN EXISTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DARGED DUDOED. MANTAN EXASTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DARGED DUDOED. MANTAN EXASTING DUDIES TO REVAN AND PROTECT ACAMPTE DARGED DARGED DUDO

WRITING BUT HE ARCHTECT MOUSE OVER OWER WITING BUT WARNAULT MUCH ADMINISTER WRITING ADMINISTER AND WRITING ADMINISTRATICS SHALL REVEAR AND AND BRADING AS REQUIRED BY DEPARTMENT OF

BUILTINGS' PULES AND REQULATIONS. 7 THE CONTRACTOR SHALL PROVOE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND

7. THE CONTRACTOR STALL PROJECT RECOVER FRAMEWORK PROJECTION FOR THE BRUDING AND IS CONTENTS DERIVED THE CONFECT FILE AND ALL OPENNOS SHALL BE PROTECTED FROM LL FORMS OF MEATHER OR MATER PENETRATION.
8. OAKER ASSIMES NO RESPONSEDITY FOR ACTUAL CONDITION OF HEMS OR STRUCTURES TO DEDUCIDED.

BE DEMOLISHED. 5. SCHEDULE FEDGHT ELEVATOR HOURS OF OPERATION (AS REQUIRED), DUMPSRER LOCATION, 5. SCHEDULE FEDGHT ELEVATOR HOURS OF OPERATION (AS REQUIRED), DUMPSRER LOCATION,

 Schuld Fasch Elization Runs & Germanni (As Fronred), durpsire locatic and det route with agginetic tanging one ren advance.
 Do not use outting torgans for renoval, single renoval, single renoval, and torganized and the renoval renoval and the tangent of the constitution of the constitution of writen, acquarte rena, provide recept of instructors, rearrance demonron writen, acquarte rena, provide recept of instructors, rearrance demonron SCHEDULE TO WAINTAIN PROCRESS. 12. IF ASSESTOS CONTAINING MATERIALS ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER

AND BUILDING MANAGEMENT. CEASE DEMOLITION WORK IN THE AFFECTED AREA UNTIL ARCHITECT AND/OR OWNER ISSUES INSTRUCTION TO RESUME WORK.

<u>STRUCTURAL MOTES</u> 1. ALL STRUCTURAL WORK SULL COUPLY WITH STATE OF MAKE BULDING COCE. 2. STRUCTURAL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND THE SPECIFICATIO IS.

STELEMANDAS. I CONTRACTOR SHALL PROVICE TEMPORARY SHORING AND BRADING AND WAKE SAFE ALL ROOKS, ROOFS, WALLS, NO ADJACENT PROPERTY AS PROJECT CONDITIONS FEOURE. 4. ALL FOOTINGS SHALL REST ON UNOISTURBED SOL OF MANNUM BEARING CAPACITY EQUAL TO 4000 PSF. THE ADEQUACY OF THE BEARING STRATUM SHALL BE VERIFIED IN THE FIELD

TO 4000 PST. THE ALEGUACY OF THE BEARNS STRATUM SHALL BE MERTED N. THE FIELD PERGE TO POLING THE CONFECTE BOTTOM OF FOTING ELEVATIONS SHALL BE ADJUSTED AS REQUERD IN THE FIELD. 5. DEVERTING THE FEQURED, SHALL BE PLACED IN B NOT LIFTS, COMPACTIO TO 55 % MAXWAI BOST AT OFTNUM INSCRIPT COMPACTION WALLS UNTEL ALL FLORES OR ROOTS BRACING THESE BHALL BE INFORMATION WALLS UNTEL ALL FLORES OR ROOTS BRACING THESE BHALL BE INFORMATION WALLS UNTEL ALL FLORES OR ROOTS BRACING THESE BHALL BE INFORMATION WALLS UNTEL ALL FLORES OR ROOTS BRACING THESE BHALL BE INFORMATION WALLS UNTEL ALL FLORES OR ROOTS STRENCTH FOULD TO 3000 PS AT ARE 28 DAYS CONFERE WAR SHALL CONFORM TO AD 34. "SPECIFICATIONS FOR CONFERE FOR BRIDDINGS", NO ALL RECOMPOSED PRACTICES CONTANED INFERENCE UNDER CONSERVE TO MAXIMUM STATUL FLORES FOR COL 8 ALL FOUNDATION CONFERE IND CANAGE FLOOR SLAB SHALL BE AR-ENTRANED CONFERENCE. CONCRETE. 9. REINFORCHYS STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.

SI REMOVEMENTS THELE SHALL BE, DU DARLD BARS, CURROMINS TO ISTU AND GAURE 60. I.D. NEDOD MARE LESIN CAVAR SHALL CORFERN TO ASTU. ASS. 11. SLASS ON CROLADS SHALL BE 4 WORES THOS POWER A 6-INON LAYER OF PORDUS RLL (DALESS OTERMES SHOM. ON PLANS). PROVIDE 6" x 6" – W 1.4 × W 1.4 WELDED MEX LESIN 1 INON ERION TO PO SLAB FARCE PLANED. SLASS SHALL BE POWERD IN ALTERNATE PANELS NOT EXCEEDING 2500 SOURCE. FLEET OR 60 FEET IN ANY CAE INFORMATION.

DRECTION 12 ALL STRUCTURAL SITEL SHALL CONFORM TO THE AISC. SPECIFICATIONS, FABRICATION AND

12 AL SPRUIDRAL STRULTURE OF BUILDURY ID INE AND SPECIFICATION, FABRATION AND ERECTION OF STRUCTURE, STRUCTURE OF RELIGION DURINOS, ALL SHAPES AND PLATES SHALL BE ASTN A36. ALL PPES SHALL BE ASTN ASS TAPE E OR S ORADE B 13 BOLTS SHALL BE ASTO, 3/4 INCH DAMETER VINAM, UNLESS NOTED OTHERMSE. 14. INCLOSE DUETROUS SHALL BE ASTN ASS, CASS EGOCO. 15. ALL INCO TRAINING ADJUBNO DETALS FOR BEDGRAF, BLOCKING, FRE STOPPING, ELC.

SHALL CONFORM TO THE LATEST ISSUE OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD STALL CONTINUE TO THE LATEST SOLE OF THE ANALYSE DESAY STELLAR AND THE WASHINGTON WAS CONSTRUCTORY AND IS SUPPONENTS TRAINING SHALL BE INACCORDANCE WITH APPENDIX C OF THE BOCK COOL IN THE WASH SOLE AND LANE EACH PECE GRADE STANPED, SHALL BE SUPPONE DRY

TO FRANKI UNICE STALL FARE EACH FREE GOUE STARFUL STARFUL STALL DE STAFFAE UNICE (CREPT STUDE WHCH SHLL DE KIN DREID AUD SHLL LOWRANT ID DE FOLLOWN) SFECE AND GRACE: RAFFERS PARINS, OSTS DOULAS FR-LARCH AD ERANS, ORDERS, HADDES DOULAS FR-LARCH (IT STUDE) CLE LANNATED WOOD FRAMMS MEMBERS SHALL DE BY TRUS JOST WANALAN.

TRUS JOST WADALAN BA LI RUSH TRAND CONNECTONS SHALL BE MADE WITH APPROVED GALVANZED STEEL JOST OR BEAN HANCER, MARWAN 18 GAUGE, BY SNIFSON STRONG TE, INSTALLED AS PER MANAFACTIREES RECOMPENDATION 19. MEDE, FRANNS LUGBER IS RUSH FRANED TO A BASHEERED BEAN, GU LAN FUTCH

THE MERCE TRANSMOL CONDUCT IS TUGST TRAVED TO A DIVERSEDUE BEAM, GUT DAY FUTURE PLATE OR STEEL BEAM, SET THESE EEANS 1/2 INVOLICEAR BELOW TOP OF FRANKING LUNGER TO ALLOW FOR SHERKAGE.

TO JULY THE STORAGE WALLS SHALL BE 2" x 6" AT 16" ON CONTER AT THE EXTERIOR 21. ALL RAFTERS AND JUSTS SHALL ALCH DRECTLY WITH STUDS BELON. WHERE REQUIRED

AL ALL AVELSS AND LODIS SYNLE ADAR USEGULT WITH STUDIEDLOR, MADE RECORD INSTALL ACTIONAL STUDIE 22. AT THE DOIS OF ALL BEAMS AND GROUNS REAVES A BUBT OF COLLINN MADES MOTH IS AT LEAST COULD, TO THE MOUNT OF THE ADAREM IT IS SUPPORTING NON MINOSE DEPTH NATIONES. THE DEPTH OF THE ADALESITI STUDIES, POST DOWN TO FORMADING, U.G.M. 21. USE DOUBLE STUDIES AT DE POST OF ALL MADELS AND WALL DEPTH NATIONES DOUBLE HEADERS AND TRAVERS AT ALL FLOOR. OF DENSES WHERE BEAMS ARE NOT INFORMATIO.

HOLGATED. 25 LAP ALL PLATES AT CORVERS AND AT THE INTERSECTION OF PARTITIONS, PROVIDE HEADERS OVER ALL

Headens over All 28. Unless otherwase noted, provide opennos as follows: interior walls (2) = 2° x 10° to exterior walls (3) = 2° x 10°

27. Stagger all spaces a manager of 32". 28. Brocket for spakes in the faith of 32". 28. Brocket for spakes in 14 feet, provide one pow. Brocheg for spakes over 14 feet, provide two rows. 14 FEEL, PROVIDE TWO ROWS. 29 BUT LIP BEAUS SMALL BE SPRED WITH (2) - 164 NALS AT 16° OF CENTER 30 PLYWOOD SVALL BE MPA GRADE STAMPED AND SVALL NOT EXCEED THE SPANS INTENDED TGR USE OF THE GRADE STAMP. ALL PLYWOOD SMALL BE WALE WITH FRITTERING QUE AND SVALL HAN THE FOLLOWING THORNESS': ROOTS X' TLONGS 34/4 WALLS X' 30 ALL PLYWOOD SHALL BE QUE NALED TO FLOOR JOISTS USING AN APA APPROVED ADJESYNE (JAK) ROOTORIG THO ONE FOLLOW 31 ALL PLYWOOD SHALL BE QUE NALED TO FLOOR JOISTS USING AN APA APPROVED ADJESYNE (JAK) ROOTORIG THO ONE FOLLOW 32 USE HARROANE ANGURS BY SAMPOINT STRONG THE AT THE EXDIS OF ALL RAFTERS 33 LINELS SHALL BE INSTALLED OVER ALL NEW OFDINGS IN WASORY WALLS AS FOLLOWS: WASORY OFENING LINEL 4-0" OR LESS LIX X X' X 5/16° 4-1" TO 5-0 LIS X X' 5/16° 0 3 1/2 LEOS ARE HORIZOTHA & PROVE ONE U' FOR EACH 4" OF WALL THOMNESS 6/1 WINNIM BEARING 6" FAOL DOID

c) MANAMA BEARING 6" FACH END 34. LIVE 10AD SCHEDULE ROOF 30 PSF SECOND FLOOR 40PSF FIRST FLOOR 40PSF.

PLUMBING AND DRAINAGE NOTES 1. ALL PLANSING AND CAS PRIVE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUERVOISS OF STATE OF MANNE PLANSING CODE, AND ALL OTHER APPLICABLE COUNTY AND MANCPAL CODES 2. PLANSING CONTRACTOR TO EXAMINE REPORTS LAYOUT WITH RECARD TO DOSTING FELD CONDITIONS, AND NOTEY ADDITECT OF ANY DISORPANCES BETWEEN ARCHITECTURAL PLANSING AND DID OF CONDUCTIONS

RAMINGS AND FIELD CONDITIONS. PLUMENAS CONTRACTOR SHALL IMFORM ARCHITECT OF ANY REVISIONS TO THE PLANS DUE.

TO FELD CONDERNS OR COMPLIANCE WITH RECOMPRIMITS OF DEL APPLICABLE COCES. 4. PLUARING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND ALL RECURED

ELECTRICAL NOTES 1. Example Brawnos and become fully informed of the extent and character of work to be performed. Any discrepances shall be brought to the attendion of the APOHITECT

APONIECL 2 SUPPLY AND INSTALL ALL ITEMS, ARTORES, WATERALS, & OPERATIONS INCLUMES ALL LASTR, EQUIPAENT, WATERALS, & TOOLS INCLESSARY TO COUVALE ALL SYSTEMS SHOWN ON ORWANSS, RENDERING & COURLETE INSTALLATION. J. OBTAIN ALL PERMITS REQUIRED. ARTANGE FOR INSPECTION OF THE WORK BY INSPECTION AUTHORITY, AND PAY ALL FIELS FROM OF THAL CRITICIZE TO THE CLENT/OWNER. 4. CONFORT TO THE RECOVERIMING OF THE ELECTRICAL CODE AND THE RULES & BY-LANS OF ALL INTEGRES MUNCH DESCRIPTION.

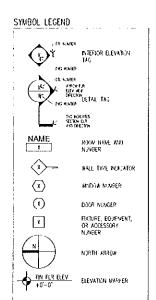
of all authorities having jurisolotion. 5. All waterial edugement shall be new, up, approved, bearing the ul stavp, and be

CONVERCIAL CRAFE LINEFSS OTHERMISE NOTED COMPADIAL GODE UNLESS OTHERWIS VIDU. 6. FRANCE TEMPORARY DECISION, POWER FOR THE WORK OF OTHER TRUDES AS FEQUISED BY THE CENERAL CONTRUCTOR, 7. FRANCE THEO GROUT DIRECTORES FOR PAREDRASS. B PROVIDE A CENTRUCTOR 7. FRANCE OF WARKINGTON AND WATERL FOR ONE YEAR FROM DATE OF ACCEPTANCE, SUBJIT "AS-BUILT" DRAWNS WITH ONE SET OF WARKED UP PRATS to clent/ower after completion of work.

> PROVIDE HARDWIRED, INTERCONNECTED SMOKI DETECTORS IN ALL SEDROOVS, AND IN HALLWAYS OUTSIDE OF BEDROOMS, IN MECHANICAL ROOM, AND AT FOOT OF BASEMENT STAIRS. ALL ELECTRICAL AND PLUMBING WORK PER STATE ELECTRICAL AND PLUMBING CODE

nergy Notes		U-Ve	plues	BTUH	
	Upine	Slote Energy	Code	Proposed	
New Roof	R-39			R-38	
New Wolls		R-19	ł	R-19	
Windows	0.58		0.31		
Foundation Wall	V27 R-5		s	NA	
Uniform Desig	n Lo	oads (p.	s.f.)	1/	
Cend	Lood	Live Load	D4	. & LL	
	10	40		50	
	0	30		10	

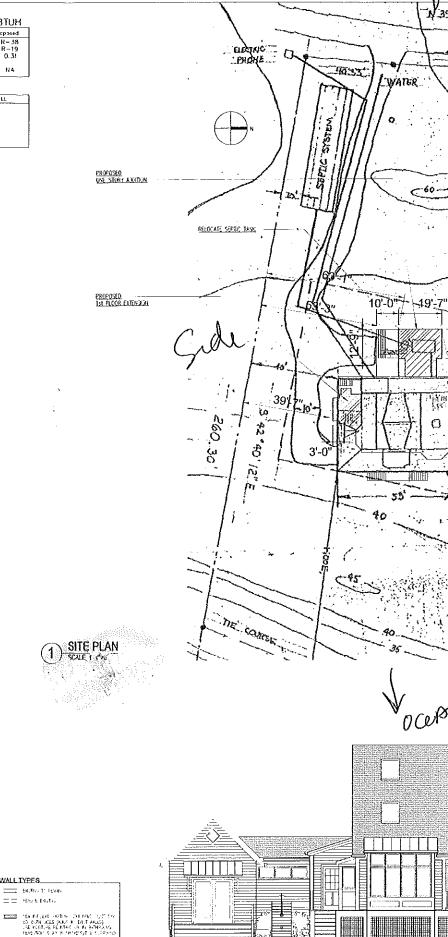
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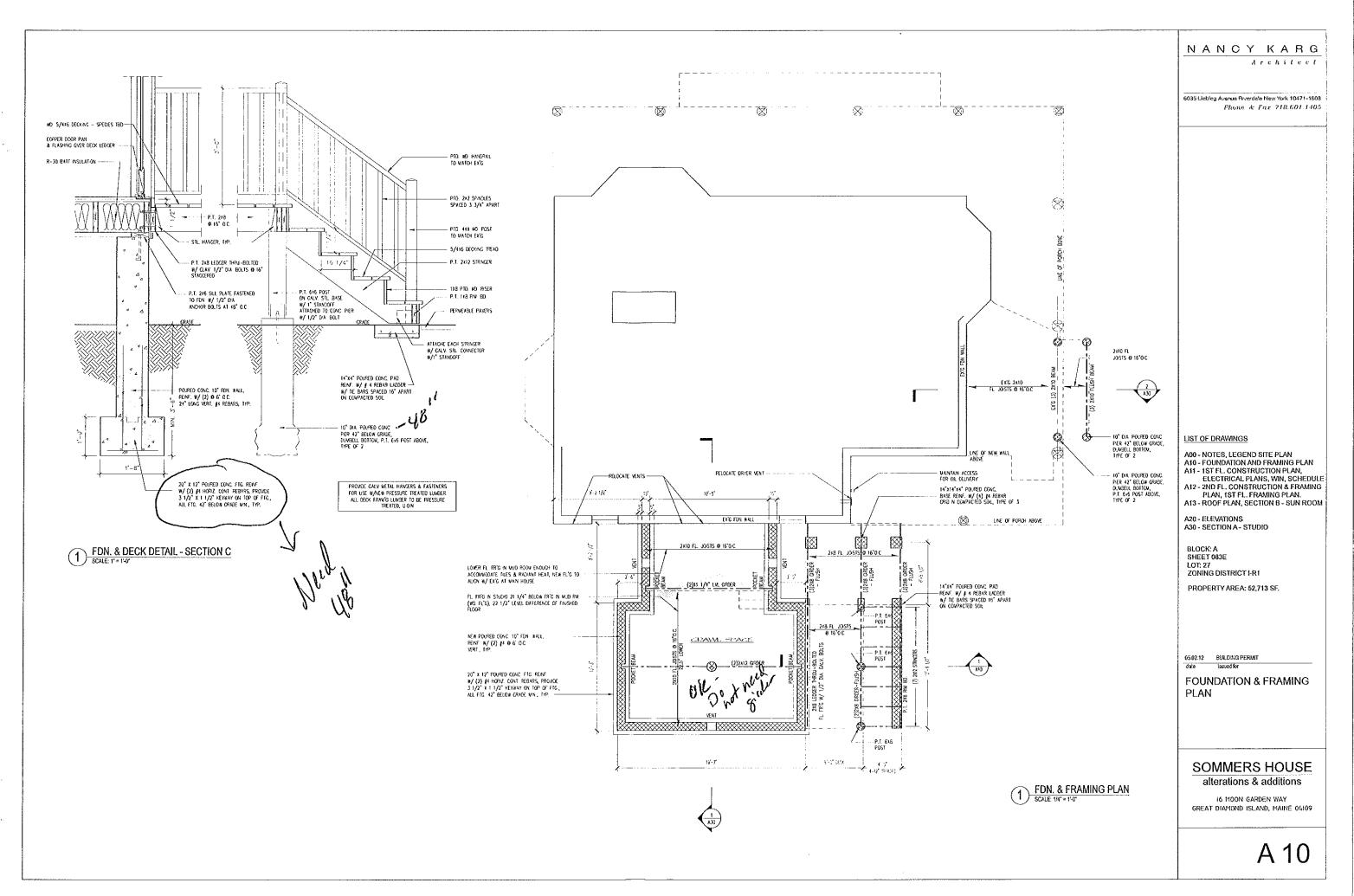
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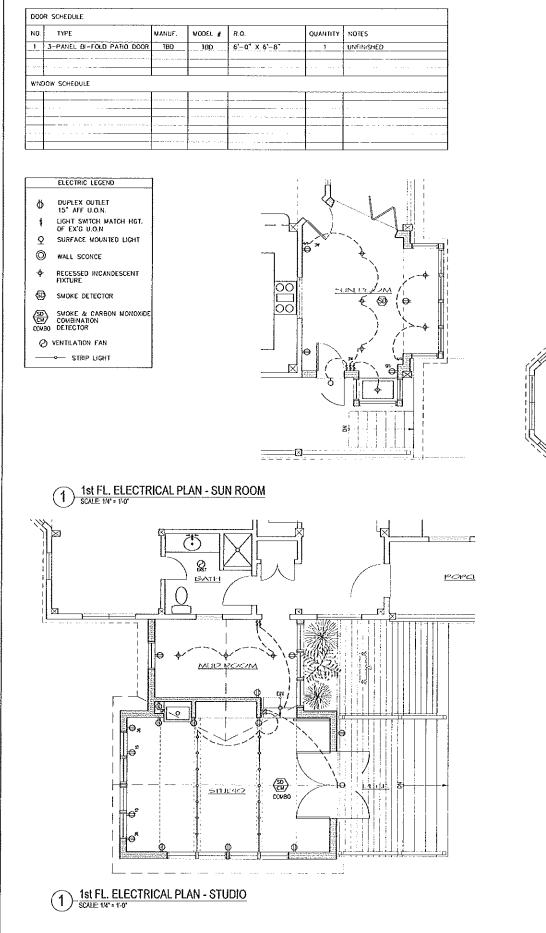
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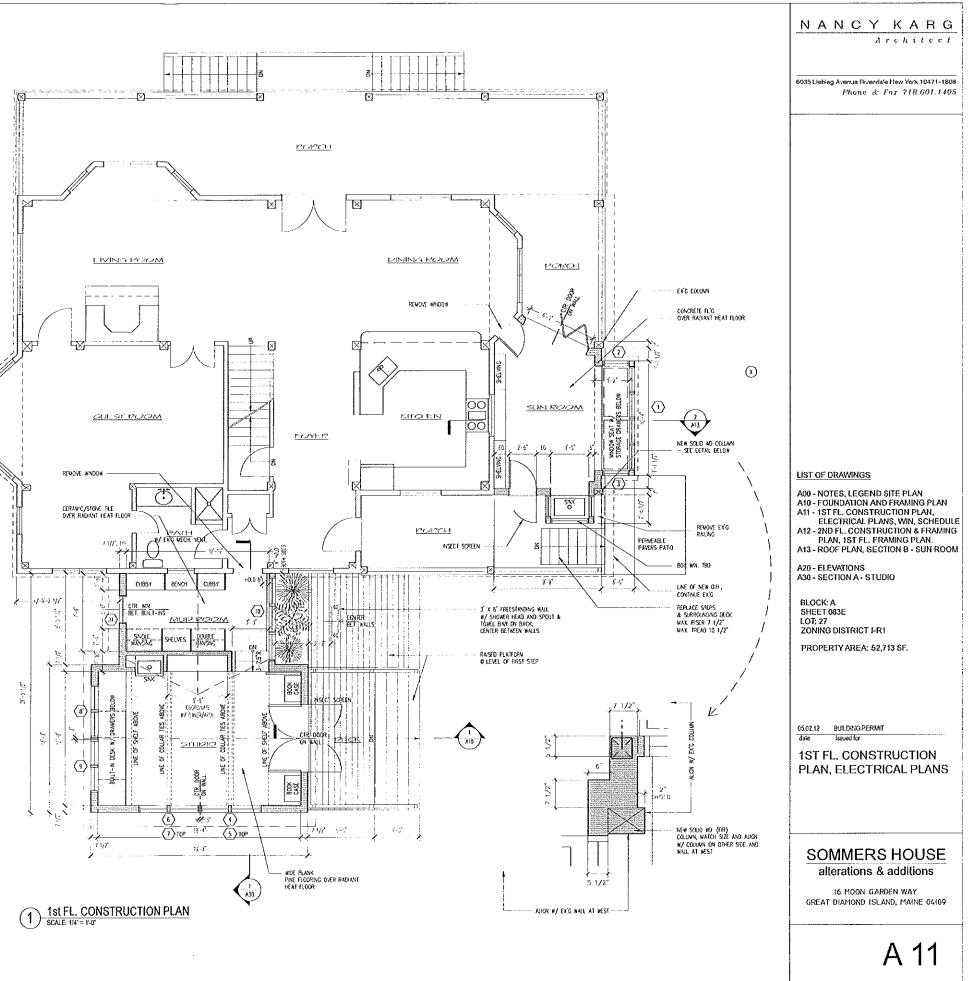


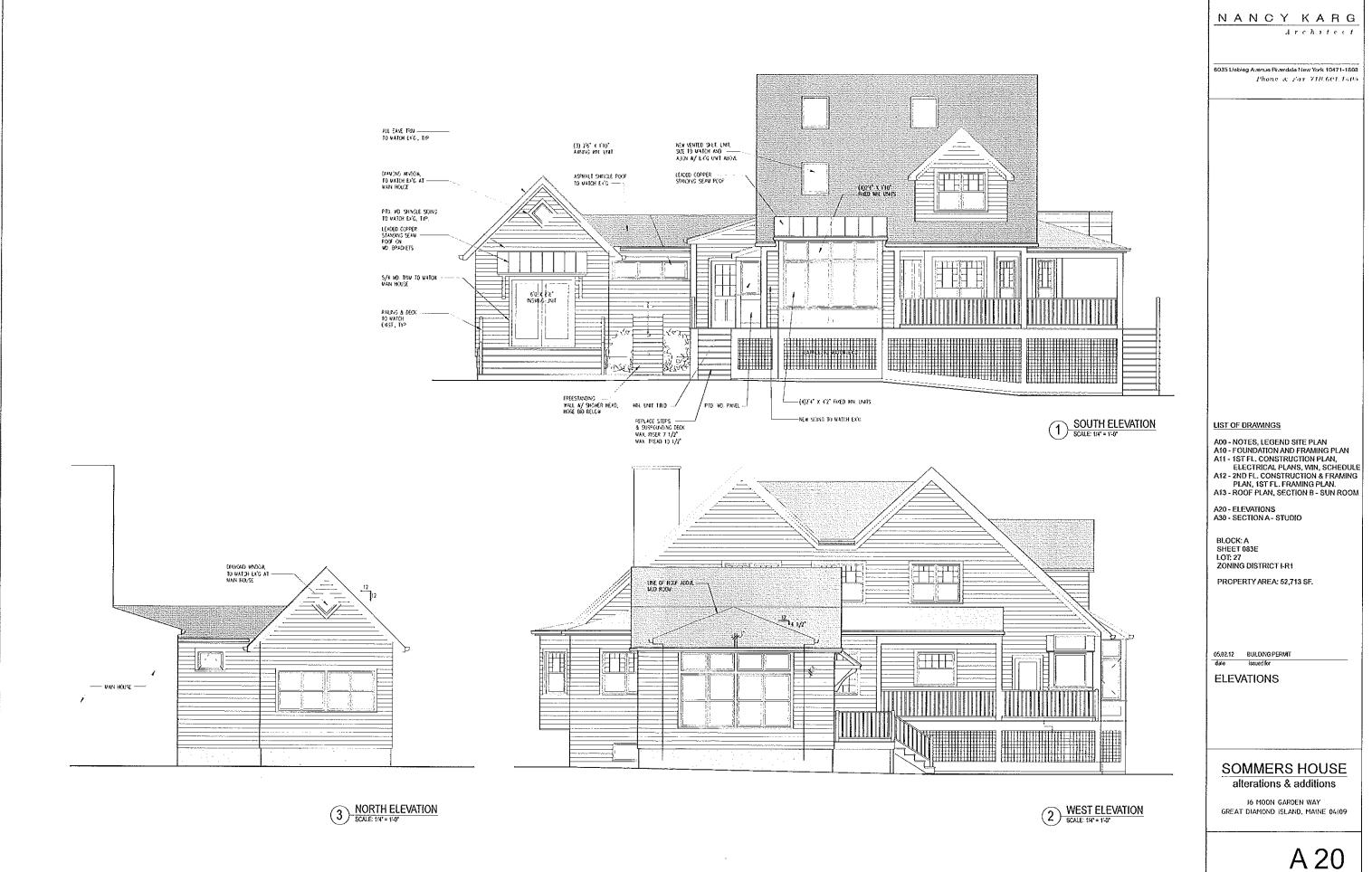
N 39° 57 37'E SEA THE MOCAN GARDEN WAY NANCY KARG courters address PLEASANT COVE LANE Architert 68.07-6035 Liebleg Avenue Riverdale New York 10471-1808 Phone & Far 718 601 1405 45 - - -· IR· \$ي. 45 1. P HA' 70'-4" ന m က် 70' 0 1 53134 10 5.14 0 ¢۲ THORM 45 AROVE, MANT ·----LIST OF DRAWINGS A00 - NOTES, LEGEND SITE PLAN A10 - FOUNDATION AND FRAMING PLAN A11 - 1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS, WIN, SCHEDULE ¥. 14. A12 - 2ND FL. CONSTRUCTION & FRAMING Ú, PLAN, 1ST FL. FRAMING PLAN. Ò A13 - ROOF PLAN, SECTION B - SUN ROOM 40 A20 - ELEVATIONS A30 - SECTION A - STUDIO BLOCK A SHEET 083E ZONING DISTRICT IRI PROPERTY AREA: 52,713 SF. 3 ocep 05.02.12 BUILDING PERMIT issued for GENERAL NOTES. LEGENDS. SITE PLAN 世出 SOMMERS HOUSE alterations & additions 16 MOON GARDEN WAY GREAT DIAMOND ISLAND, MAINE 04109 A 00

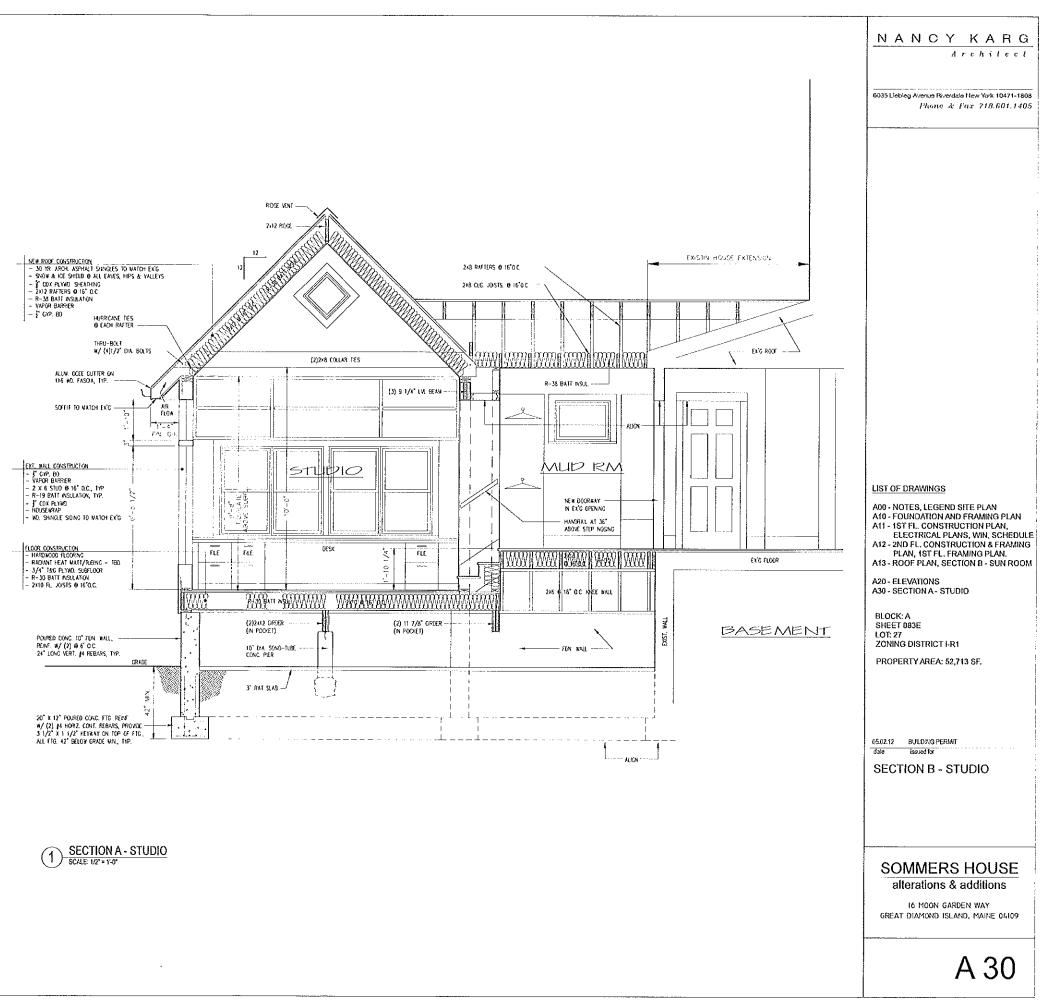


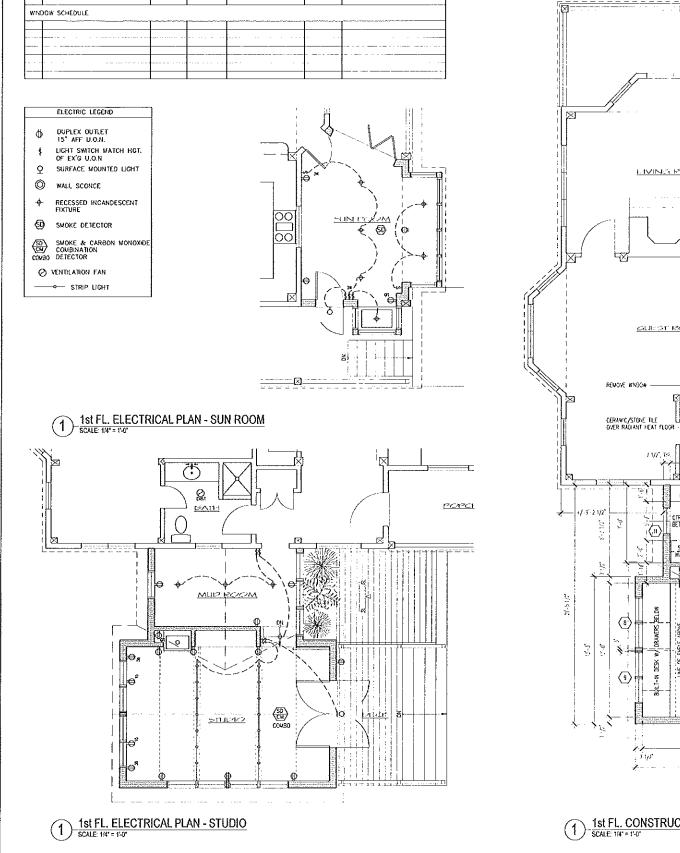
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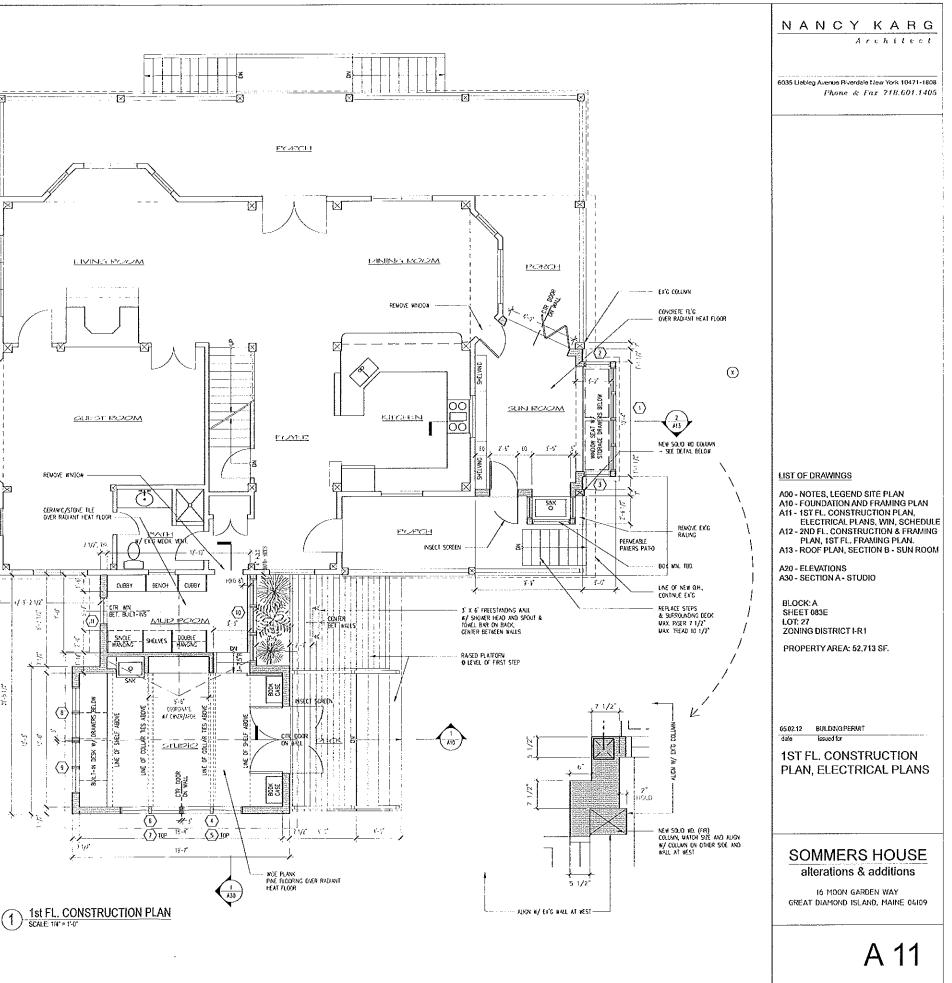




QUANTITY NOTES

UNFINISHED

1



DOOR SCHEDULE

3-PANEL BI-FOLD PATIO DOC

MANUF.

TBD

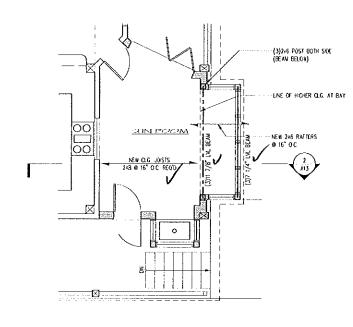
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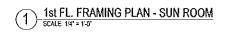
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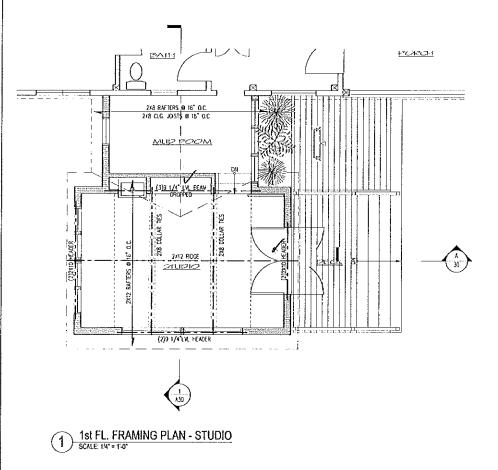
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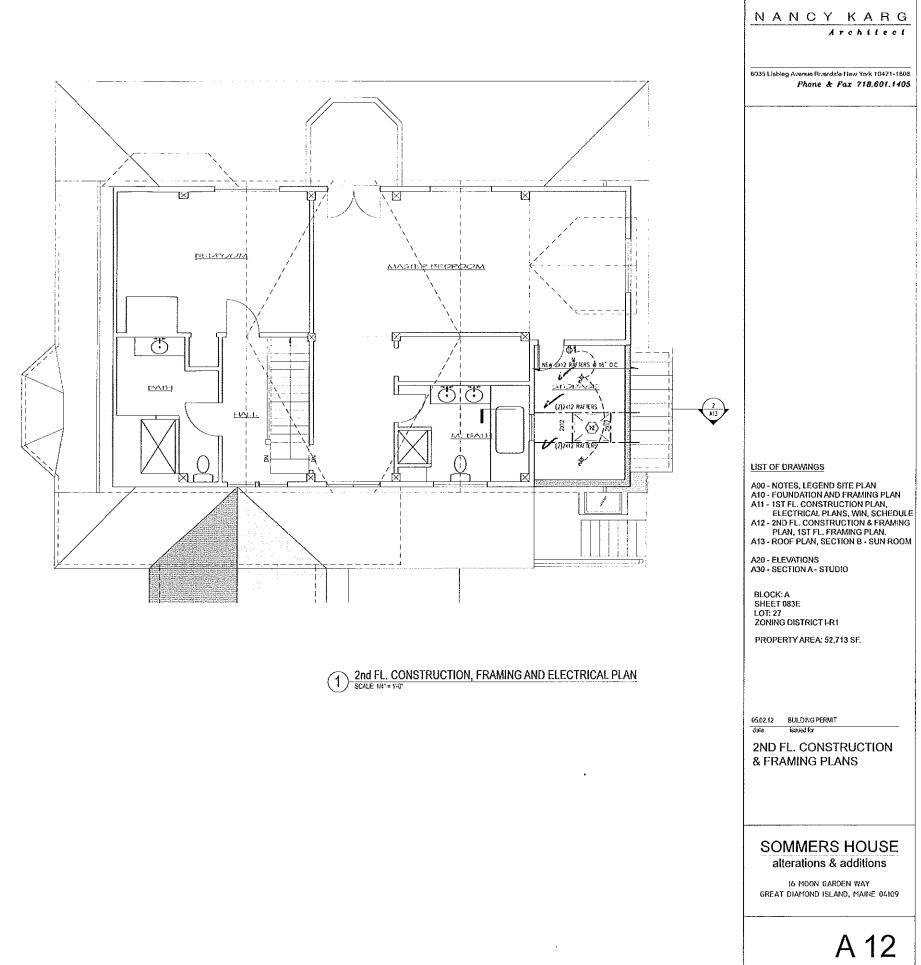
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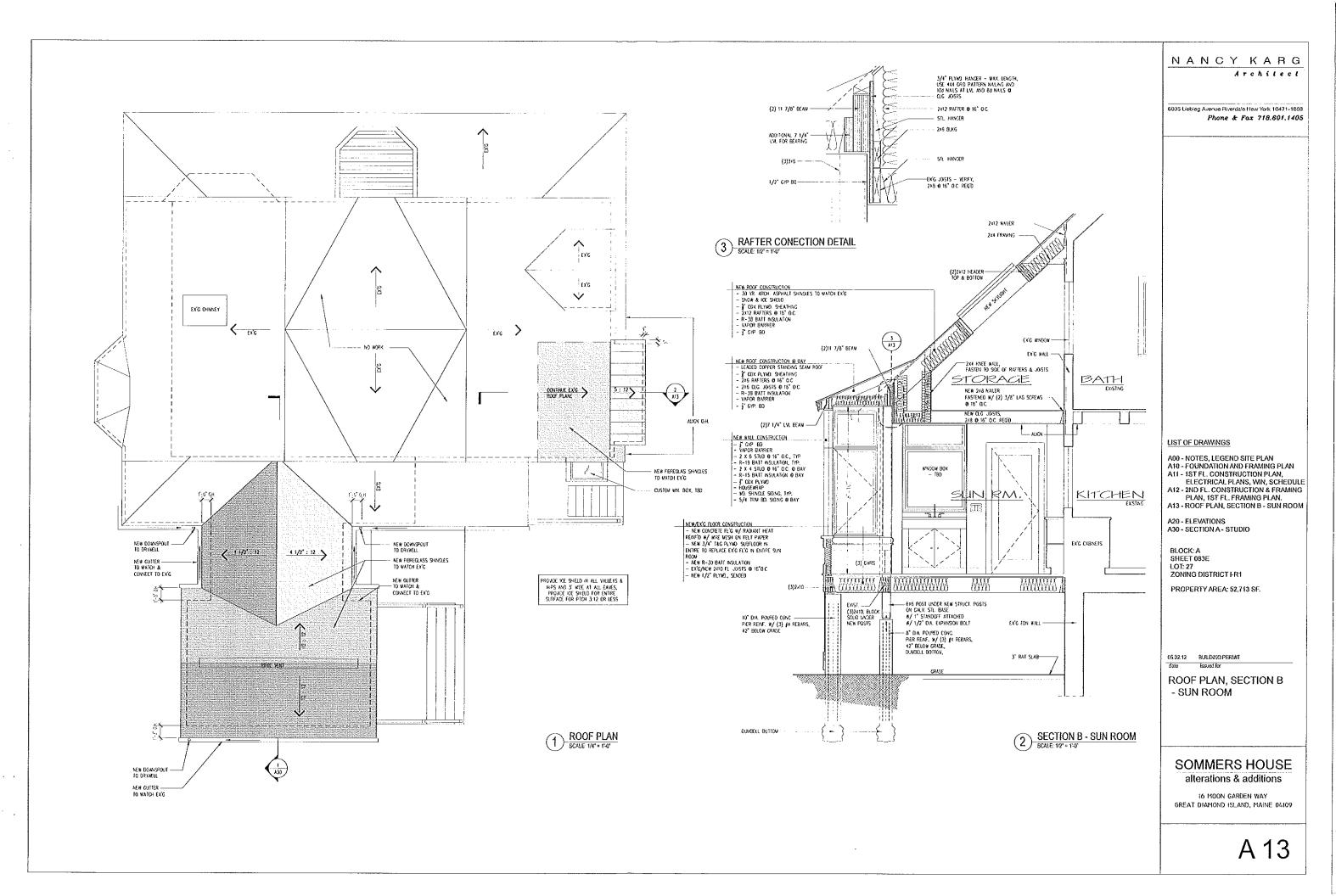
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