

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that WILLIAM & TRACY SOMMERS

Located At 15 PLEASANT COVE LN

Job ID: 2012-07-4454-ALTR

CBL: 083E-A-027-001

has permission to Add Sunroom and studio addition to existing home in front provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-07-4454-ALTR

Located At: 15 PLEASANT COVE CBL: 083E- A-027-001  
LN

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. It is understood that the studio is for owner's hobby and is not a business nor retail use.

### **Fire**

1. Approval for single-family residential home only.
2. All construction shall comply with City Code Chapter 10.
3. All smoke detectors and smoke alarms shall be photoelectric.
4. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
5. A sprinkler system is recommended but not required based on the following:
  - a. Plans indicate the addition will not exceed 50% of the total completed structure.

### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
3. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
4. The frost protection needs to be a minimum 48" below grade.
5. A sono tube needs to be added under the existing 3- 2" x 10"-s under the new sunroom area.



2012-07-4454A14

# General Building Permit Application

*[Handwritten signature]*



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

IR-1

GDS

Location/Address of Construction: <u>16 moon garden way Diamond Cove</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>52713</u>	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>083E</u> Block# <u>A</u> Lot# <u>27</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Tray Sommers</u> Address <u>16 moon garden way</u> City, State & Zip <u>Diamond Cove ME 04109</u>	Telephone: <u>766-2045</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>80,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>820</u>
Current legal use (i.e. single family) <u>family</u> Number of Residential Units <u>1</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>sun room, <del>bed</del> Art Studio</u>		
Is property part of a subdivision? <u>yes</u> If yes, please name <u>Diamond Cove</u>		
Project description: <u>sunroom addition, studio Addition to existing home</u>		
Contractor's name: <u>Ken Stover</u>		
Address: <u>4 Harrison Rd</u>		
City, State & Zip: <u>bridgeton ME 04009</u>		Telephone: <u>318-8119</u>
Who should we contact when the permit is ready: <u>Tray Sommers</u>		Telephone: <u>766-2045</u>
Mailing address: <u>16 moon garden way Diamond Cove ME 04109</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *[Handwritten Signature]*

Date: 7-13-12

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED  
JUL 13 2012  
City of Building Inspections  
City of Portland, Maine



# MARVIN DESIGN GALLERY

a complete window and door showroom  
by Eldredge

Marvin Design Gallery  
317 Marginal Way  
Portland, Maine 04101  
(207) 772-2003  
Sales Person: John Collins  
jcollins@marvinportland.com

May 15, 2012

Ken Stover Building & Remodeling  
4 Harrison Road  
Bridgton, ME 04009  
Home: (207) 318-8119  
Email: kenstoverbuilding@gmail.com

*Sommers*  
Project: Summer  
Diamond Cove  
Great Diamond Island, ME

## PROPOSAL

### Proposal

The Marvin Design Gallery proposes to supply the product listed below Please review to ensure all the sizing and specifications are correct and meet your project requirements. Marvin products are special order items and may not be changed, cancelled or returned once the order is approved and processed.

PLEASE NOTE:

*to match existing existing items on house (windows) on*

THIS PROPOSAL DOES NOT INCLUDE THE SKY LIGHTS OR THE WINDOW THAT IS MARKED T.B.D.

ALL UNITS CONVERTED TO CLOSEST STANDARD SIZE.

### GENERAL PRODUCT SPECIFICATIONS EXCEPT AS NOTED BELOW

**Manufacturer:** Marvin

**Product Line:** Clad

**Glass:** Low E II 272 With Argon

**Grille/Divided Lite Bar Type:** None

**Interior Finish:** Bare Wood

**Exterior Finish:** Stone White Aluminum Clad w/ Kynar 2605 Finish

**Exterior Weather Stripping Color:** Beige

**Interior Casing:** None

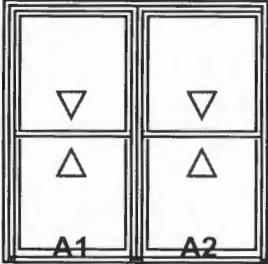
**Exterior Casing:** None

**Jamb Depth:** 6 9/16"

**Screen:** Screen; No Screens on Doors

**Screen Color:** White Screens  
**Screen Cloth:** Charcoal Fiberglass  
**Jambliner Color:** Beige  
**Window Hardware:** White with Coastal Hardware  
**Door Hardware:** PVD Oil Rubbed Bronze  
**Door Hinges:** PVD Oil Rubbed Bronze

**Item#: 1 Location: West Elev CUDH2628-2w Qty: 2 Unit Price: \$1,061.58 Total: \$2,123.16**



Manufacturer: Marvin; Rough opening: 63 3/4" X 64 7/8" – 2 wide x 1 high multiple unit; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

**Windows A1-A2**

Clad ultimate double hung; Call number: 2628; Insulated glass – 1 lite; Low E II glass with argon gas; White sash locks; Screen: stone white frame, charcoal fiberglass mesh.

**Item#: 2 Location: West Elev CUDHT2612-2w Qty: 2 Unit Price: \$640.38 Total: \$1,280.76**



Manufacturer: Marvin; Rough opening: 63 3/4" X 20 3/16" – 2 wide x 1 high multiple unit; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

**Windows A1-A2**

Clad ultimate double hung transom; Call number: 2612; Insulated glass – 1 lite; Low E II glass with argon gas.

**Item#: 3 Location: West Elev CUCA2420/2454 LH Qty: 1 Total: \$937.56**



Manufacturer: Marvin; Frame size: 24" X 72 1/4" – 1 wide x 2 high multiple unit; Rough opening: 25" X 72 3/4"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

**Window A1**

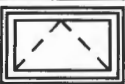
Clad ultimate awning – stationary; Call number: 2420; Frame size: 24" X 19 1/8"; Rough opening: 25" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

**Window B1**

Clad ultimate casement – left hand; Call number: 2454; Frame size: 24" X 53 1/8"; Rough opening: 25" X 53 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Interior screen: white frame, charcoal fiberglass mesh; Beige weather strip.

This configuration is certified to AAMA 450.

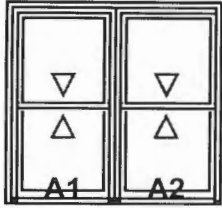
**Item#: 4 Location: North Elev CUAWN3020 Qty: 1 Total: \$522.60**



Manufacturer: Marvin; Clad ultimate awning – roto operating; Call number: 3020; Frame size: 30" X 19 1/8"; Rough opening: 31" X 19 5/8"; 6 9/16" jamb depth; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Bare pine interior; Clad exterior; No exterior casing; Interior screen: white frame, charcoal fiberglass mesh; Nailing fin; Beige weather strip.



**Item#: 5 Location: North Elev CUDH2020-2w Qty: 2 Unit Price: \$838.50 Total: \$1,677.00**

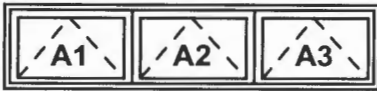


Manufacturer: Marvin; Rough opening: 51 3/4" X 48 7/8" – 2 wide x 1 high multiple unit; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

**Windows A1-A2**

Clad ultimate double hung; Call number: 2020; Insulated glass – 1 lite; Low E II glass with argon gas; White sash locks; Screen: stone white frame, charcoal fiberglass mesh.

**Item#: 6 Location: South Elev CUAWN3020-3w Qty: 1 Total: \$1,568.58**



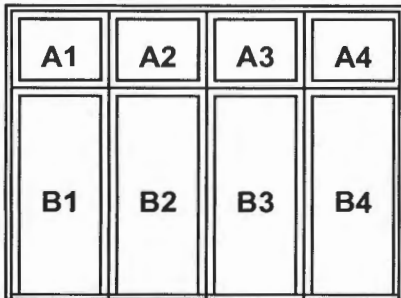
Manufacturer: Marvin; Frame size: 90" X 19 1/8" – 3 wide x 1 high multiple unit; Rough opening: 91" X 19 5/8"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

**Windows A1-A3**

Clad ultimate awning – roto operating; Call number: 3020; Frame size: 30" X 19 1/8"; Rough opening: 31" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Interior screen: white frame, charcoal fiberglass mesh; Beige weather strip.

This configuration is certified to AAMA 450.

**Item#: 7 Location: South Elev CUCA2420/2454-4w Qty: 1 Total: \$2,775.24**



Manufacturer: Marvin; Frame size: 96" X 72 1/4" – 4 wide x 2 high multiple unit; Rough opening: 97" X 72 3/4"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

**Windows A1-A4**

Clad ultimate awning – stationary; Call number: 2420; Frame size: 24" X 19 1/8"; Rough opening: 25" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

**Windows B1-B4**

Clad ultimate casement – stationary; Call number: 2454; Frame size: 24" X 53 1/8"; Rough opening: 25" X 53 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

**Item#: 8 Location: East Elev CUCA2420/2454 LH Qty: 1 Total: \$937.56**



Manufacturer: Marvin; Frame size: 24" X 72 1/4" – 1 wide x 2 high multiple unit; Rough opening: 25" X 72 3/4"; 6 9/16" jamb depth; Bare pine interior; Clad exterior; No exterior casing; Nailing fin.

**Window A1**

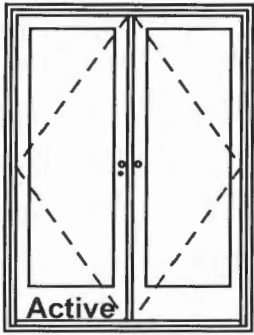
Clad ultimate awning – stationary; Call number: 2420; Frame size: 24" X 19 1/8"; Rough opening: 25" X 19 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Solid wood covers; Beige weather strip.

**Window B1**

Clad ultimate casement – right hand; Call number: 2454; Frame size: 24" X 53 1/8"; Rough opening: 25" X 53 5/8"; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; White folding handle and lock(s); Stainless steel hardware; Interior screen: white frame, charcoal fiberglass mesh; Beige weather strip.

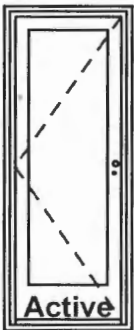
This configuration is certified to AAMA 450.

**Item#: 9 Location: CUIFD5068 XX Qty: 1 Total: \$3,602.82**



Manufacturer: Marvin; Clad ultimate inswing french door with 6 9/16 jambs – operating, operating – left hand; Call number: 5068; Rough opening: 61 5/8" X 82 1/2"; 6 9/16" jamb depth; Insulated glass – 1 lite; Tempered low E II glass with argon; Multi-point lock on active panel; Oil rubbed bronze PVD (Plasma Vapor Deposition) handle set – active panel; Multi-point lock on inactive panel; Oil rubbed bronze PVD (Plasma Vapor Deposition) handle – inactive panel; Oil rubbed bronze PVD (Plasma Vapor Deposition) adjustable hinges; Keyed alike; Bare pine interior; Clad exterior; No exterior casing; Nailing fin; Beige ultrex sill with beige weather strip; Oak sill liner.

**Item#: 10 Location: CUIFD2668 XX Qty: 1 Total: \$1,818.18**



Manufacturer: Marvin; Clad ultimate inswing french door with 6 9/16 jambs – operating – left hand; Call number: 2668; Rough opening: 32 7/16" X 82 1/2"; 6 9/16" jamb depth; Insulated glass – 1 lite; Tempered low E II glass with argon; Multi-point lock on active panel; Oil rubbed bronze PVD (Plasma Vapor Deposition) handle set – active panel; Oil rubbed bronze PVD (Plasma Vapor Deposition) adjustable hinges; Keyed alike; Bare pine interior; Clad exterior; No exterior casing; Nailing fin; Beige ultrex sill with beige weather strip; Oak sill liner.

**Item#: 11 Location: Gable Addition Qty: 2 Unit Price: \$255.06 Total: \$510.12**



Manufacturer: Marvin; Clad ultimate awning – stationary; Call number: 1818; Frame size: 18" X 17 1/8"; Rough opening: 19" X 17 5/8"; 6 9/16" jamb depth; 3/4" insulated glass – 1 lite; Low E II glass with argon gas; Bare pine interior; Clad exterior; No exterior casing; Nailing fin; Solid wood covers; Beige weather strip.

<u>Total Material</u>	<u>\$17,753.58</u>
Sub Total	\$17,753.58
<u>Sales Tax (5.0%)</u>	<u>\$887.68</u>

**Grand Total \$18,641.26**

**Payment schedule terms**

- \$9,320.63 deposit due upon acceptance
- \$9,320.63 deposit due before delivery

ALTERNATES

<u>Description</u>	<u>Price</u>
Add to change Gable End windows to Direct Glaze Diamond (includes tax)	\$419.33

1/4" = 1' 0" - All drawings are exterior views.



- LIST OF DRAWINGS**
- A00 - NOTES, LEGEND SITE PLAN
  - A10 - FOUNDATION AND FRAMING PLAN
  - A11 - 1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS, WIN. SCHEDULE
  - A12 - 2ND FL. CONSTRUCTION & FRAMING PLAN, 1ST FL. FRAMING PLAN.
  - A13 - ROOF PLAN, SECTION B - SUN ROOM

- A20 - ELEVATIONS  
A30 - SECTION A - STUDIO

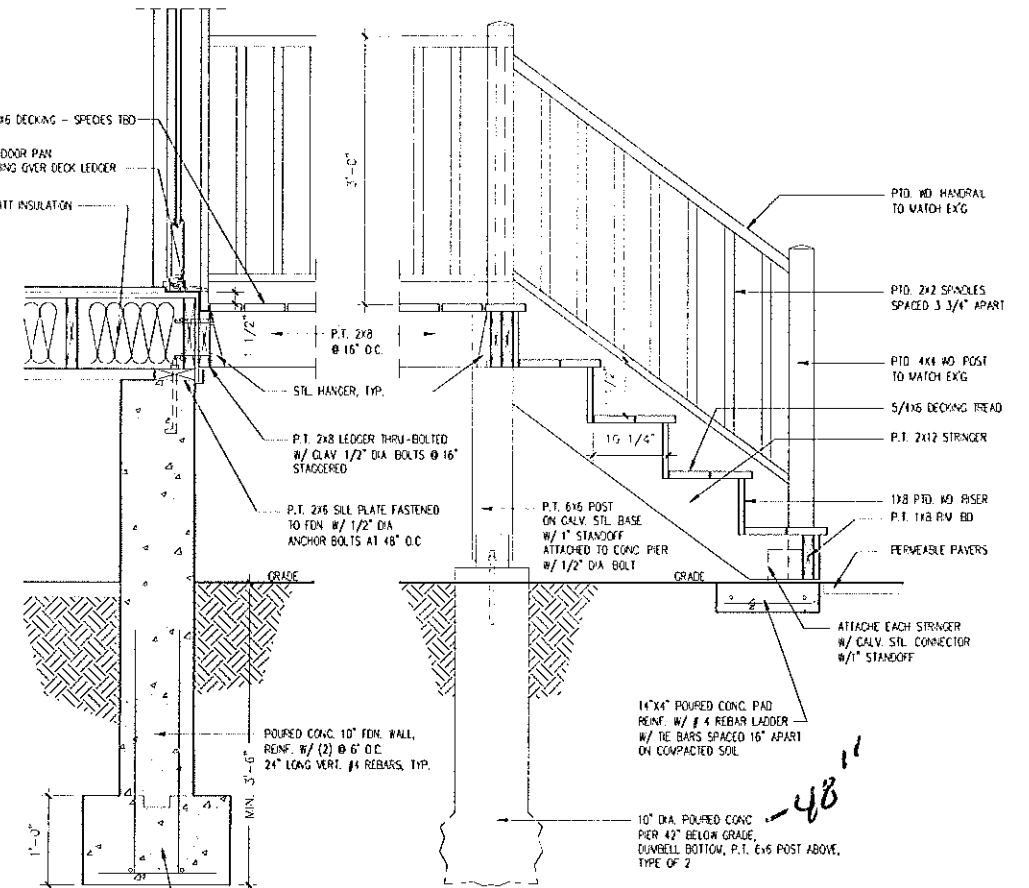
BLOCK: A  
SHEET 083E  
LOT: 27  
ZONING DISTRICT I-R1  
PROPERTY AREA: 52,713 SF.

65.02.12 BUILDING PERMIT  
date issued for

FOUNDATION & FRAMING PLAN

SOMMERS HOUSE  
alterations & additions

16 MOON GARDEN WAY  
GREAT DIAMOND ISLAND, MAINE 04109

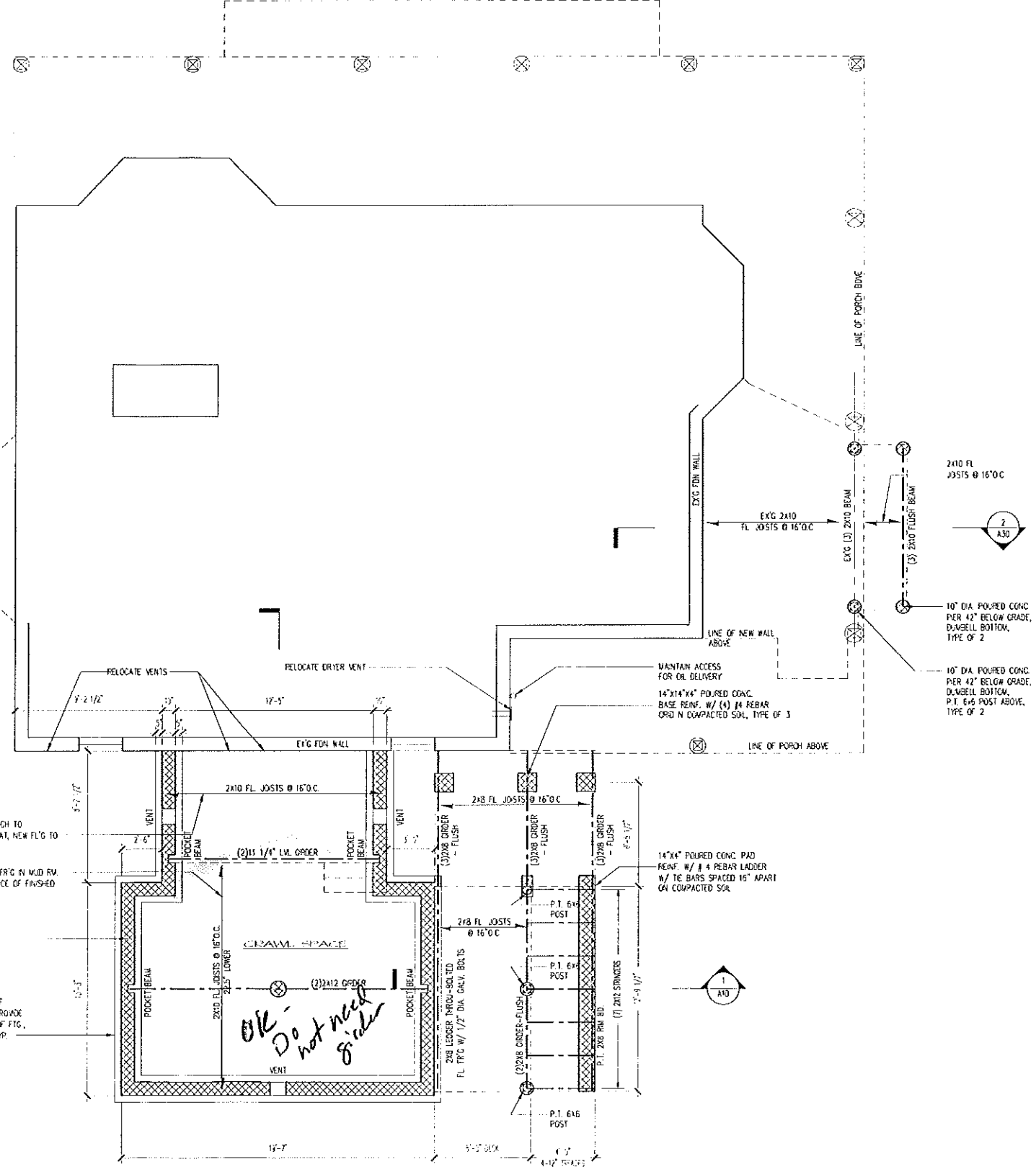


1 FDN. & DECK DETAIL - SECTION C  
SCALE: 1" = 1'-0"

20" x 12" POURED CONC. FIG. REIN W/ (2) #4 HORIZ. CONT. REBARS, PROVIDE 3 1/2" x 1 1/2" KEYWAY ON TOP OF FIG., ALL FIG. 42" BELOW GRADE MIN. TYP.

PROVIDE ONLY METAL HANGERS & FASTENERS FOR USE W/ A&A PRESSURE TREATED LUMBER. ALL DECK FRAM'G LUMBER TO BE PRESSURE TREATED, U O N

*Need 48"*

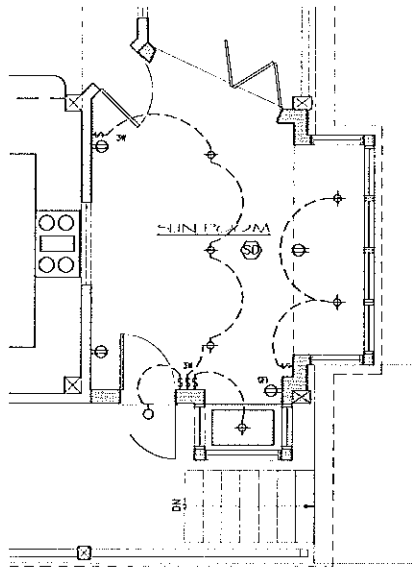


1 FDN. & FRAMING PLAN  
SCALE 1/4" = 1'-0"

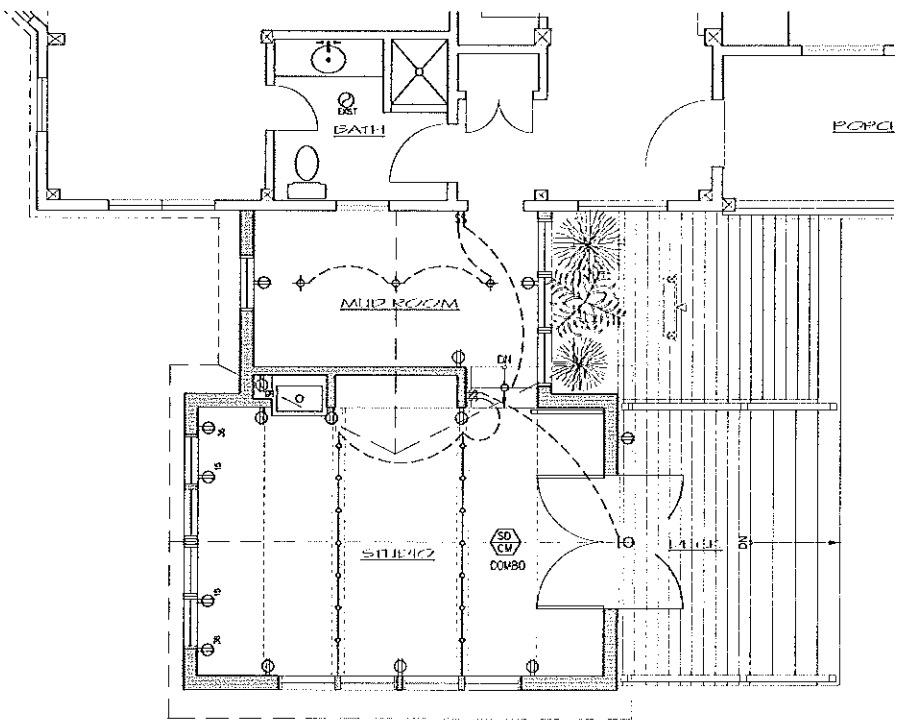
*OK - Do not need 8\"/>*

DOOR SCHEDULE						
NO.	TYPE	MANUF.	MODEL #	R.O.	QUANTITY	NOTES
1	3-PANEL B-FOLD PATIO DOOR	TBD	TBD	6'-0" X 6'-8"	1	UNFINISHED
WINDOW SCHEDULE						

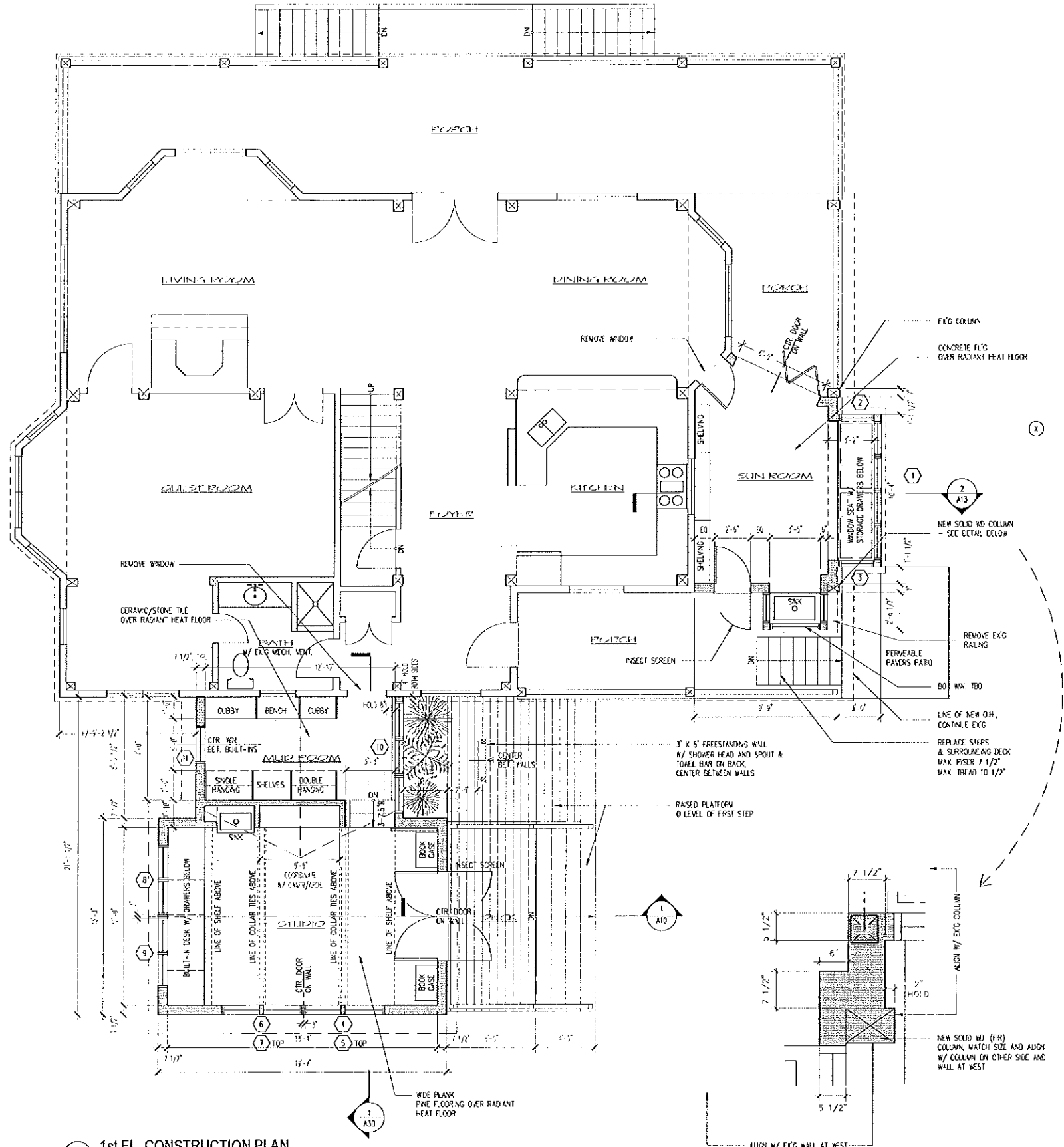
ELECTRIC LEGEND	
	DUPLEX OUTLET 15" AFF U.O.N.
	LIGHT SWITCH MATCH HGT. OF EX'G U.O.N.
	SURFACE MOUNTED LIGHT
	WALL SCONCE
	RECESSED INCANDESCENT FIXTURE
	SMOKE DETECTOR
	SMOKE & CARBON MONOXIDE COMBINATION DETECTOR
	VENTILATION FAN
	STRIP LIGHT



1 1st FL. ELECTRICAL PLAN - SUN ROOM  
SCALE: 1/4" = 1'-0"



1 1st FL. ELECTRICAL PLAN - STUDIO  
SCALE: 1/4" = 1'-0"



1 1st FL. CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"

- LIST OF DRAWINGS
- A00 - NOTES, LEGEND SITE PLAN
  - A10 - FOUNDATION AND FRAMING PLAN
  - A11 - 1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS, WIN. SCHEDULE
  - A12 - 2ND FL. CONSTRUCTION & FRAMING PLAN, 1ST FL. FRAMING PLAN.
  - A13 - ROOF PLAN, SECTION B - SUN ROOM

- A20 - ELEVATIONS  
A30 - SECTION A - STUDIO

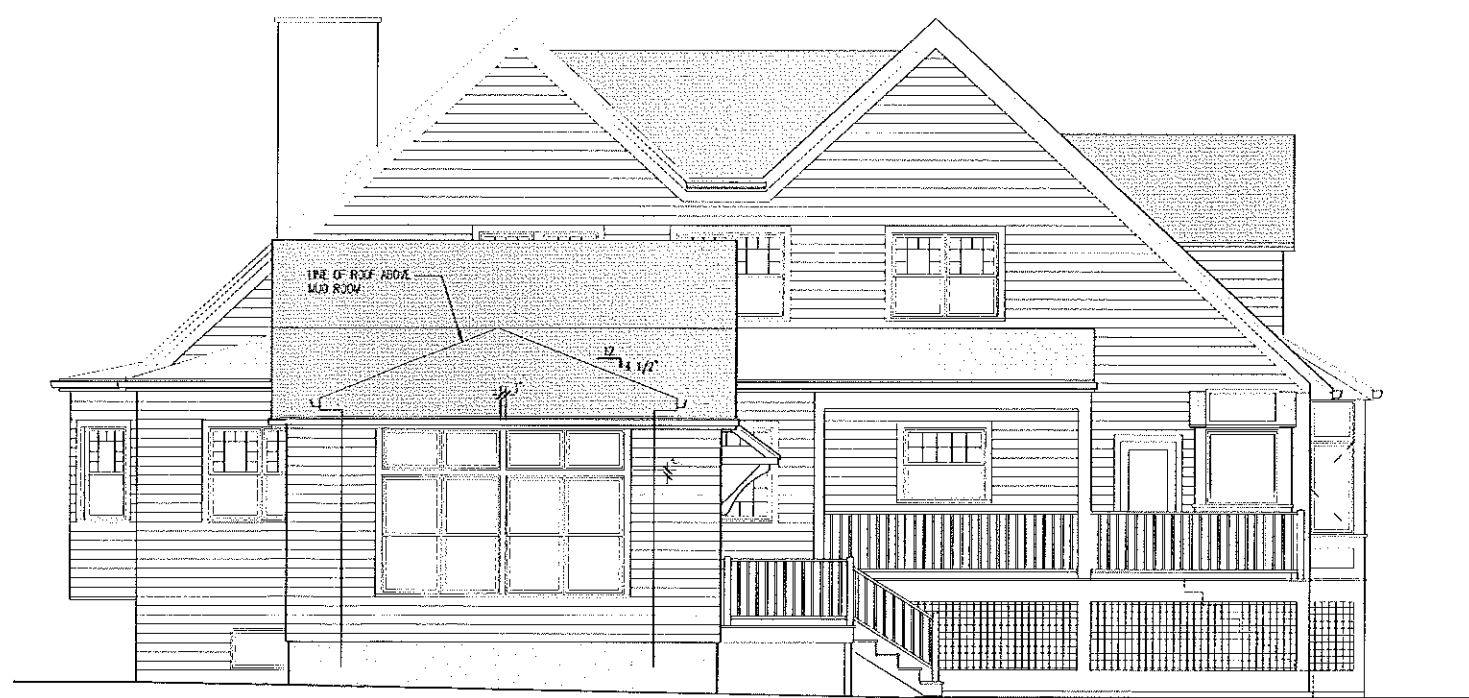
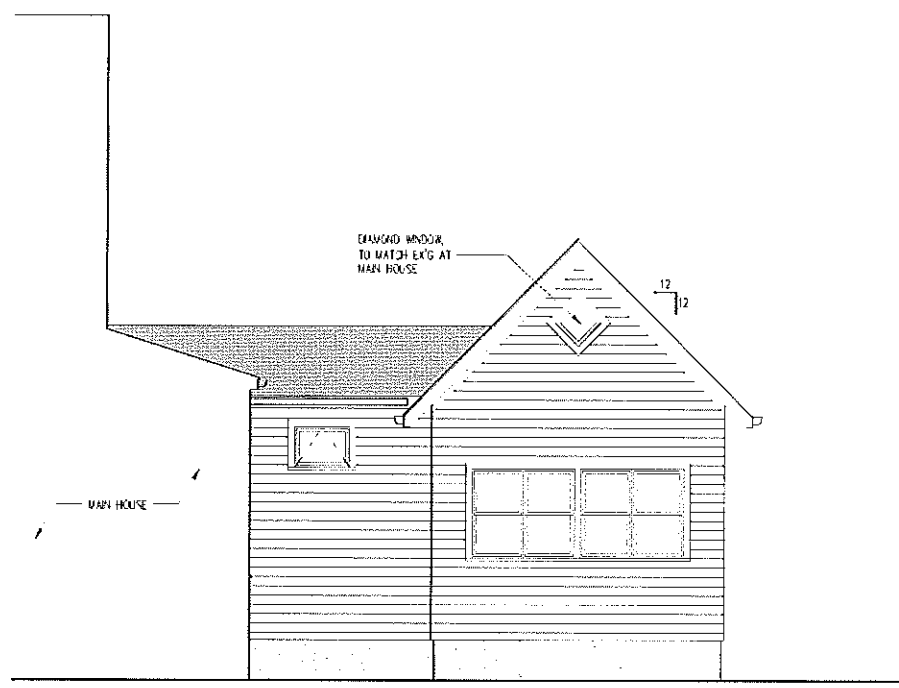
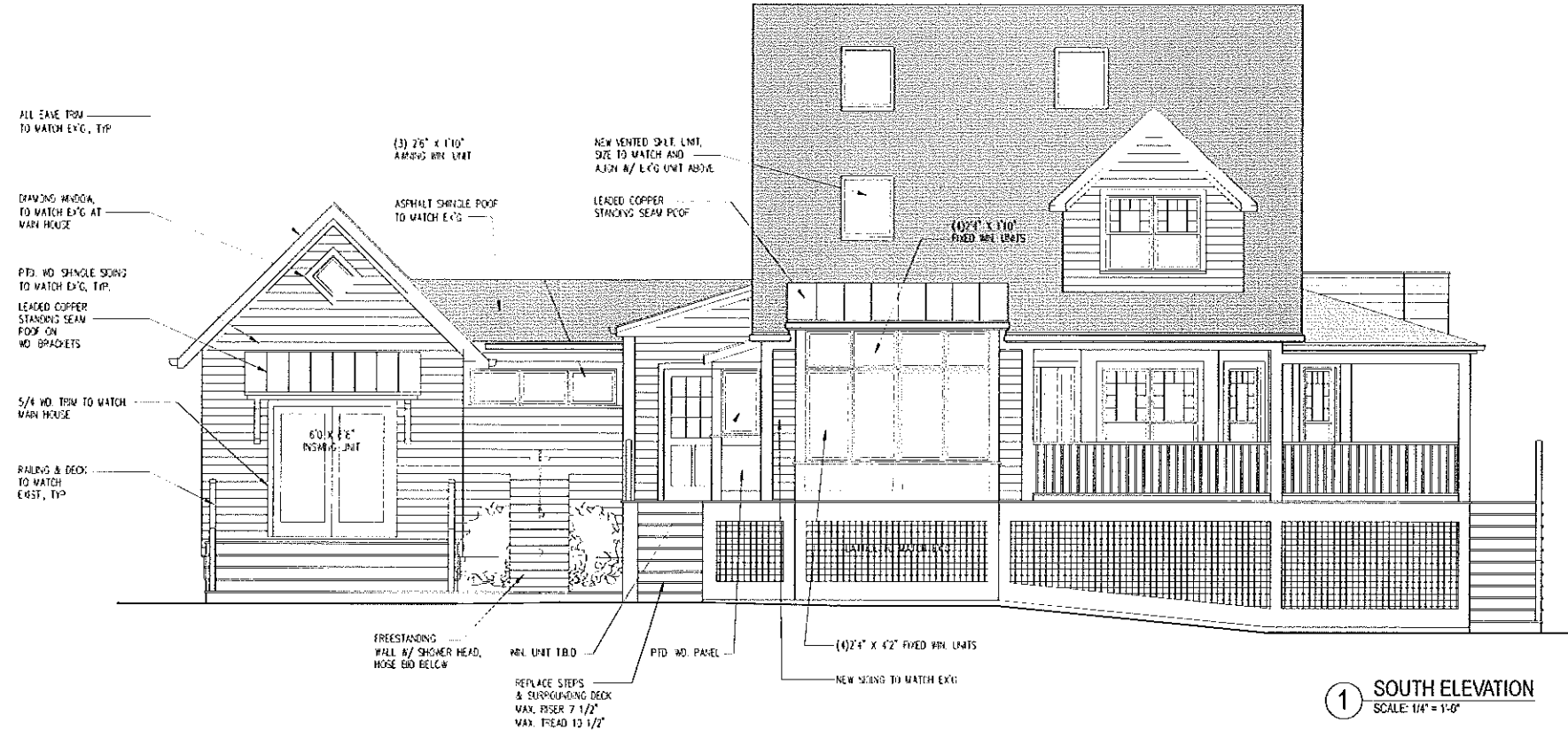
BLOCK: A  
SHEET 083E  
LOT: 27  
ZONING DISTRICT I-R1  
PROPERTY AREA: 52,713 SF.

05.02.12 BUILDING PERMIT  
Date Issued for

1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS

SOMMERS HOUSE  
alterations & additions

16 MOON GARDEN WAY  
GREAT DIAMOND ISLAND, MAINE 04109



- LIST OF DRAWINGS**
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  - A10 - FOUNDATION AND FRAMING PLAN
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  - A12 - 2ND FL. CONSTRUCTION & FRAMING PLAN, 1ST FL. FRAMING PLAN.
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  - A20 - ELEVATIONS
  - A30 - SECTION A - STUDIO

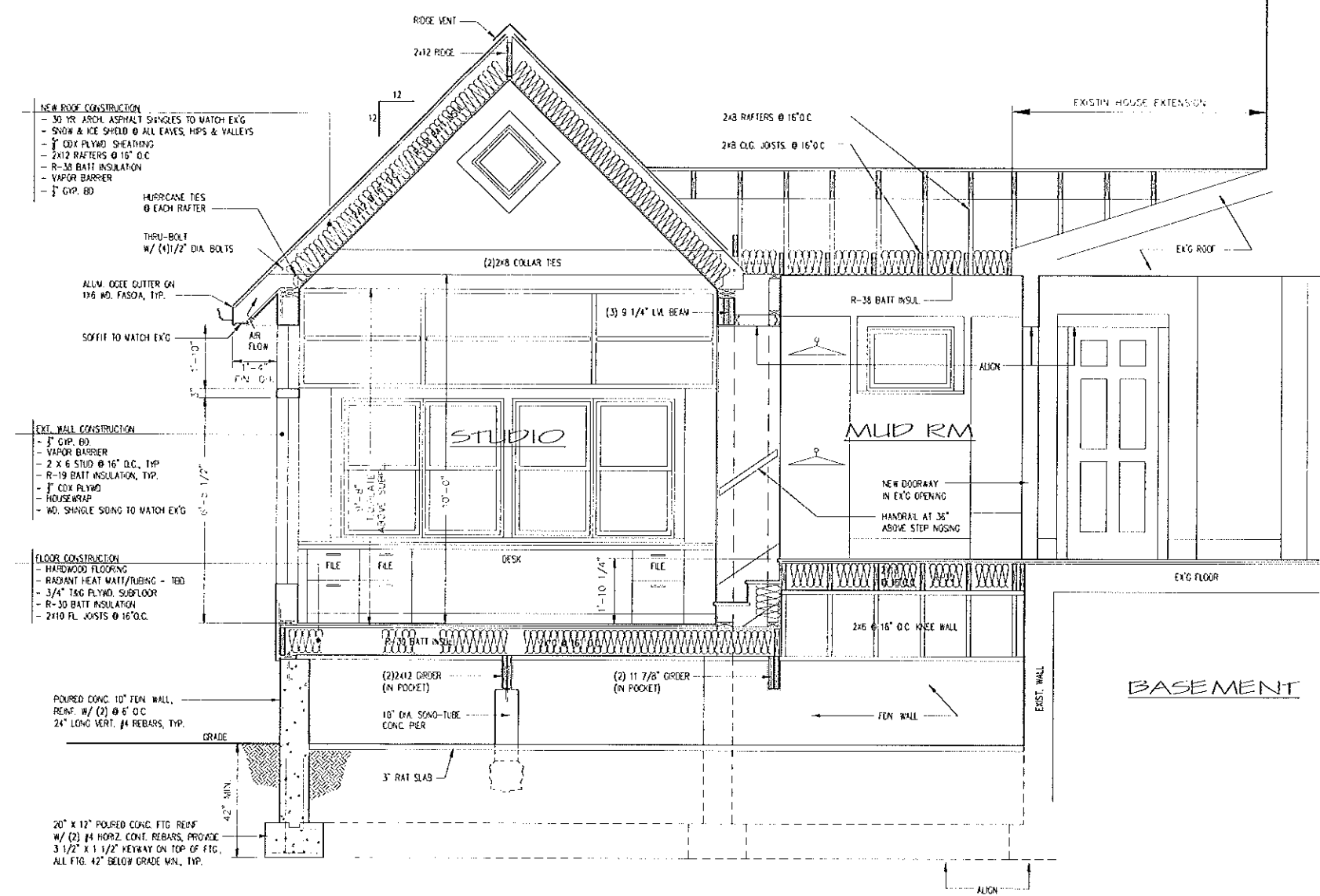
BLOCK: A  
SHEET 083E  
LOT: 27  
ZONING DISTRICT I-R1  
PROPERTY AREA: 52,713 SF.

05.02.12 BUILDING PERMIT  
date issued for

ELEVATIONS

**SOMMERS HOUSE**  
alterations & additions

16 MOON GARDEN WAY  
GREAT DIAMOND ISLAND, MAINE 04109



- LIST OF DRAWINGS**
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  - A13 - ROOF PLAN, SECTION B - SUN ROOM
  - A20 - ELEVATIONS
  - A30 - SECTION A - STUDIO

BLOCK: A  
SHEET 083E  
LOT: 27  
ZONING DISTRICT I-R1  
PROPERTY AREA: 52,713 SF.

05.02.12 BUILDING PERMIT  
date issued for

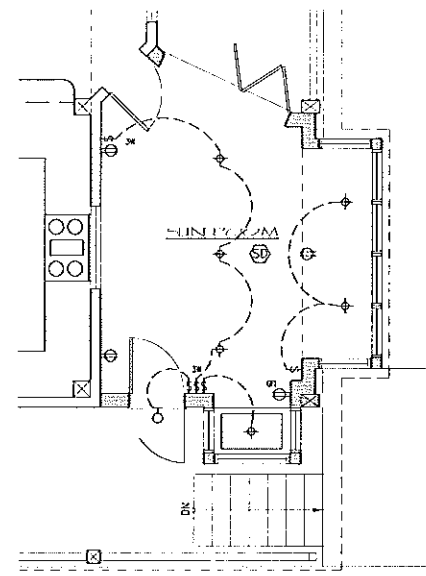
**SECTION B - STUDIO**

**SOMMERS HOUSE**  
alterations & additions  
16 MOON GARDEN WAY  
GREAT DIAMOND ISLAND, MAINE 04109

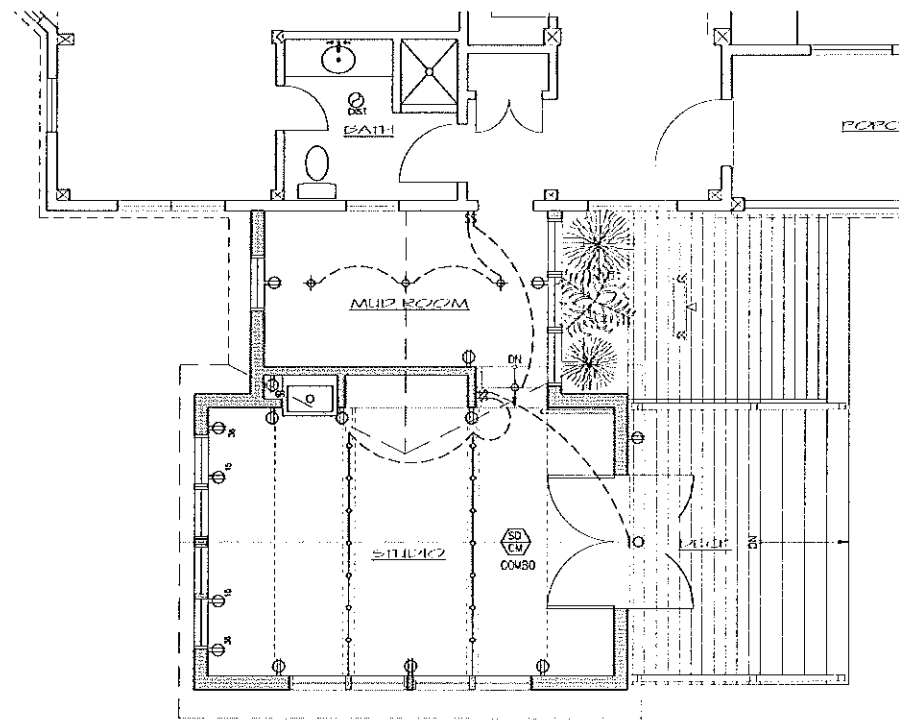
1 SECTION A - STUDIO  
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE						
NO.	TYPE	MANUF.	MODEL #	R.D.	QUANTITY	NOTES
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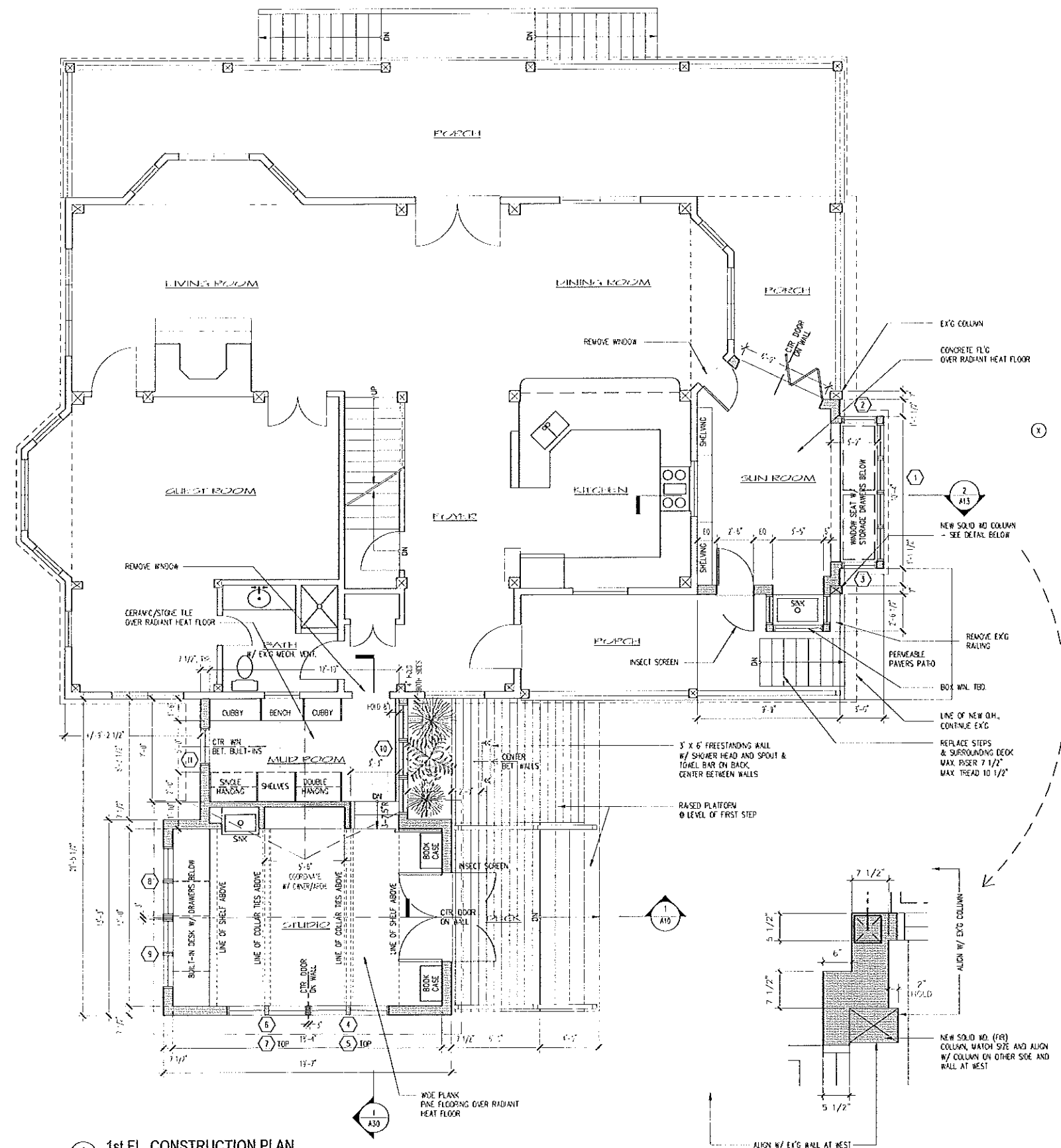
ELECTRIC LEGEND	
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	WALL SCONCE
	RECESSED INCANDESCENT FITTURE
	SMOKE DETECTOR
	SMOKE & CARBON MONOXIDE COMBINATION DETECTOR
	VENTILATION FAN
	STRIP LIGHT



1 1st FL. ELECTRICAL PLAN - SUN ROOM  
SCALE: 1/4" = 1'-0"



1 1st FL. ELECTRICAL PLAN - STUDIO  
SCALE: 1/4" = 1'-0"



1 1st FL. CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"

- LIST OF DRAWINGS
- A00 - NOTES, LEGEND SITE PLAN
  - A10 - FOUNDATION AND FRAMING PLAN
  - A11 - 1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS, WIN. SCHEDULE
  - A12 - 2ND FL. CONSTRUCTION & FRAMING PLAN, 1ST FL. FRAMING PLAN.
  - A13 - ROOF PLAN, SECTION B - SUN ROOM
  - A20 - ELEVATIONS
  - A30 - SECTION A - STUDIO

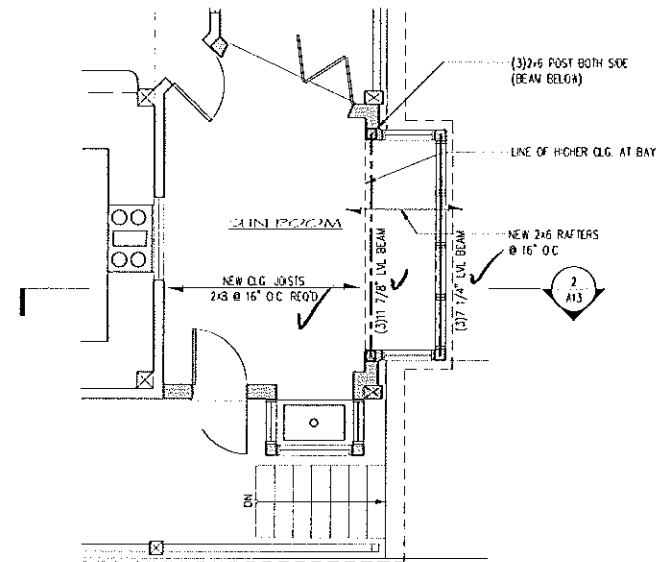
BLOCK: A  
SHEET 083E  
LOT: 27  
ZONING DISTRICT I-R1  
PROPERTY AREA: 52,713 SF.

65.02.12 BUILDING PERMIT  
date issued for

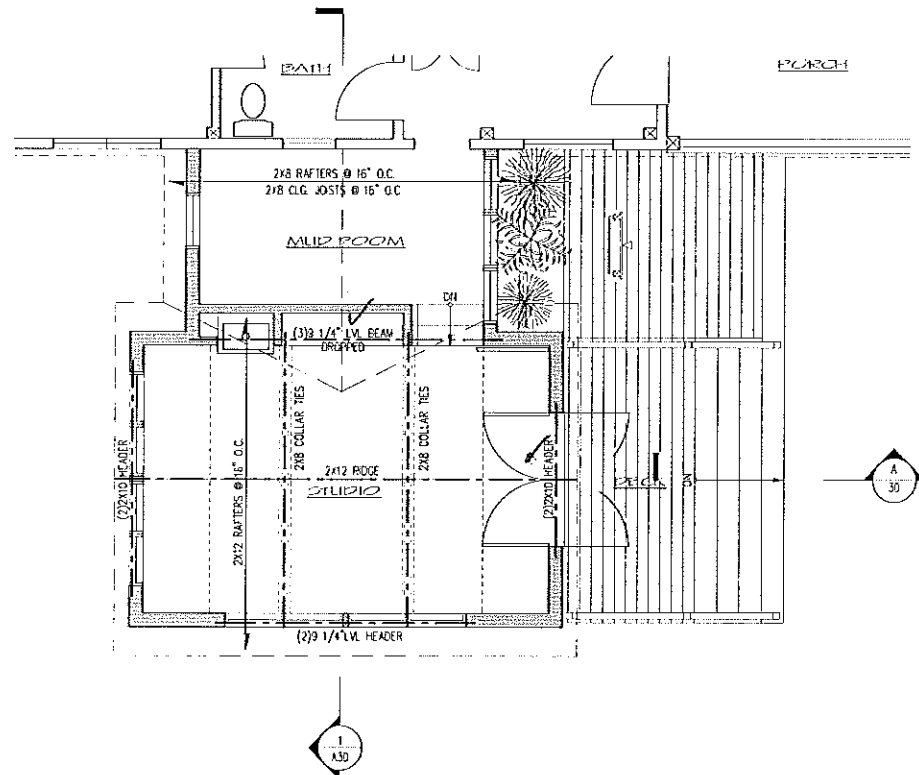
1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS

SOMMERS HOUSE  
alterations & additions  
16 MOON GARDEN WAY  
GREAT DIAMOND ISLAND, MAINE 04109

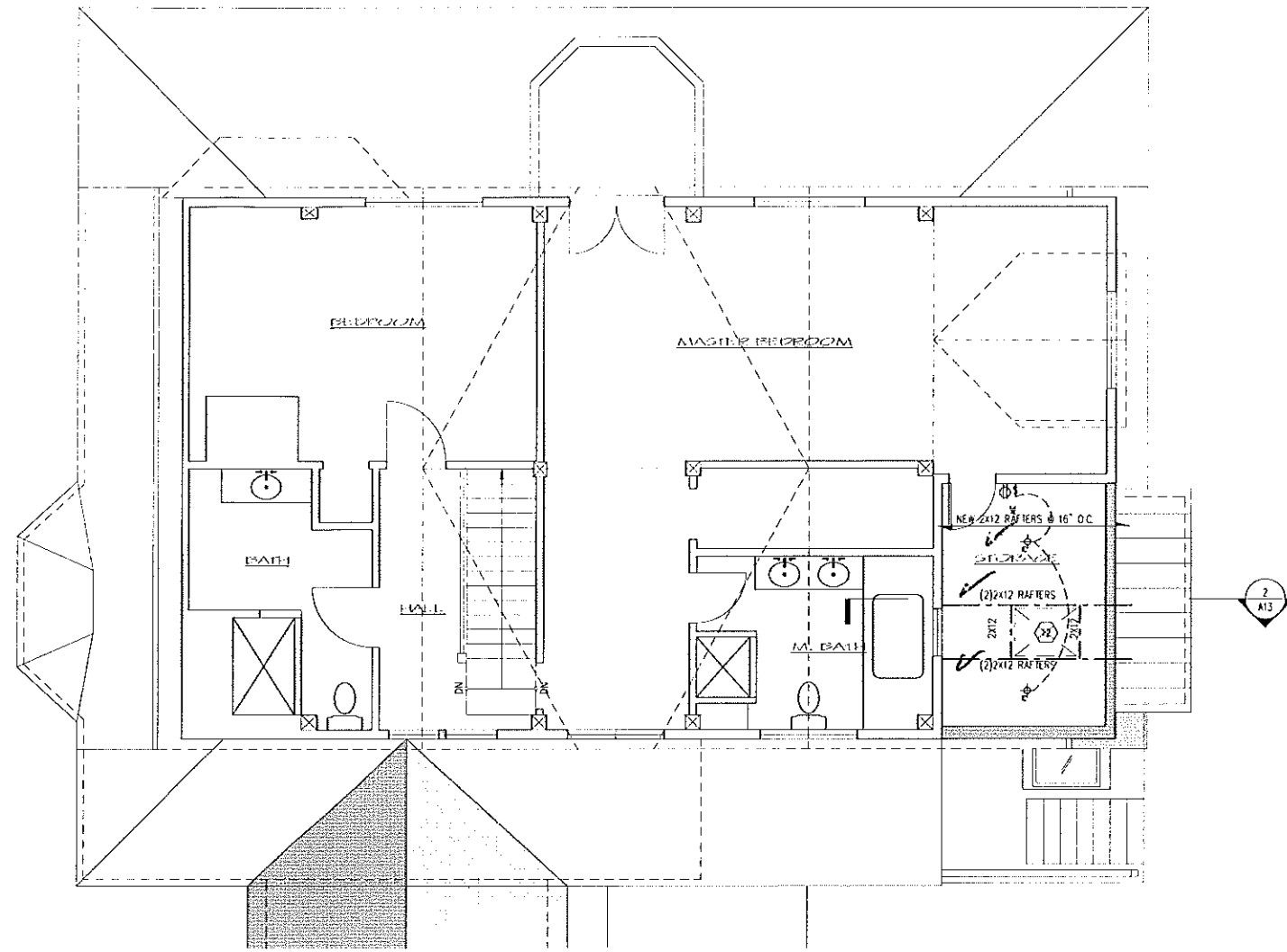




1 1st FL. FRAMING PLAN - SUN ROOM  
SCALE: 1/4" = 1'-0"



1 1st FL. FRAMING PLAN - STUDIO  
SCALE: 1/4" = 1'-0"



1 2nd FL. CONSTRUCTION, FRAMING AND ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

LIST OF DRAWINGS

- A00 - NOTES, LEGEND SITE PLAN
- A10 - FOUNDATION AND FRAMING PLAN
- A11 - 1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS, WIN. SCHEDULE
- A12 - 2ND FL. CONSTRUCTION & FRAMING PLAN, 1ST FL. FRAMING PLAN.
- A13 - ROOF PLAN, SECTION B - SUN ROOM

- A20 - ELEVATIONS
- A30 - SECTION A - STUDIO

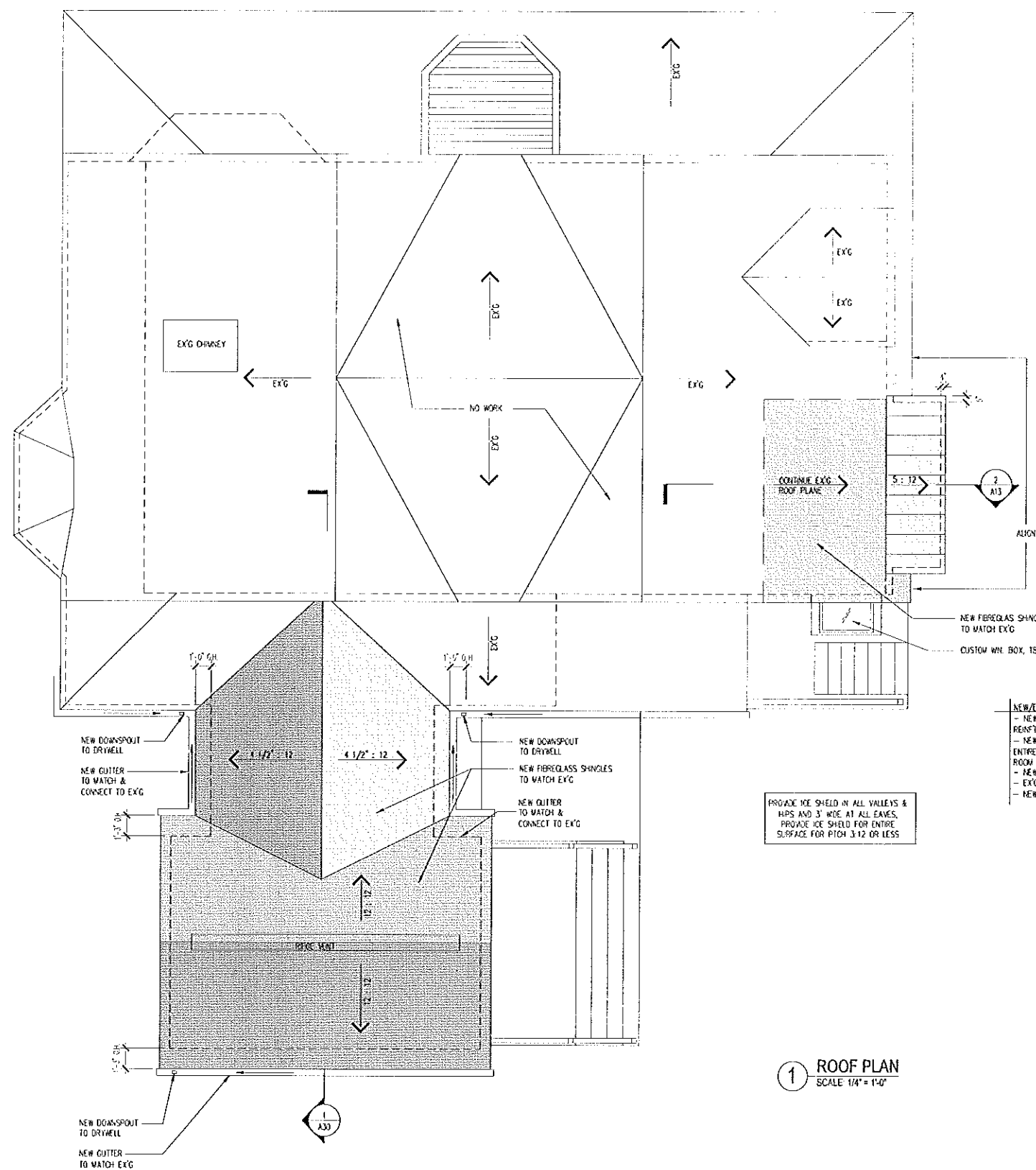
BLOCK: A  
SHEET 083E  
LOT: 27  
ZONING DISTRICT I-R1  
PROPERTY AREA: 52,713 SF.

05.02.12 BUILDING PERMIT  
Date Issued for

2ND FL. CONSTRUCTION & FRAMING PLANS

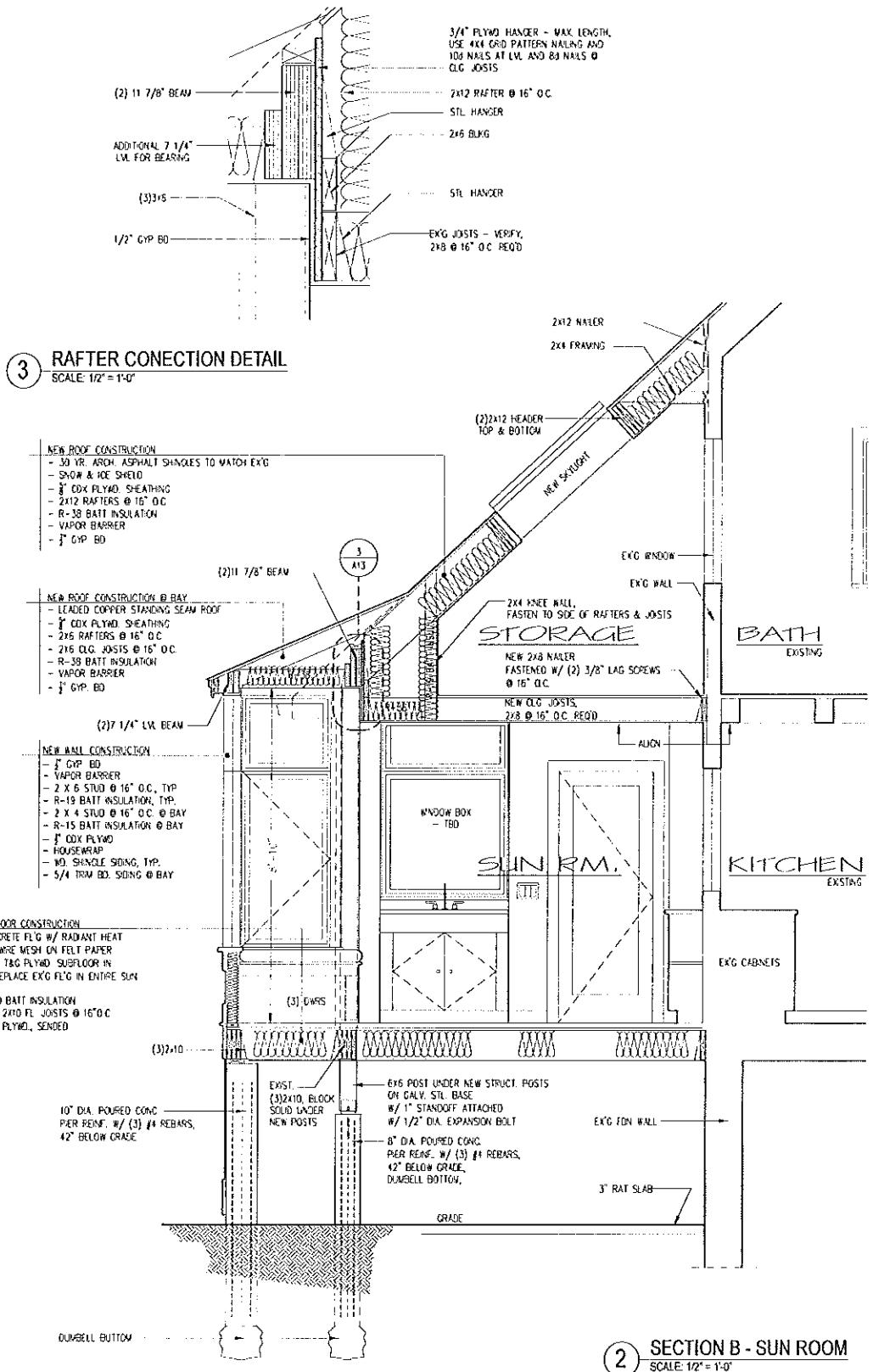
SOMMERS HOUSE  
alterations & additions

16 MOON GARDEN WAY  
GREAT DIAMOND ISLAND, MAINE 04109



1 ROOF PLAN  
SCALE 1/4" = 1'-0"

3 RAFTER CONNECTION DETAIL  
SCALE 1/2" = 1'-0"



2 SECTION B - SUN ROOM  
SCALE 1/2" = 1'-0"

- LIST OF DRAWINGS
- A00 - NOTES, LEGEND SITE PLAN
  - A10 - FOUNDATION AND FRAMING PLAN
  - A11 - 1ST FL. CONSTRUCTION PLAN, ELECTRICAL PLANS, WIN. SCHEDULE
  - A12 - 2ND FL. CONSTRUCTION & FRAMING PLAN, 1ST FL. FRAMING PLAN.
  - A13 - ROOF PLAN, SECTION B - SUN ROOM
  - A20 - ELEVATIONS
  - A30 - SECTION A - STUDIO

BLOCK: A  
SHEET 083E  
LOT: 27  
ZONING DISTRICT I-R1  
PROPERTY AREA: 52,713 SF.

05.02.12 BUILDING PERMIT  
Date Issued for

ROOF PLAN, SECTION B  
- SUN ROOM

SOMMERS HOUSE  
alterations & additions  
16 MOON GARDEN WAY  
GREAT DIAMOND ISLAND, MAINE 04109