



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 76 Seal Cove Ln, Grt Dia Island CBL 083E A021001

Issued to Bates John J & Jane P Bates Jts /Goduti Building Co. **Date of Issue** 07/14/2006

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 03-1479, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family
Use Group R3
Type 5B
IRC 2003

Limiting Conditions:

Temporary until 9/1/06 for completion site work, sheetrock under stairs, permanent electrical & plumbing fixtures, ventilation of furnace room.

This certificate supersedes
certificate issued

Approved:

7/14/06

(Date)

Jeanie Bouke
Inspector

Chris G. ... 7/14/06

Inspector of Buildings

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1479	Issued: PERMIT ISSUED: FEB 25 2004	083E A02 1001
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Location of Construction: 76 Seal Cove Ln, <i>GRAND ISL</i>	Owner Name: Bates John J & Jane P Bates Jts	Owner Address: 16 Oxhill Rd	Phone: 203-270-1040
Business Name:	Contractor Name: Goduti Building Co.	Contractor Address: 9 Deering Street Portland	Phone: 63768
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>IR-1</i>

Past Use: vacant land	Proposed Use: Single Family: Build 2200 sf., partial daylight basement w/ golf cart garage	Permit Fee: \$5,148.00	Cost of Work: \$553,000.00	CEO District: 1
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Proposed Project Description: Build 2200 sf., partial daylight basement w/ golf cart garage	FIRE DEPT: <i>N/A</i> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Signature:	<input type="checkbox"/> Denied	
Signature:	Date:	

Permit Taken By: kwd	Date Applied For: 12/01/2003 / <i>12/20/04 routed</i>	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews <i>with 250 over 89' shown to HWM</i></p> <p><input checked="" type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Panel 9 Zone C</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>#2003-0256</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MMA <input type="checkbox"/></p> <p><i>OK with conditions</i></p> <p>Date: <i>9/12/23/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>9</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

NATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/22/05 ON SITE w/ builder. FIRMS ARE IN PLACE. SETBACKS
ARE OK, ~~but~~ surveyor has placed foundation anyway. SURVEY
letter will be faxed w/ 48 hrs. OK to pour. Jm

7/6/05 OK to Back fill. A. Lowe

2/1/06 I + Appears Jon R did
close IA insp. - Note on enclosed schedule
of inspection computer print out. JMB

7/14/06 - Final CO w/ Heath
ALL on line except one bathroom sink,
Temporary light fixtures installed



e-mail Inspector(s)

Date	07/14/2006	Time	6:00 AM	Inspector	Jeannie Bourke	Total Outstanding	\$0.00	Electrical Inspector Required?	No
Appl. Type	Building Permit								
Type	Certificate of Occupancy/Final								
Appl ID	31479								
Parcel ID:	083E A021001	Address:	76	SEAL COVE LN	Diagrams	3			

Date	Inspector	Street	Parcel ID	APRNB	Permit	Notes
07/14/06	Jeannie Bourke	76 SEAL COVE LN	083E A02100	31479	Prmt	Certificate of Occupancy/Fin
6:00 AM			329-4653 Heath			
02/01/06	Jonathan Reed	76 SEAL COVE LN	083E A02100	31479	Prmt	Close-in/Elec./Plmb./Frami
6:00 AM			329-4653 Heath			
01/11/06	Jonathan Reed	76 SEAL COVE LN	083E A02100	20036016	ExtPI	Inspection
	Bates John J & Jane P Bates Jts					
07/06/05	Arthur Rowe	76 SEAL COVE LN	083E A02100	31479	Prmt	Foundation/Backfill
			Call Heath @ 329-4653			
06/29/05	Jonathan Reed	76 SEAL COVE LN	083E A02100	31479	Prmt	Foundation/Backfill
			Rebar insp Call Keith @ 329-4653			
06/22/05	Jonathan Reed	76 SEAL COVE LN	083E A02100	31479	Prmt	Footings/Setbacks
			Leach bed also needs to be insp, there is a subsurface permit pulled			

Created By	ldobson	Created On	07/06/2006	Modified By	ldobson	Modified On	07/06/2006
Create Time			9:00 am	Mod Time			9:00 am

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1479	Date Applied For: 12/01/2003	CBL: 083E A021001
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Location of Construction: 76 Seal Cove Ln, Grt Dia Island	Owner Name: Bates John J & Jane P Bates Jts	Owner Address: 16 Oxhill Rd	Phone: 203-270-1040
Business Name:	Contractor Name: Goduti Building Co.	Contractor Address: 9 Deering Street Portland	Phone: (207) 776-3768
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family: Build 2200 sf., partial daylight basement w/ golf cart garage	Proposed Project Description: Build 2200 sf., partial daylight basement w/ golf cart garage
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 12/23/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Separate permits shall be required for future decks, sheds, pools, and/or garages.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 02/24/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) There must be a 22" x 30" scuttle access.			
2) There must be a 2" clearance maintained between the chimney and any combustible material and it must be draft stopped at every level.			
3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.			
4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			
5) Separate permits are required for any electrical, plumbing, or heating.			

Dept: DRC	Status: Approved with Conditions	Reviewer: Jay Reynolds	Approval Date: 01/14/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).			
2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.			
3) Your new street address is now 76 SEAL COVE LANE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.			
4) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.			

Dept: Planning	Status: Not Applicable	Reviewer: Jay Reynolds	Approval Date: 01/14/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

Comments:
12/4/03-kwd: application submitted without fees; architect notified that application will not be reviewed until fees are determined and remitted. Kwd
12/4/03-kwd: subsurface application to MJN for review: permit #2003-6016.
1/19/05-tmm: left message for builder - need more info -

Location of Construction: 76 Seal Cove Ln, Grt Dia Island	Owner Name: Bates John J & Jane P Bates Jts	Owner Address: 16 Oxhill Rd	Phone: 203-270-1040
Business Name:	Contractor Name: Goduti Building Co.	Contractor Address: 9 Deering Street Portland	Phone: (207) 776-3768
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

2/2/05-tmm: spoke w/builder - he told me to fax copy to architect.

2/4/05-tmm: faxed copy to architect and left message to call.

2003-6016

PROPERTY LOCATION >> CAUTION: PERMIT REQUIRED - ATTACH IN SPACE BELOW <<

City, Town, or Plantation: PORTLAND
Street or Road: SEAL COVE LANE
Subdivision, Lot #: DIAMOND COVE - LOT 21

PORTLAND PERMIT # 9208 TOWN COPY
Date Permit Issued: 1/10/03
Local Plumbing Inspector Signature: [Signature]
L.P.I. # 0640

OWNER/APPLICANT INFORMATION

Name (last, first, MI): BATES, JOHN J.
Address of Owner/Applicant: 16 OX HILL ROAD, NEWTON, CT. 06470
Daytime Tel. #: 1-203-270-1040

Municipal Tax Map #: 83EA21 Lot #:
CAUTION: INSPECTION REQUIRED
I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.
(1st) date approved:
Local Plumbing Inspector Signature: [Signature] (2nd) date approved:

OWNER OR APPLICANT STATEMENT
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.
Signature of Owner or Applicant: [Signature] Date: 11-18-03

PERMIT INFORMATION

TYPE OF APPLICATION
1. First Time System
2. Replacement System
Type replaced:
Year installed:
3. Expanded System
a. Minor Expansion
b. Major Expansion
4. Experimental System
5. Seasonal Conversion

THIS APPLICATION REQUIRES
1. No Rule Variance
2. First Time System Variance
a. Local Plumbing Inspector Approval
b. State & Local Plumbing Inspector Approval
3. Replacement System Variance
a. Local Plumbing Inspector Approval
b. State & Local Plumbing Inspector Approval
4. Minimum Lot Size Variance
5. Seasonal Conversion Permit

DISPOSAL SYSTEM COMPONENTS
1. Complete Non-engineered System
2. Primitive System (graywater & aft. toilet)
3. Alternative Toilet, specify:
4. Non-engineered Disposal Area
5. Holding Tank, gallons
6. Non-engineered Disposal Field (only)
7. Separated Laundry System
8. Complete Engineered System (2000 gpd or more)
9. Engineered Treatment Tank (only)
10. Engineered Disposal Field (only)
11. Pre-treatment, specify:
12. Miscellaneous Components

SIZE OF PROPERTY
57,493 SQ. FT. / ACRES
SHORELAND ZONING
Yes No

DISPOSAL SYSTEM TO SERVE
1. Single Family Dwelling Unit, No. of Bedrooms: 3
2. Multiple Family Dwelling, No. of Units:
3. Other:
Current Use: Seasonal Year Round Undeveloped

TYPE OF WATER SUPPLY
1. Drilled Well 2. Dug Well 3. Private
4. Public 5. Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK
1. Concrete
a. Regular
b. Low Profile
2. Plastic
3. Other:
CAPACITY: 1000 GAL

DISPOSAL FIELD TYPE & SIZE
1. Stone Bed 2. Stone Trench
3. Proprietary Device
a. cluster array b. Linear
b. regular load d. H-20 load
4. Other: ELIEN JUDRANS
SIZE: 240 sq. ft. / ln. ft.

GARBAGE DISPOSAL UNIT
1. No 2. Yes 3. Maybe
If Yes or Maybe, specify one below:
a. multi-compartment tank
b. tanks in series
c. increase in tank capacity
d. Filter on Tank Outlet

DESIGN FLOW
270 gallons per day
BASED ON:
1. 1.5 gpd per 100 sq. ft. (dwelling unit(s))
2. 2.0 gpd per 100 sq. ft. (other facilities)
SHOW CALCULATIONS
for other facilities -
FEB 25 2005
CITY OF PORTLAND
3. Section 503.0 (meter readings) ATTACH WATER METER DATA

SOIL DATA & DESIGN CLASS
PROFILE CONDITION DESIGN
Z I A II C
Observation Hole # 1
Depth 36"
Most Limiting Soil Factor
BEDROCK

DISPOSAL FIELD SIZING
1. Small-2.0 sq. ft. / gpd
2. Medium-2.6 sq. ft. / gpd
3. Medium-Large 3.3 sq. ft. / gpd
4. Large-4.1 sq. ft. / gpd
5. Extra Large-5.0 sq. ft. / gpd

EFFLUENT/JECTOR PUMP
1. Not Required
2. May Be Required
3. Required
Specify only for engineered systems:
DOSE: gallons

SITE EVALUATOR STATEMENT

certify that on 4/03/02 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).
Signature: David A. Kamila SE #: 185 Date: 11/11/03

DAVID A. KAMILA
Site Evaluator Name Printed

PORTLAND, DIAMOND COVE

SEAL COVE LANE - LOT 21

JOHN J. BATES

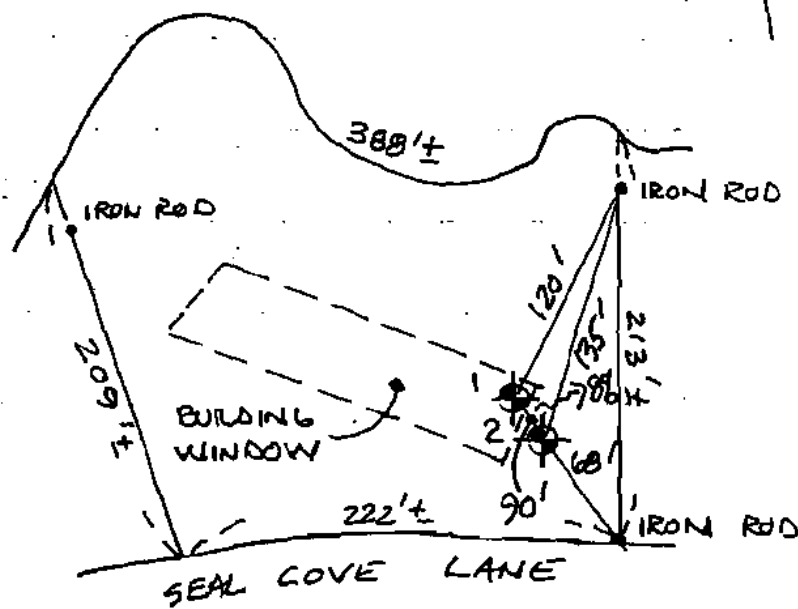
SITE PLAN

Scale: 1" = 100 ft.

SITE LOCATION MAP
[Attach map from Maine Atlas for First Time System Variance]



ATLANTIC OCEAN



SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # 1 ■ Test Pit □ Boring

Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
8 FINE	FRAGILE	MED.	NONE
12 SANDY	+	BROWN	EVIDENT
LOAM	LOOSE		
18 25%			
24 COARSE			
30			
36			
42			
48			

ASSUMED BEDROCK

Observation Hole # 2 ■ Test Pit □ Boring

Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
8 FINE	FRAGILE	MED.	NONE
12 SANDY	+	BROWN	EVIDENT
LOAM	LOOSE		
18 25%			
24 COARSE			
30			
36			
42			
48			

ASSUMED BEDROCK

Soil Profile 2 Classification A1/C Slope 8% Limiting Factor 3a

Soil Profile 2 Classification A1/C Slope 8% Limiting Factor 24

Site Evaluator Signature

185 SE #

11/11/03 Date

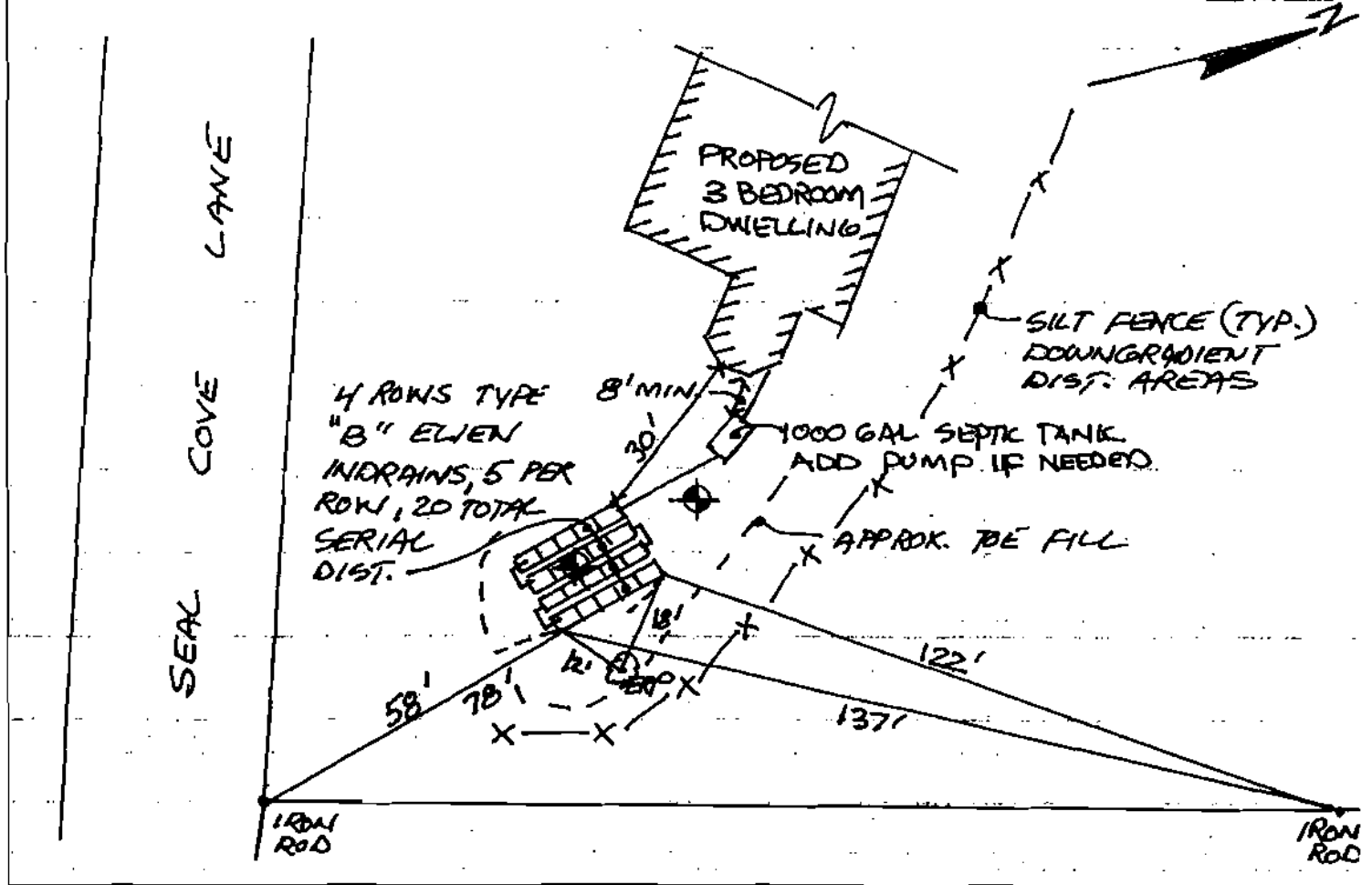
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
 Division of Health Engineering, Station 11
 (207) 287-5872 FAX (207) 287-4172

Town, City, Plantation: **PORTLAND, DIAM. COVE** Street, Road, Subdivision: **SEAL COVE LANE - LOT 21** Owner or Applicant Name: **JOHN J. BATES**

SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 30' ft



BACKFILL REQUIREMENTS

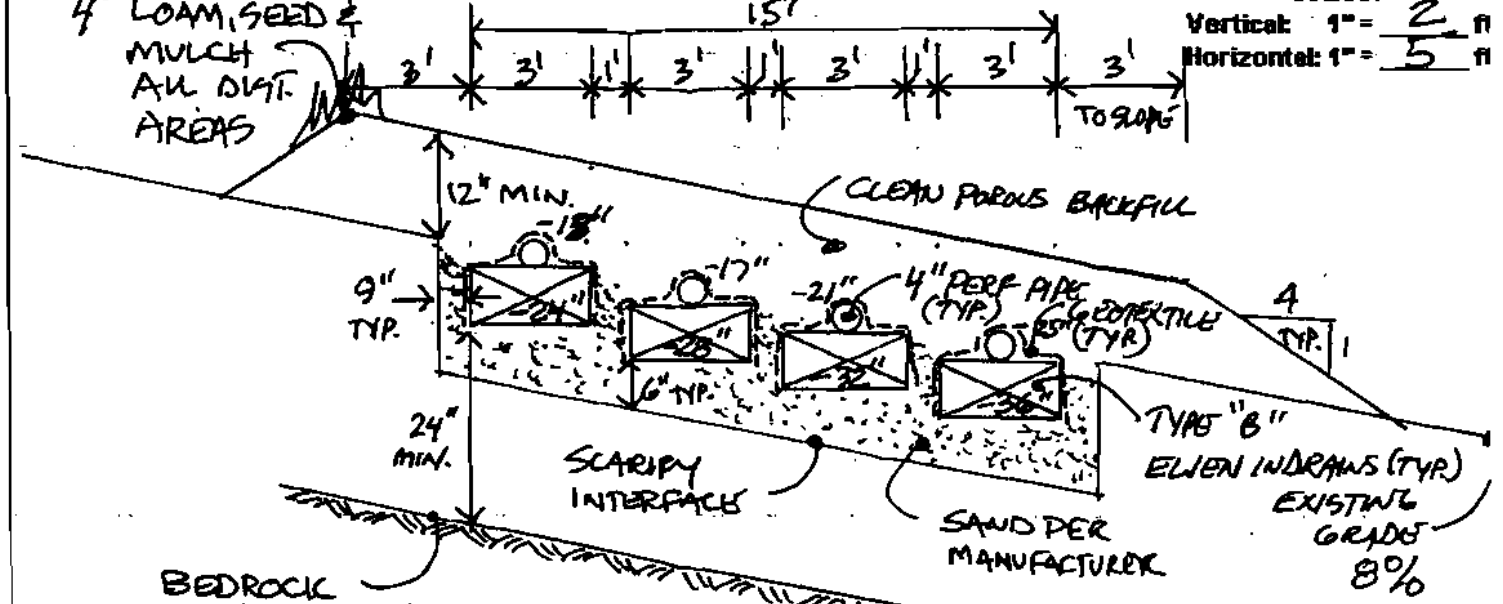
CONSTRUCTION ELEVATIONS

ELEVATION REFERENCE POINT

Depth of Backfill (upslope)	18'	Finished Grade Elevation	VAGES'	Location & Description:	NAIL IN 8" BEER
Depth of Backfill (downslope)	24'	Top of Distribution Pipe or Proprietary Device	VAGES'	Reference Elevation is:	SET 4' ABOVE GRADE
DEPTHS AT CROSS-SECTION (shown below)		Bottom of Disposal Field	VAGES'		0.0' or

DISPOSAL FIELD CROSS-SECTION

Scales:
 Vertical: 1" = 2' ft
 Horizontal: 1" = 5' ft



David A. Kiel

185

vln 103



Ocean View at Building Window



Cliff Landscape



Preservation Area



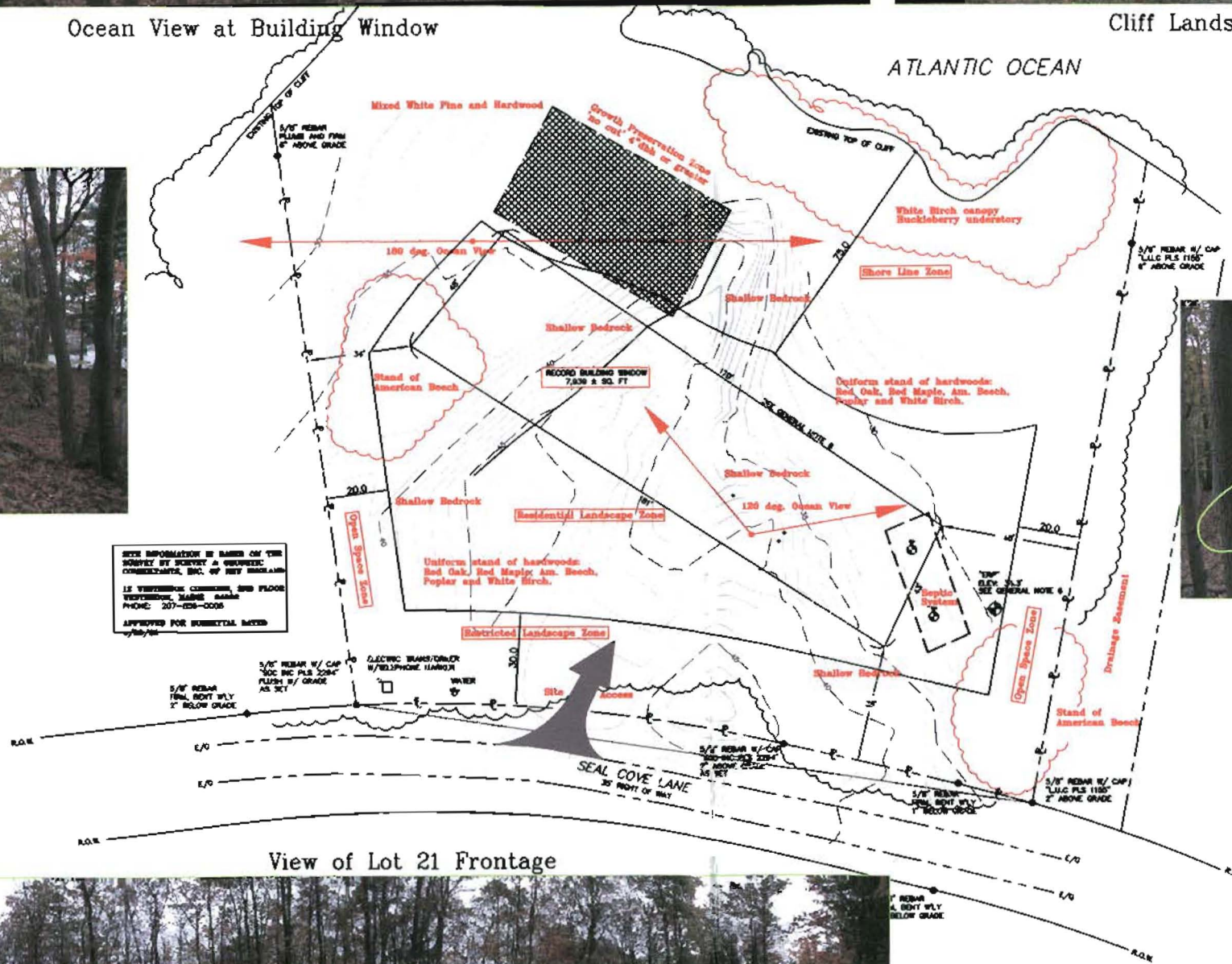
Septic Disposal Bed Area



Site Access

Lot 21 Res.

Lot 22 Res.



NOTE: INFORMATION IS BASED ON THE SURVEY BY SEBERT & QUINN CONSULTANTS, INC. OF BOSTON, MASS. IF VERRILLION CORRECTION, SEE PAGES 15-16. PHONE: 207-258-0008 APPROVED FOR SUBMITTAL MEET 11/10/03



F.A. Cushing, Inc.
Master Planning
Landscape Architecture
8 Cumberland Street
Brunswick, Maine 04011
Tel. (207) 798-7700 Fax. (207) 798-7708

REV. DATE	REVISIONS DESCRIPTION

Bates Residence
Lot 21 Sea Cove Lane
Diamond Cove, Great Diamond Island
Portland, Maine

DRAWING THIS SHEET	
Site Analysis	

NUMBER	DATE
1000X	11.08.03
DRAWN	CHECKED
FAC	FAC

RECEIVED
DEC - 9 2003
OFFICE OF BUILDING INSPECTION
CITY OF PORTLAND, ME

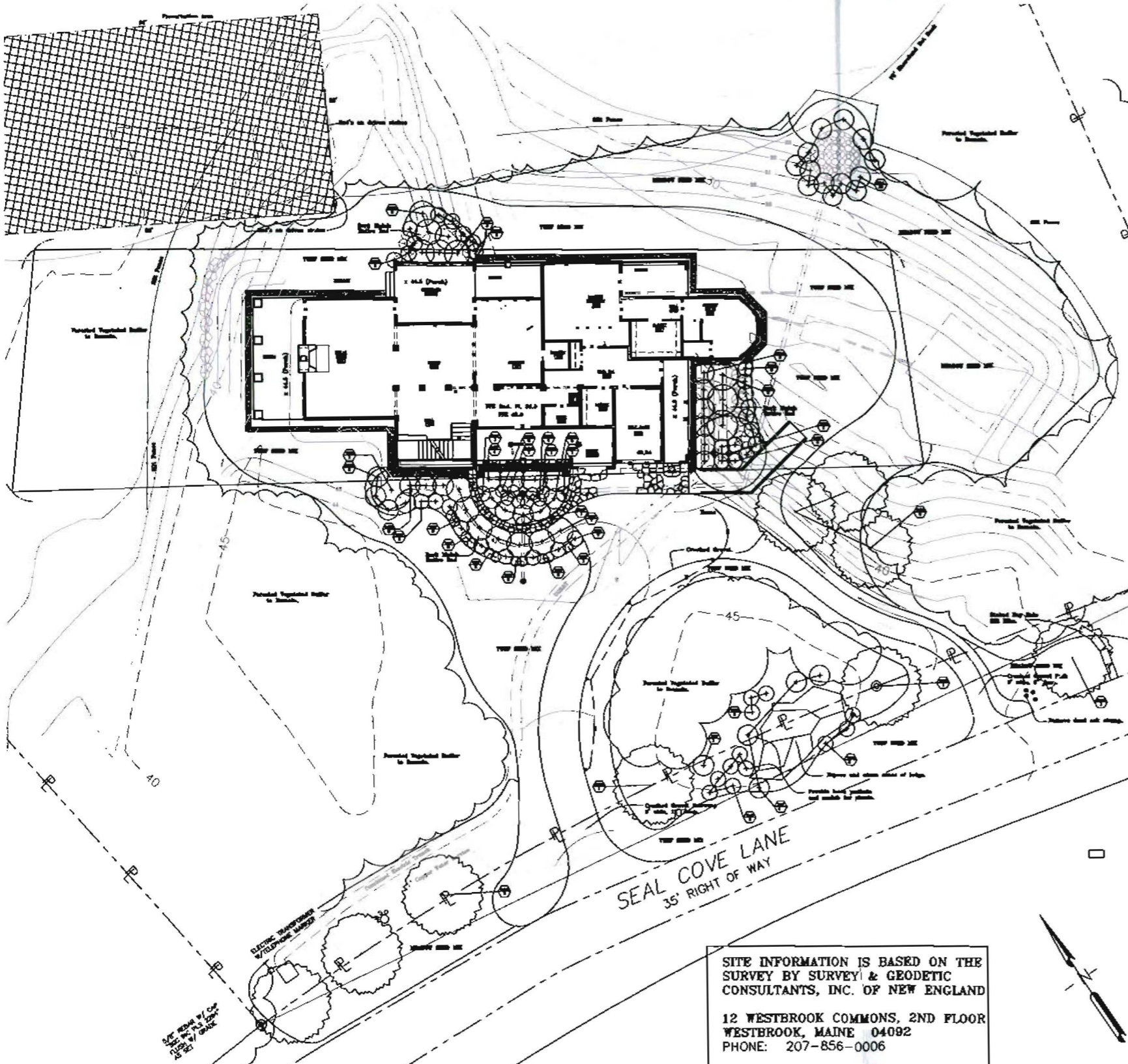
Date: Dec. 26, 2007
 Client Name: Jim and Linn Bates
 Address: 16 Dix Hill Road, Newry, VT

PLANT SCHEDULE

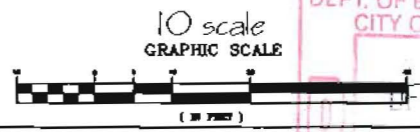
ID NO	BOTANICAL NAME	COMMON NAME	QTY	SIZE
Trees				
APP	<i>Asus palmatum 'Orange Leaf'</i>	Orange Leaf Jap. Maple	1	4-6"
PCD	<i>Picea canadica</i>	Canadian Spruce	9	6-8"
VFF	<i>Viburnum nitidum</i>	Indigo Viburnum	1	6-8"
Shrubs				
BWM	<i>Paiva's 'Green Mountain'</i>	Green Mountain Dogwood	5	14-5"
BFC	<i>Barberry thurberii abropurpurea 'Grimson Plum'</i>	Grimson Plum Barberry	2	12"
CAA	<i>Cornus alba 'Aureo-Variegata'</i>	Variiegated Dogwood	15	7-9"
GR	<i>Cotoneaster horizontalis 'Forsyolia'</i>	Rockspray Cotoneaster	5	12"
FTG	<i>Fernandus torulosa 'Greenland'</i>	Greenland Funtaria	7	14-5"
BP	<i>Hudsonia aronifolia pedunculata</i>	Climbing Hydrangea	5	14-5"
BP	<i>Ilia imbricaria 'Blue Princess'</i>	Blue Princess Holly (Female)	2	5/4"
ICT	<i>Juniperus chinensis 'Sungro's Glauca'</i>	Blue Juniper Juniper	5	14-5"
KLAM	<i>Kalmia latifolia 'Minuet'</i>	Minuet Mountain Laurel	6	14-5"
QER	<i>Rhododendron 'English Roseum'</i>	English Roseum Rhododendron	5	5-5-5"
QA	<i>Rosa 'Fairy'</i>	Fairy Rose	1	12"
QTE	<i>Rhododendron 'Chionoides'</i>	Chionoides Rhododendron	5	2 1/2' 3"
QHM	<i>Rhododendron 'Mantelium'</i>	Mantel Leaf Rhododendron	4	2 1/2' 3"
RLW	<i>Rhododendron lactinerveum</i>	Wilson Rhododendron	5	18-48"
RYN	<i>Yucca cespitosa 'Nivalis'</i>	Dark Spreading Japanese Yew	7	1 1/2' 2"
VAN	<i>Vaccinium angustifolium 'North Star'</i>	North Star Lowbush Blueberry	12	1"
Perennials				
MBW	<i>Monarda didyma 'Blue Spreading'</i>	Blue Bee Balm	4	1 Gallon
RCG	<i>Rudbeckia laciniata 'Redquill'</i>	Cutleaf Coneflower	5	1 Gallon
VVF	<i>Veronica speciosa 'Blue Fox'</i>	Spike Speedwell	21	1 Gallon

PLANTING NOTES

1. Composted bark mulch shall be spread on all shrub beds and tree pits 3" deep.
2. Plant material shall conform in all ways to the minimum standards set forth in The American Standards for Nursery Stock, published by the American Association of Nurserymen, 230 Southern Building, Washington, D.C. The following sections shall apply: Section 1, Section 2, Section 3, Section 5, and Section 11.
3. Plant material shall be fertilized with a slow release packet fertilizer and applied as specified by the manufacturer's specifications.
4. Any substitute for plant material species or size must be consulted with and approved by the Landscape Architect. The plant schedule shall have precedence over any conflicts with plant quantities on the plan. Notify the Landscape Architect of any conflict.
5. All grading and construction must be complete before planting can be installed.
6. All areas disturbed by construction and those areas indicated as lawn shall be loam spread to a depth of 4" and shall be seeded.
7. In all plant beds shown the parent sand shall be replaced with 12" of friable loam. The site worked contractor shall perform this work. No planting shall commence until the loam is in place. Tree pits shall be excavated 2 feet in diameter larger than the tree balls and be back filled with the same loam.
8. Seeding shall be performed in accordance with M.D.O.T. specifications section 618.09 method one or method two. Lime: 3 tons/acre. Fertilizer: 10-10-10, 30 lbs./1,000 sq. ft. Seeding shall be performed April 15th-June 15th or August 15th-October 1st.
9. Lawn mix shall be Allen, Sterling & Lathrop Estate Green: 35% Dignity Chewings Fescue, 20% Affinity Perennial Ryegrass, 15% Famous Kentucky Bluegrass Park Mix shall be: 35% Kentucky Bluegrass, 30% Creeping Red Fescue, 20% Koker Chewings Fescue, 15% Annual Ryegrass. Seeding rate shall be 3-lbs./1000 sq. ft. Meadow Mix shall be: 10% Creeping Red Fescue, 20% Oxford Fescue, 20% Warwick Fescue, 20% Bluegrass, 15% Dignity Chewings Fescue, 5% Orchardgrass, 5% Red Clover, 5% White Clover, Black Eyed Susan 1 lb./100 lb, Oxeye Daisy 1 lb./100 lb. Seeding rate shall be 3-lbs./1000 sq. ft.
10. All areas to be seeded shall be mulched. Mulch shall be long fiber hay or straw and spread at a rate of two ton/acre.
11. The Landscape Architect shall approve plant spacing prior to planting.



SITE INFORMATION IS BASED ON THE SURVEY BY SURVEY & GEODETIC CONSULTANTS, INC. OF NEW ENGLAND
 12 WESTBROOK COMMONS, 2ND FLOOR
 WESTBROOK, MAINE 04092
 PHONE: 207-856-0006
 APPROVED FOR SUBMITTAL DATED 4/23/08



F.A. Cushing, Inc.
 Master Planning
 Landscape Architecture
 6 Cumberland Street
 Brunswick, Maine 04011
 Tel: (207)738-1718 Fax: (207)738-1718

NO.	DATE	REVISIONS / DESCRIPTION

Bates Residence
 Lot 21 Seal Cove Lane
 Diamond Cove, Great Diamond Island
 Portland, Maine

DRAWINGS THIS SHEET
Landscape Plan

NUMBER	DATE
XXXX	11.08.03
DRAWN	CHECKED
FAC	FAC

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
L-3

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 ALL RIGHTS RESERVED

Residence For Jane and Jack Bates

Seal Cove Rd.
Great Diamond Island, Maine

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 20 2004
RECEIVED

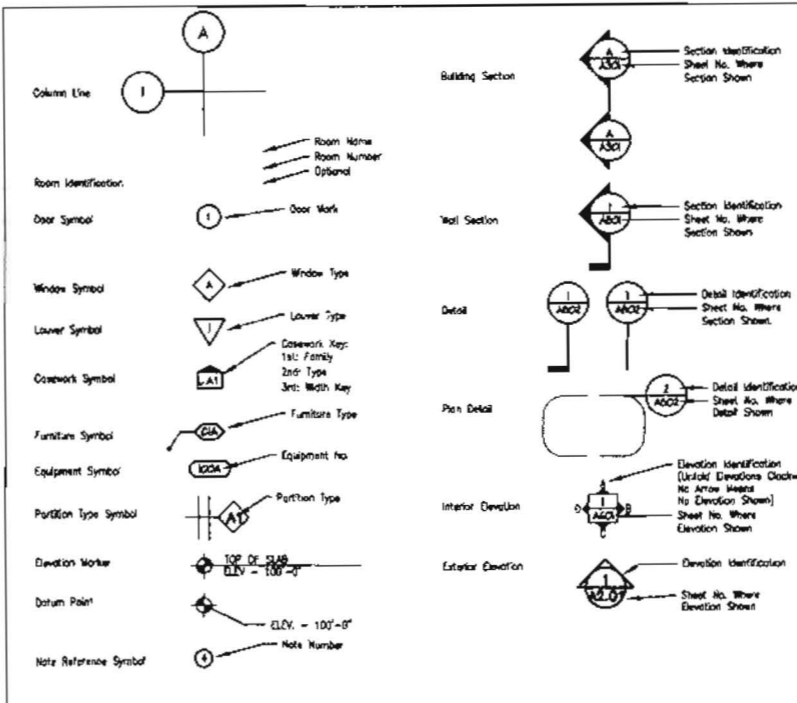
DRAWING LIST

- T-1 COVER SHEET
- A-0 BASEMENT PLAN
- A-1 FIRST FLOOR PLAN
- A-2 ~~2ND FLOOR PLAN~~ *2nd Floor?*
- A-3 ELEVATIONS
- A-4 ELEVATIONS
- A-5 BUILDING SECTIONS
- A-6.1 BUILDING SECTIONS
- A-6.2 BUILDING SECTION/ WALL SECTION
- A-7 SCHEDULES
- A-8 DETAILS
- A-9 DETAILS
- A-10.1 INTERIOR ELEVATIONS
- A-10.2 INTERIOR ELEVATIONS
- K-1 KITCHEN PLAN
- S-0 FOUNDATION PLAN
- S-1 FIRST FLOOR FRAMING PLAN
- S-2 ~~SECOND FLOOR FRAMING PLAN~~
- S-3 ROOF FRAMING PLAN
- S-4 FOUNDATION DETAILS
- S-5 LATERAL FORCES
- S-5 STRUCTURAL NOTES
- L-1 SCHEMATIC LANDSCAPE PLAN
- L-2 -
- E-1 ELECTRICAL NOTES
- E-2 ELECTRICAL PLAN

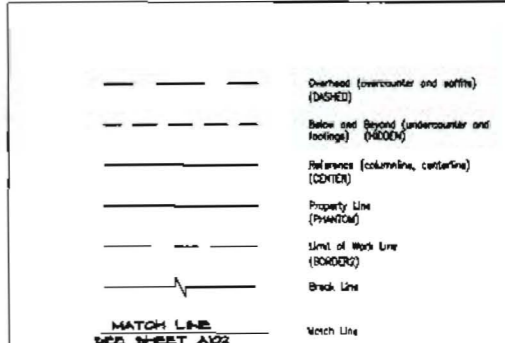
MATERIAL SYMBOLS

	Acoustical Tile or Panel		Insulation, Rigid
	Aluminum		Mortar, Grout (Call at smaller scales)
	Brick		Plywood (Call at smaller scales)
	Generic Tile (Call at smaller scales)		Concrete Cast-in-Place
	Eternit		Sawdust
	Fishing		Steel
	Glass (Call at smaller scales)		Wood Finish
	Gypsum Board		Wood Framing Continuous
	Insulation, Batt or Blanket		Wood Framing Interrupted Member
			Waterproofing

GRAPHIC SYMBOLS



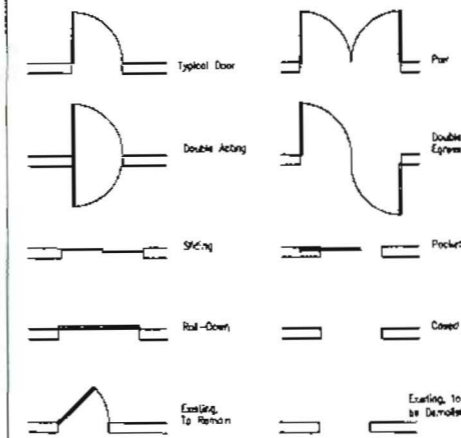
LINE DESIGNATIONS



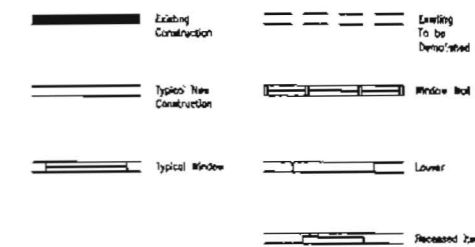
MISCELLANEOUS SYMBOLS



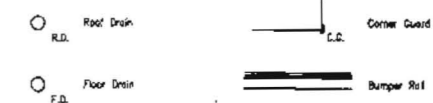
DOOR SYMBOLS



WALL SYMBOLIZATION



MISCELLANEOUS



NO.	DATE	DESCRIPTION

BATES RESIDENCE
GREAT DIAMOND ISLAND, ME 04044

TITLE SHEET

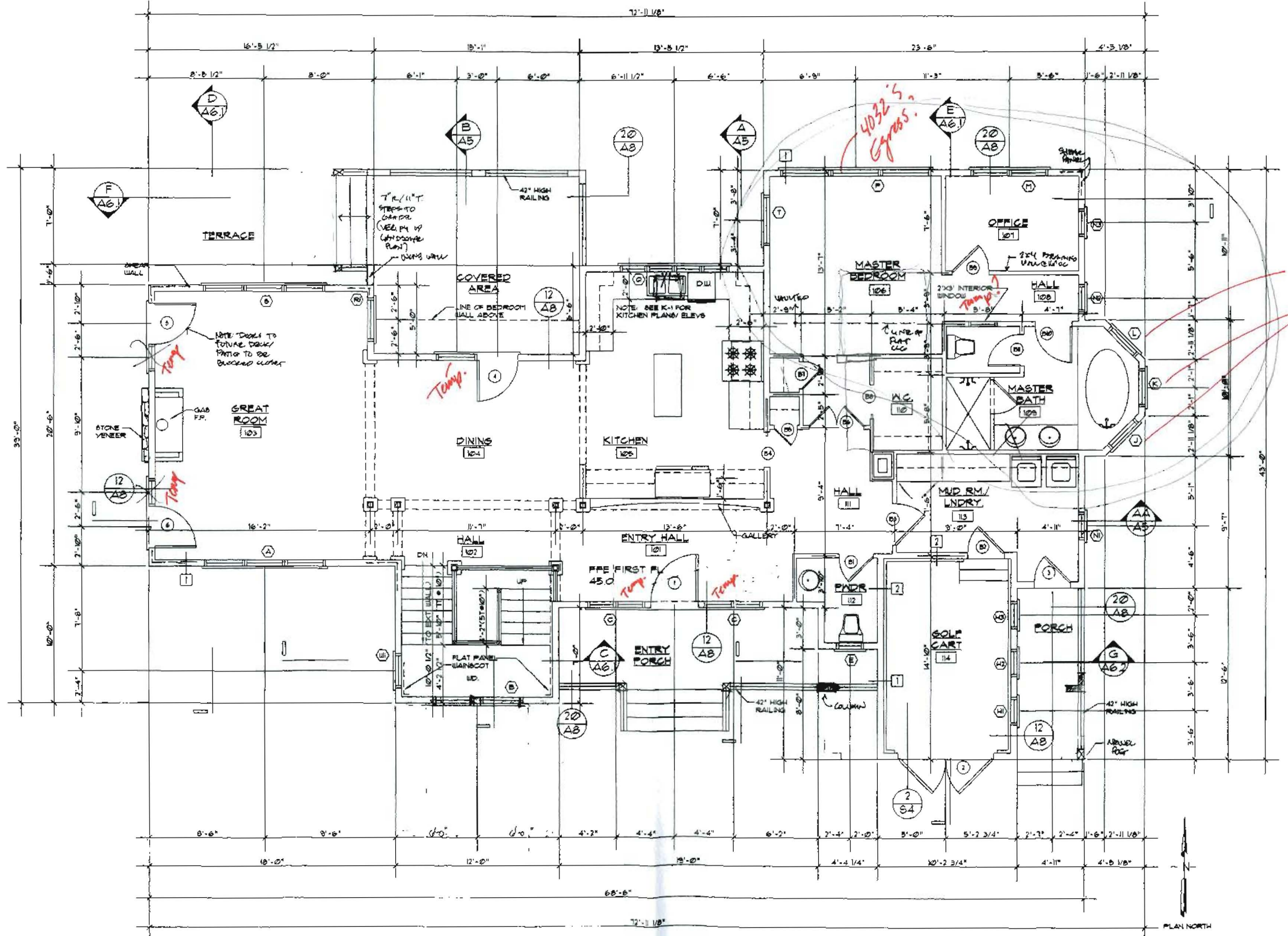
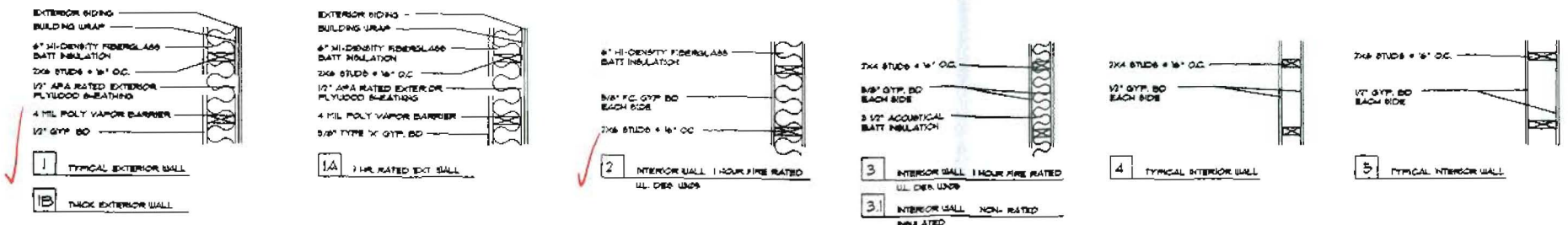
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NUMBER	00202
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CHECKED BY	WP

T-1

REISSUED 10/11/04
8/15/04

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WALL TYPES



162 Fogg Road, Scarborough, ME 04074
 Charles Reed, P.E.
 Phone: (207) 885-9137 or (207) 885-5500

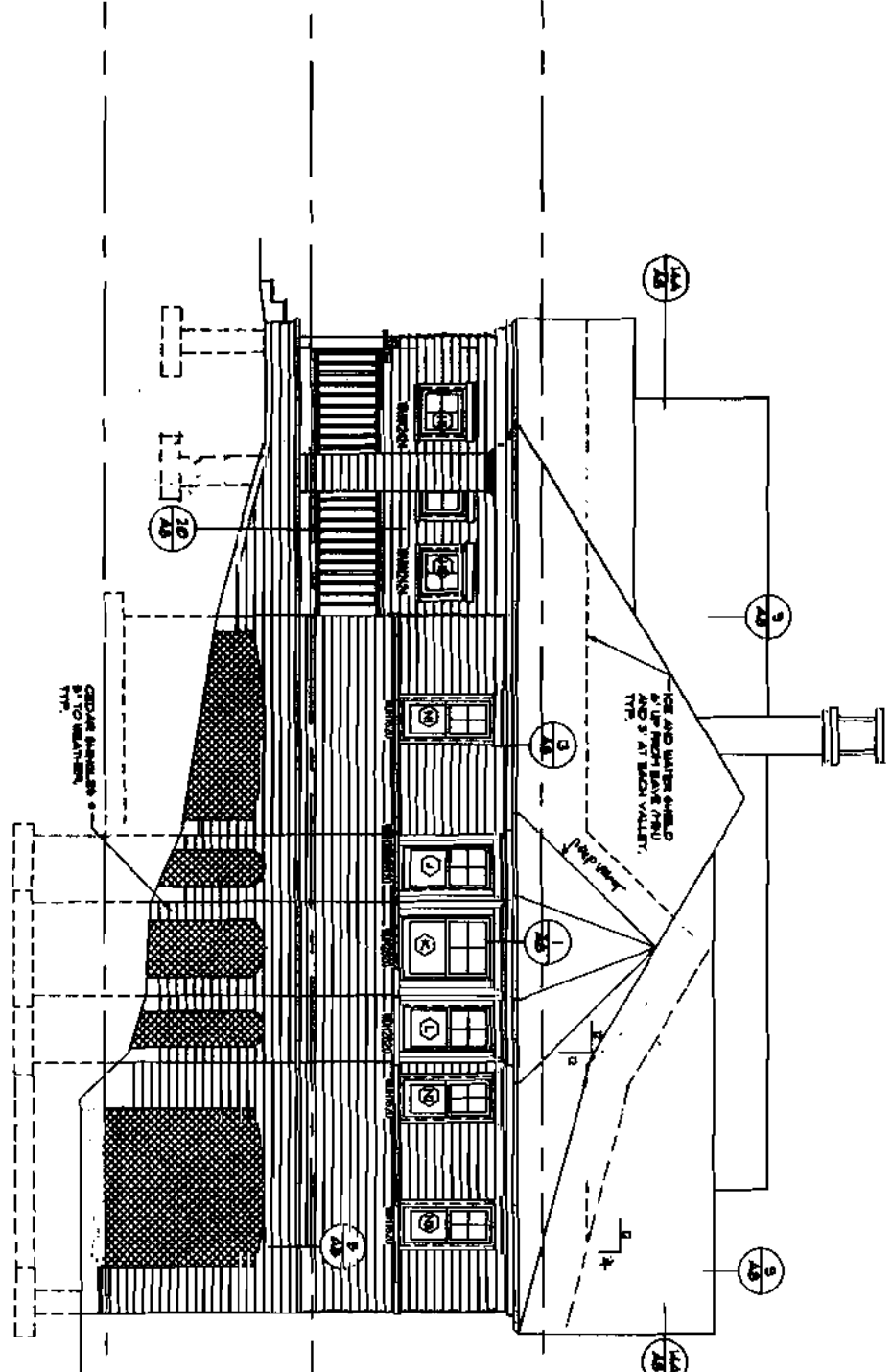
NO.	DATE	REVISIONS	DESCRIPTION

BATES RESIDENCE
 GREAT DIAMOND ISLAND, MAINE
 10/27/2004

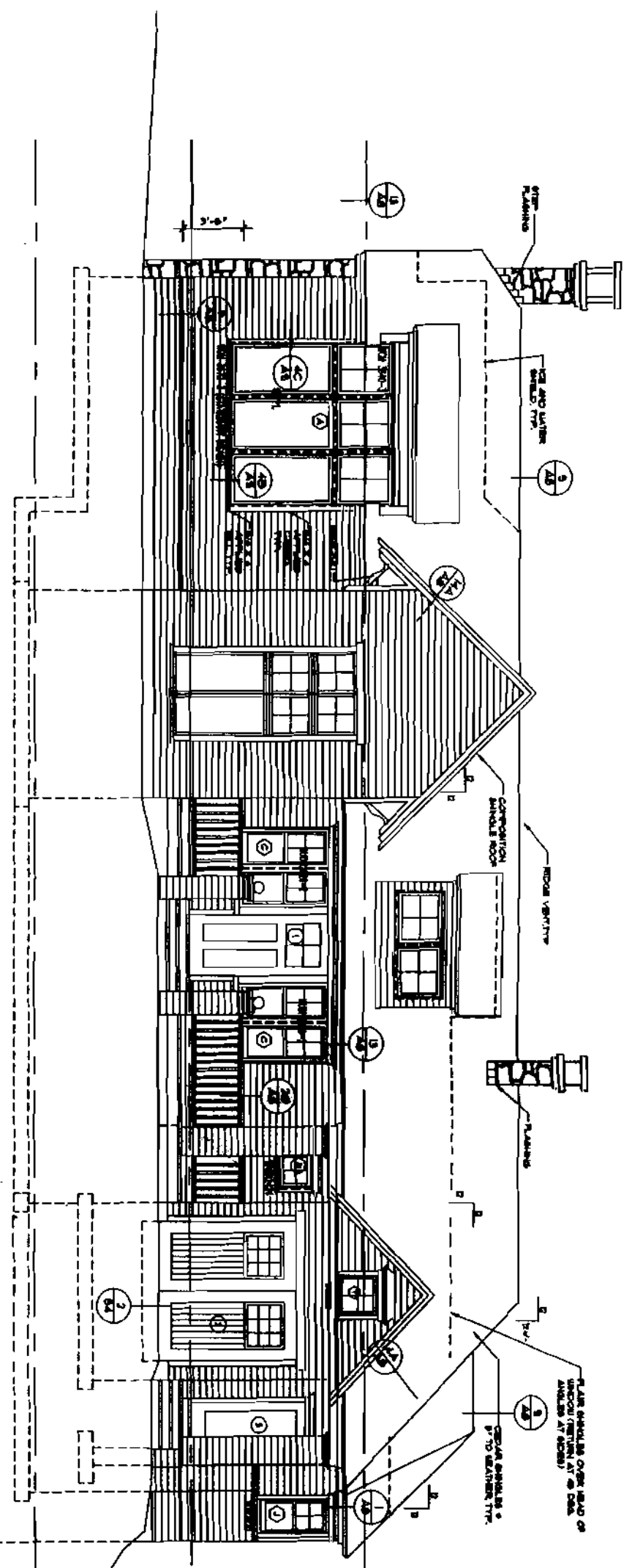
DRAWINGS THIS SHEET

DATE	10-11-04
NUMBER	000 203
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CHECKED BY	WP

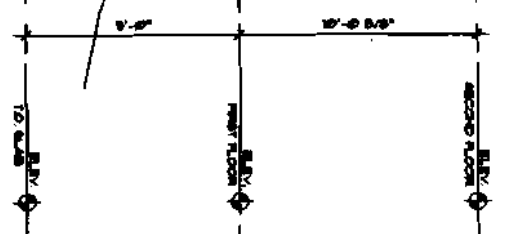
A-1



2 RIGHT EXTERIOR ELEVATION
1/4" = 1'-0"



1 FRONT EXTERIOR ELEVATION
1/4" = 1'-0"



10/14/04
6/11/04

A-3

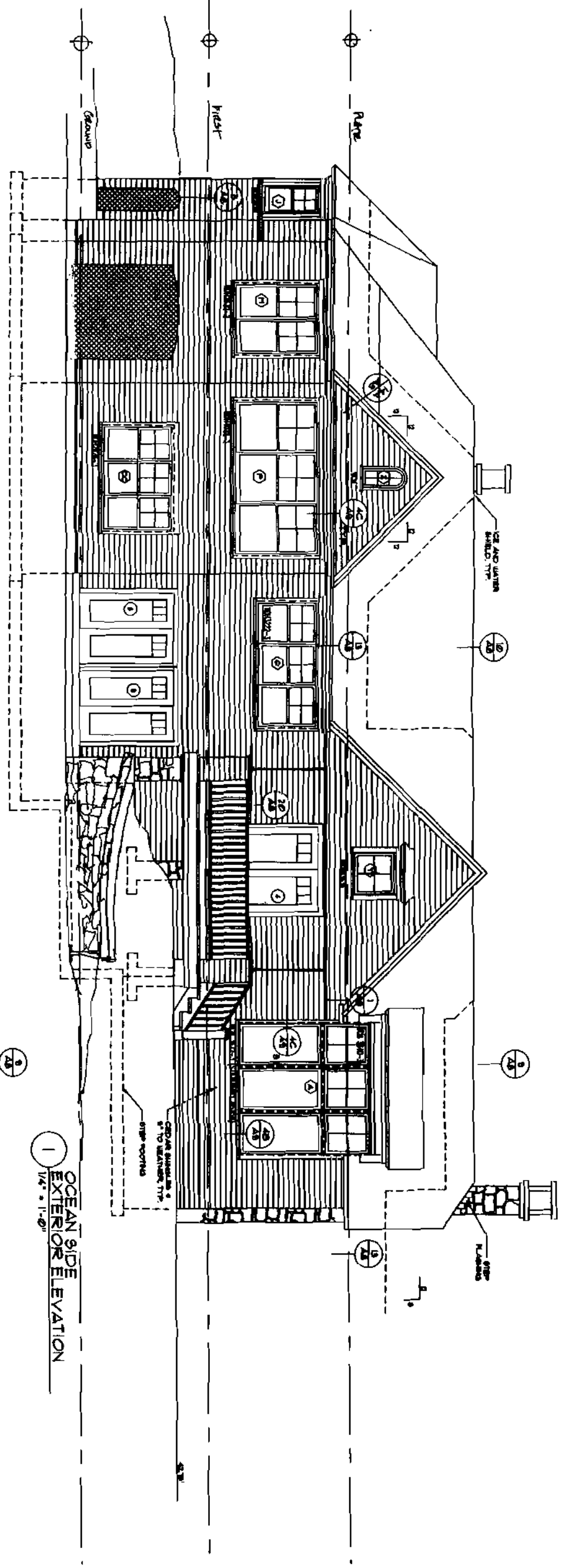
DATE	10-11-04
NUMBER	1000000
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CHECKED BY	SP

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ELEVATIONS	

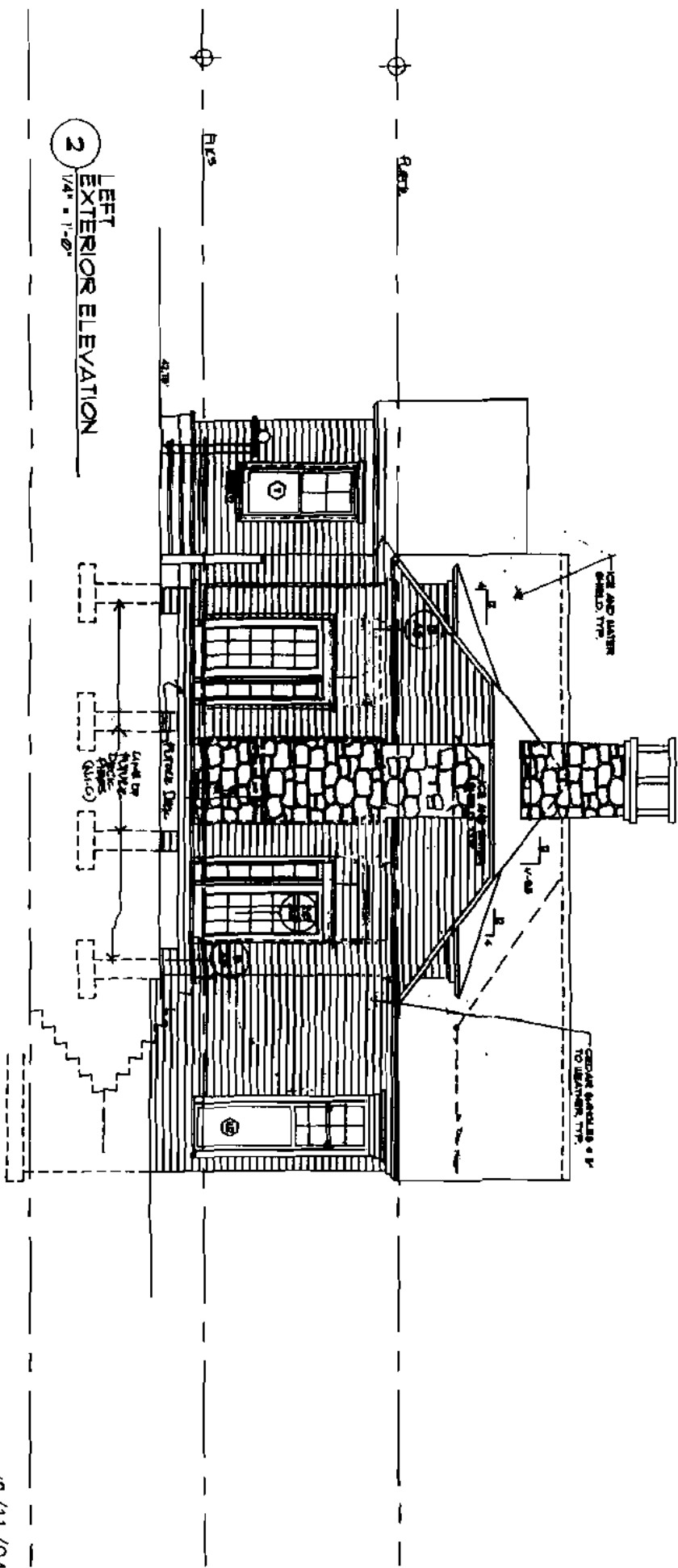
BATES RESIDENCE
GREAT DIAMOND ISLAND, MAINE

REVISIONS	
NO.	DATE DESCRIPTION

23 Egg Road Scarborough, ME 04074
 23 Egg Road Scarborough, ME 04074
 Phone (207) 885-4127 Fax (207) 885-5338



1 OCEAN SIDE EXTERIOR ELEVATION
1/4" = 1'-0"



2 LEFT EXTERIOR ELEVATION
1/4" = 1'-0"

10/11/04

DATE	REVISION
10-11-04	10/11/04
10/11/04	10/11/04
10/11/04	10/11/04

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ELEVATIONS	

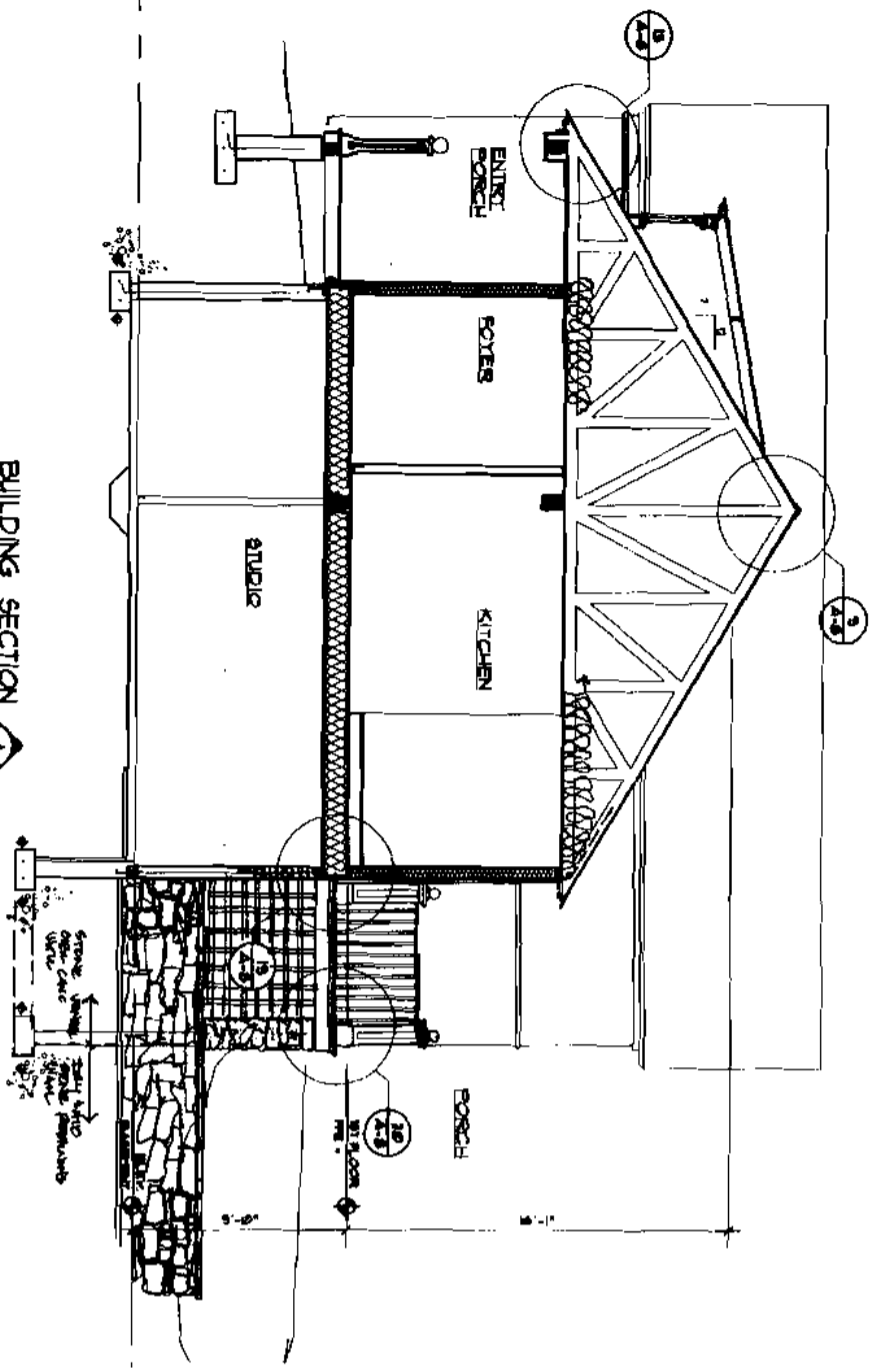
BATES RESIDENCE
GREAT DIAMOND ISLAND, MAINE

REVISIONS	
NO.	DESCRIPTION

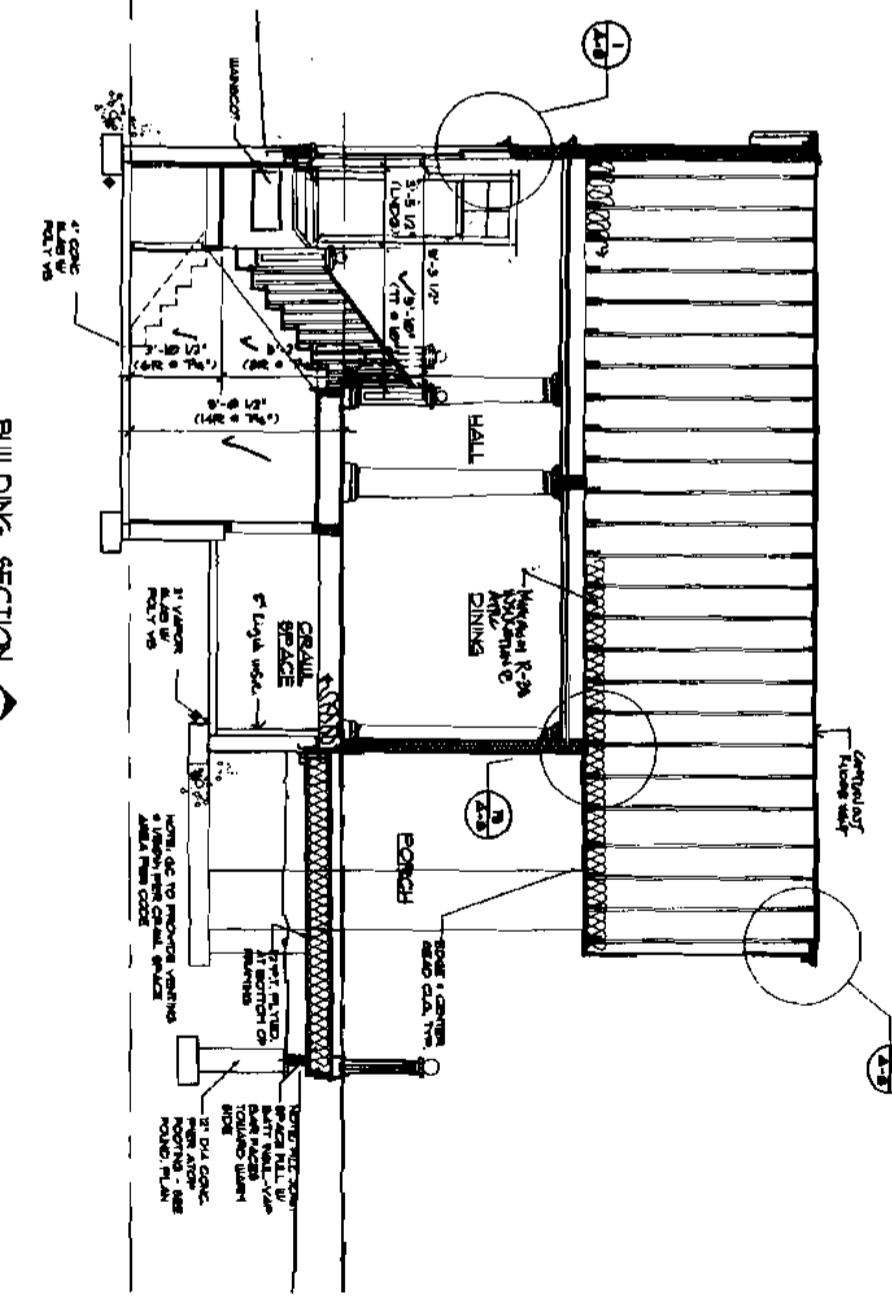
102 Fogg Road, Scarborough, ME 04074
 Telephone: (207) 886-6127 or (207) 886-6133

10/27/2004

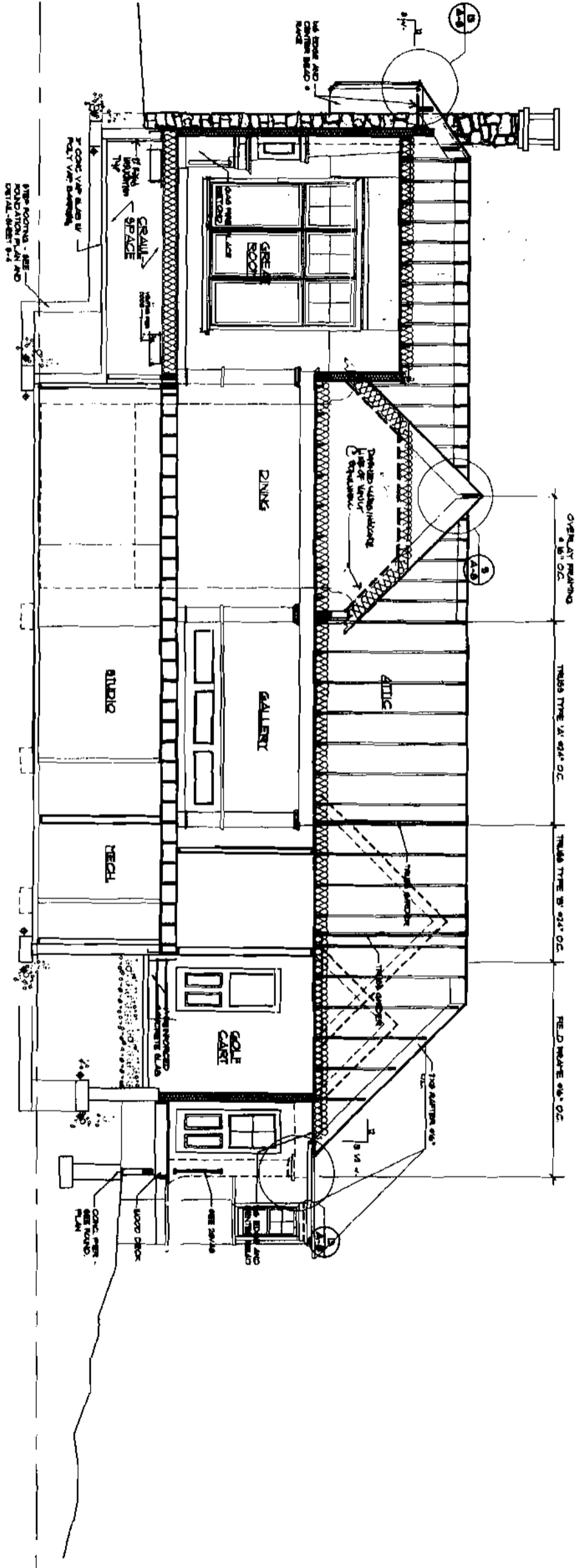
A-4



BUILDING SECTION A
SCALE 1/8" = 1'-0"



BUILDING SECTION B
SCALE 1/8" = 1'-0"



BUILDING SECTION C
SCALE 1/8" = 1'-0"

10-11-04

DATE	NUMBER	BY	CHECKED BY
10-11-04	001	BBJ	BBJ

DRAWINGS THIS SHEET

BUILDING SECTIONS

BATES RESIDENCE

GREAT DIAMOND ISLAND, MAINE

10/27/2004

REVISIONS	
NO.	DESCRIPTION

160 Park Street, Scarborough, ME 04074

Charles Wood Architects

Phone (207) 885-8137 or (207) 885-8533

A-5

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F.A. Cushing, Inc.
 Master Planning
 Landscape Architecture
 8 Cumberland Street
 Brunswick, Maine 04011
 Tel: (603) 738-7700 Fax: (603) 738-7700

NO.	DATE	DESCRIPTION

Bates Residence
 Lot 21 Sea Cove Lane
 Diamond Cove, Great Diamond Island
 Portland, Maine

LANDSCAPE PLAN
 DRAWINGS THIS SHEET

NUMBER	DATE	BY	CHECKED	FAC
00000				

L-3
 COPYRIGHT © 1988 BY F.A. CUSHING, INC.

Date: Dec. 26, 2000
 Client Name: John and Jane Bates
 Address: 16 O. Hill Road, Newton, CT

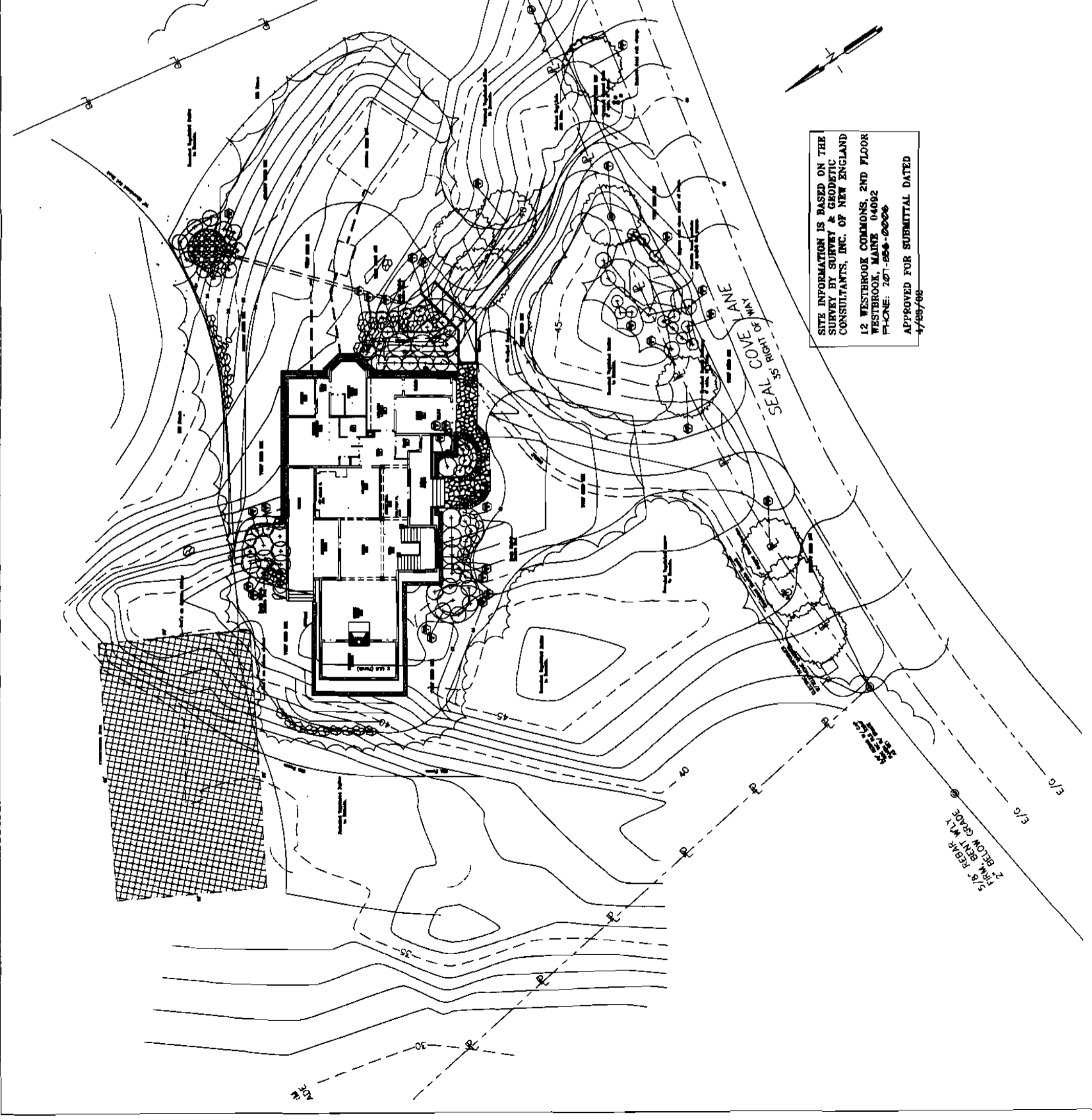
ID NO.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
APR	Acer palmatum	Parasol Maple	1	4'-5'
PCO	Platanus occidentalis	Sycamore	9	5'-6'
VSS	Viburnum acerifolium	Sweet Viburnum	1	5'-6'

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
PIC	Prunella chinensis	Chinese Plum	2	#2
CAA	Cornus alba	White Dogwood	15	#2
C-F	Cornus florida	Flowering Dogwood	5	#2
PIA	Prunella americana	Black Cherry	14	#5
BP	Berberis thunbergii	Japanese Barberry	5	3/4"
JCT	Juniperus chinensis	Chinese Juniper	5	#5
KLM	Kalmia latifolia	Wax Myrtle	6	#5
RFB	Rhododendron 'English Roseum'	English Roseum Rhododendron	5	5'-5'
RFA	Rosa 'Fairy'	Fairy Rose	7	#2
RHC	Rhododendron 'Crownada'	Crownada Rhododendron	3	2 1/2' x 3'
RHM	Rhododendron 'Majestatum'	Majestatum Rhododendron	4	2 1/2' x 3'
RLW	Rhododendron 'Lutescens'	Lutescens Rhododendron	5	5'-6"
TEN	Taxus canadensis	Canadian Hemlock	5	5'-2'
VAN	Vaccinium angustifolium	North Blueberry	12	#1

PERENNIALS	QTY.	SIZE
VSP	Veronica speciosa	11

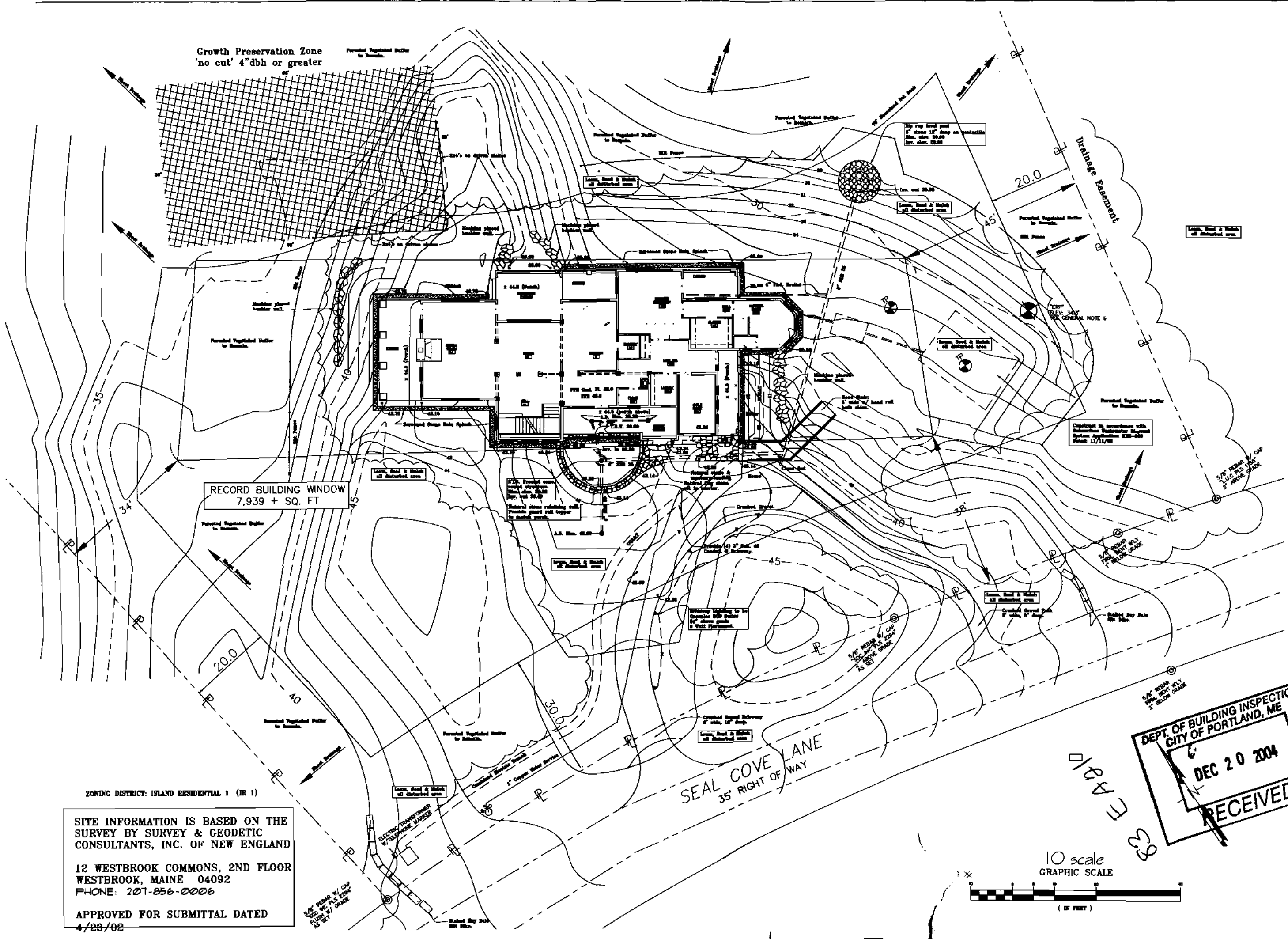
PLANTING NOTES

1. Composted bark mulch shall be spread on all shrub beds and tree pits 3" deep.
2. Plant material shall conform in all ways to the minimum standards set forth in The American Standards for Nursery Stock, published by the American Association of Nurserymen, 230 Southern Building, Washington, D.C. The following sections shall apply: Section 1, Section 2, Section 3, Section 5, and Section 11.
3. Plant material shall be fertilized with a slow release packet fertilizer and applied as specified by the manufacturer's specifications.
4. Any substitute for plant material species or size must be consulted with and approved by the Landscape Architect. The plant schedule shall have precedence over any conflicts with plant quantities on the plan. Notify the Landscape Architect of any conflict.
5. All grading and construction must be complete before planting can be installed.
6. All areas disturbed by construction and those areas indicated as lawn shall be loam spread to a depth of 4" and shall be seeded.
7. In all plant beds shown the parent sand shall be replaced with 12" of friable loam. The site worked contractor shall perform this work. No planting shall commence until the loam is in place. Tree pits shall be excavated 2 feet in diameter larger than the tree balls and be back filled with the same loam.
8. Seeding shall be performed in accordance with M.D.O.T. specifications section 618.09 method one or method two. Lime: 3 tons/acre. Fertilizer: 10-10-10, 30 lbs./1,000 sq. ft. Seeding shall be performed April 15th-June 15th or August 15th-October 1st.
9. Lawn mix shall be: 35% Dignity Chewings Fescue, 15% Kentucky Bluegrass, 15% Famous Kentucky Bluegrass, 20% Park Mix shall be: 35% Kentucky Bluegrass, 30% Creeping Red Fescue, 20% Koker Chewings Fescue, 15% Annual Ryegrass. Seeding rate shall be 3-lbs./1000 sq. ft. Meadow Mix shall be: 10% Creeping Red Fescue, 20% Oxford Fescue, 20% Warwick Fescue, 20% Bluegrass, 15% Dignity Chewings Fescue, 5% Orchardgrass, 5% Red Clover, 5% White Clover, Black Eye Susans 1 lb./100 lb. Oxeye Daisy 1 lb./100 lb. Seeding rate shall be 3-lbs./1000 sq. ft.
10. All areas to be seeded shall be mulched. Mulch shall be long fiber hay or straw and spread at a rate of two tons/acre.
11. The Landscape Architect shall approve plant spacing prior to planting.



Growth Preservation Zone
no cut' 4" dbh or greater

Perennial Vegetated Buffer
to Boundary



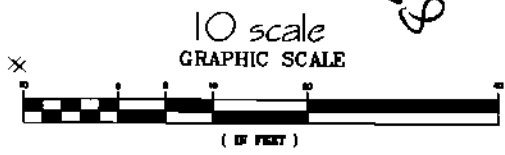
RECORD BUILDING WINDOW
7,939 ± SQ. FT

ZONING DISTRICT: ISLAND RESIDENTIAL 1 (IR 1)

SITE INFORMATION IS BASED ON THE
SURVEY BY SURVEY & GEODETIC
CONSULTANTS, INC. OF NEW ENGLAND
12 WESTBROOK COMMONS, 2ND FLOOR
WESTBROOK, MAINE 04092
PHONE: 207-856-0006
APPROVED FOR SUBMITTAL DATED
4/23/02

SEAL COVE LANE
35' RIGHT OF WAY

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 20 2004
RECEIVED



F.A. Cushing, Inc.
Master Planning
Landscape Architecture
8 Cumberland Street
Brunswick, Maine 04011
Tel: (207) 785-7768 Fax: (207) 785-7768

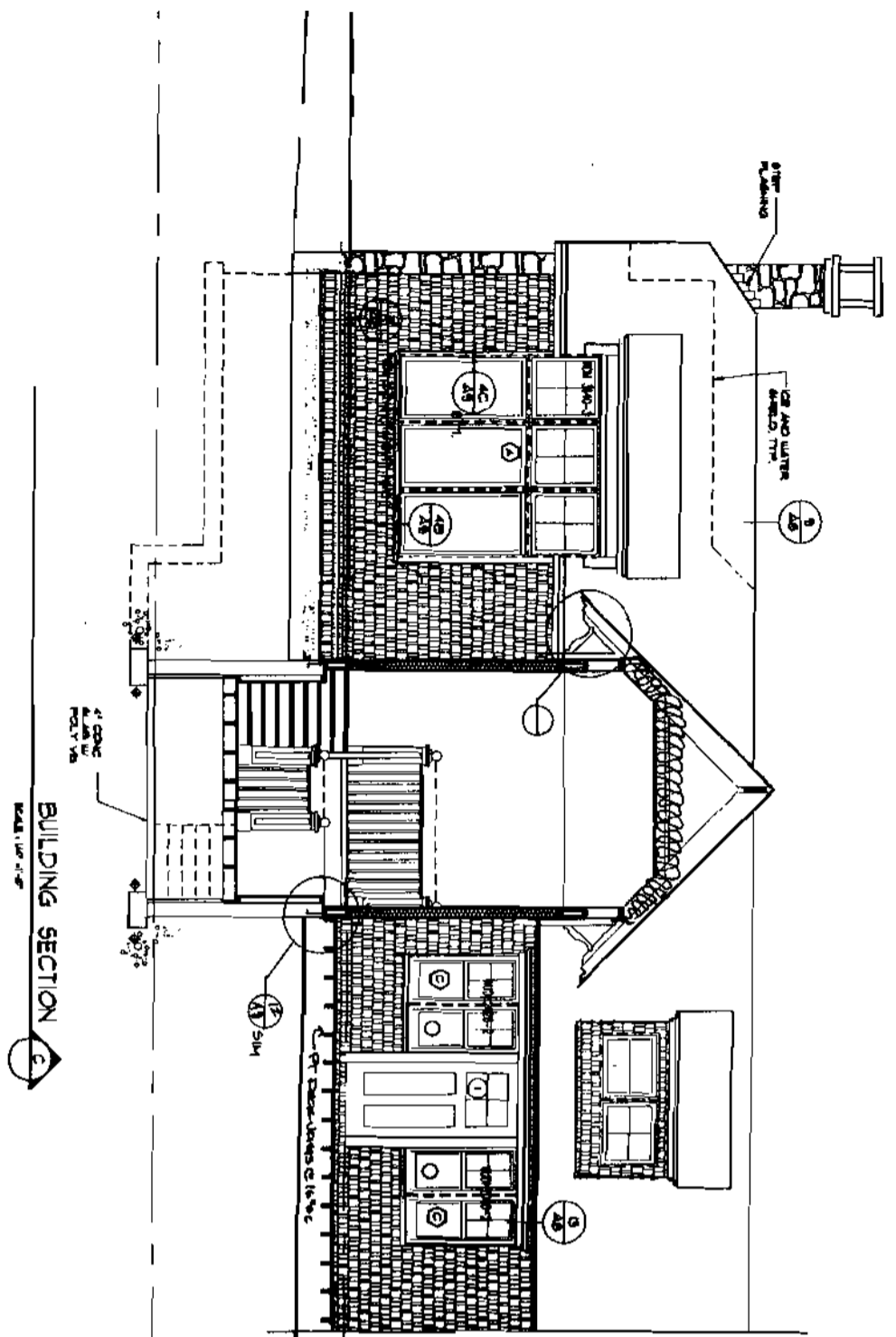
NO.	DATE	REVISIONS	DESCRIPTION

Bates Residence
Lot 21 Sea Cove Lane
Diamond Cove, Great Diamond Island
Portland, Maine

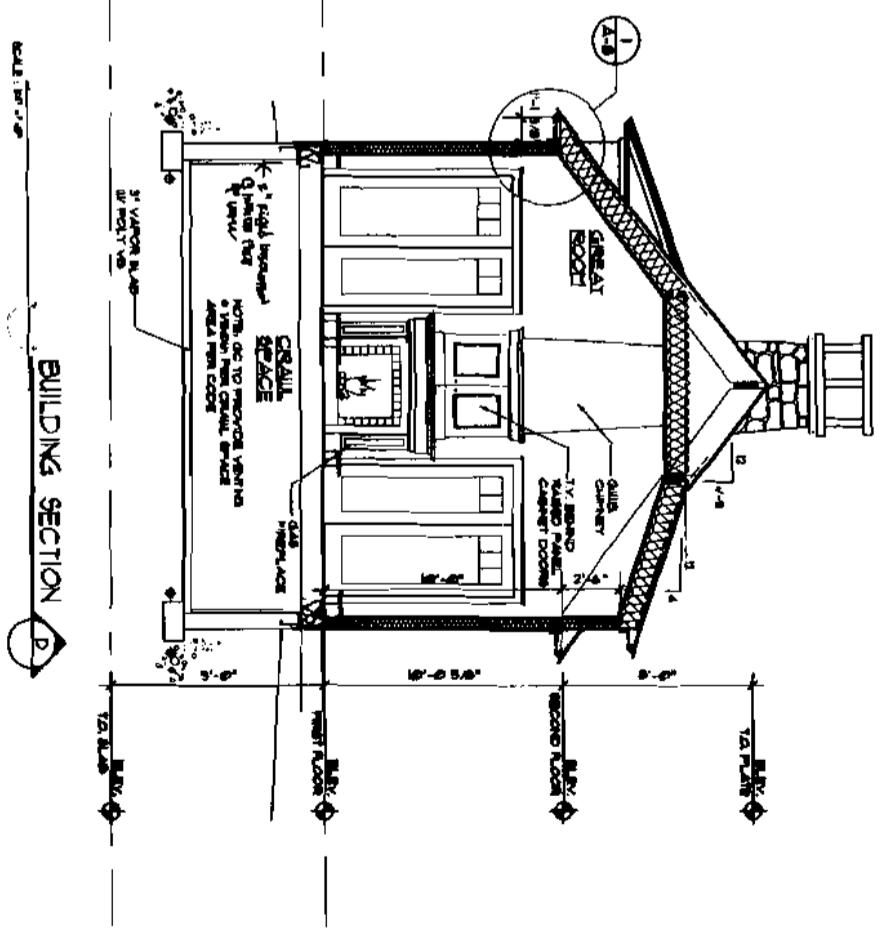
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Site Plan

NUMBER	DATE
0000X	11/08/03
DRAWN	CHECKED
FAC	FAC

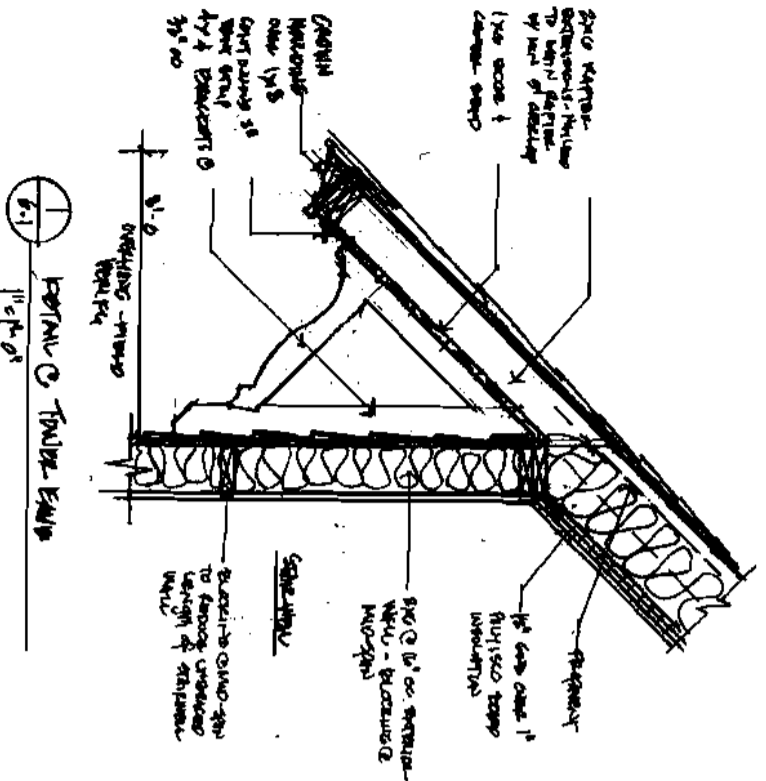
L-2
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BUILDING SECTION C



BUILDING SECTION D



BATTEN & TRUSS JOINT

10-11-04

A-6.1

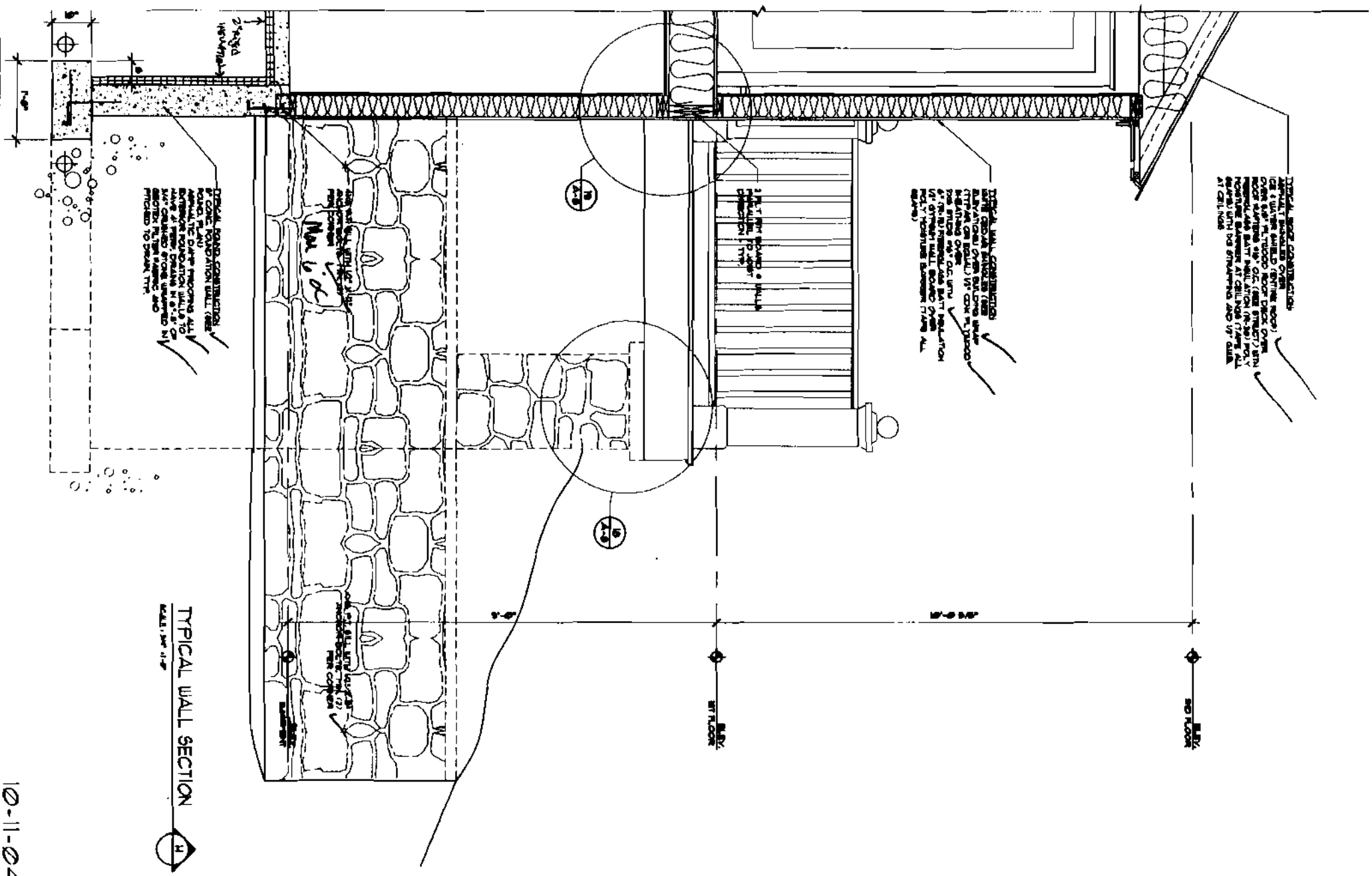
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BUILDING SECTIONS	

BATES RESIDENCE
GREAT DIAMOND ISLAND, MAINE

REVISIONS	
NO.	DESCRIPTION

100 Fogg Road Scarborough, ME 04074
 Greater Maine Architects
 Phone (207) 885-9137 or (207) 885-9132

10/27/2004



TYPICAL WALL SECTION
SCALE: 1/4" = 1'-0"

10-11-04

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TYP. WALL SECTION BUILDING SECTIONS	

BATES RESIDENCE

GREAT DIAMOND ISLAND, MAINE
10/27/2004

REVISIONS		
NO.	DATE	DESCRIPTION

300 Fogg Street, Scarborough, ME 04074
 Christopher Miller, Architect
 Phone: (207) 885-0137 or (207) 885-5532

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 Christopher Miller
 Architects

A-6.2

DATE	10-11-04
DRAWN BY	CM/CLS
CHECKED BY	CM

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 Christopher Miller & Associates
 300 FOGG STREET, SCARBOROUGH, ME 04074
 PHONE: (207) 885-0137

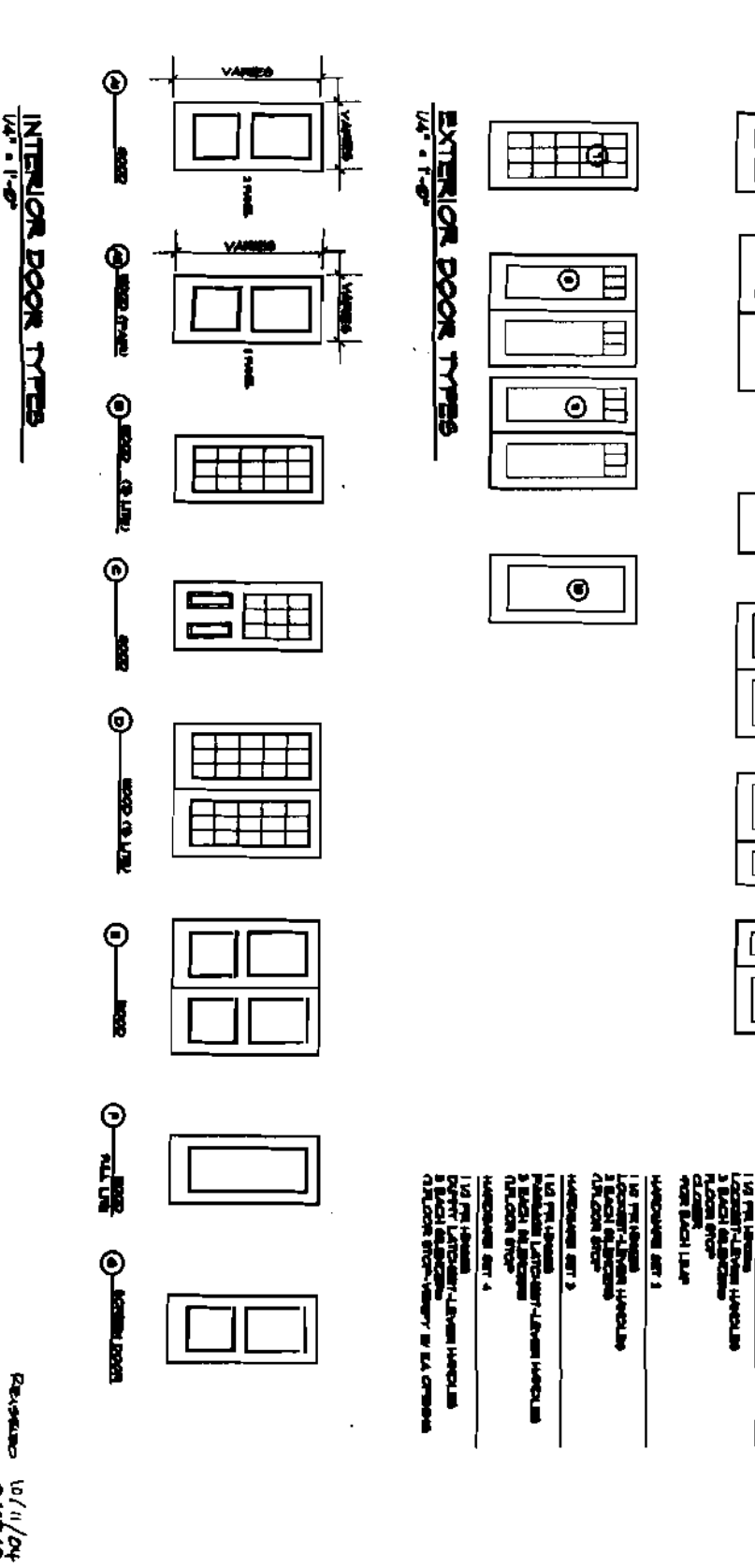
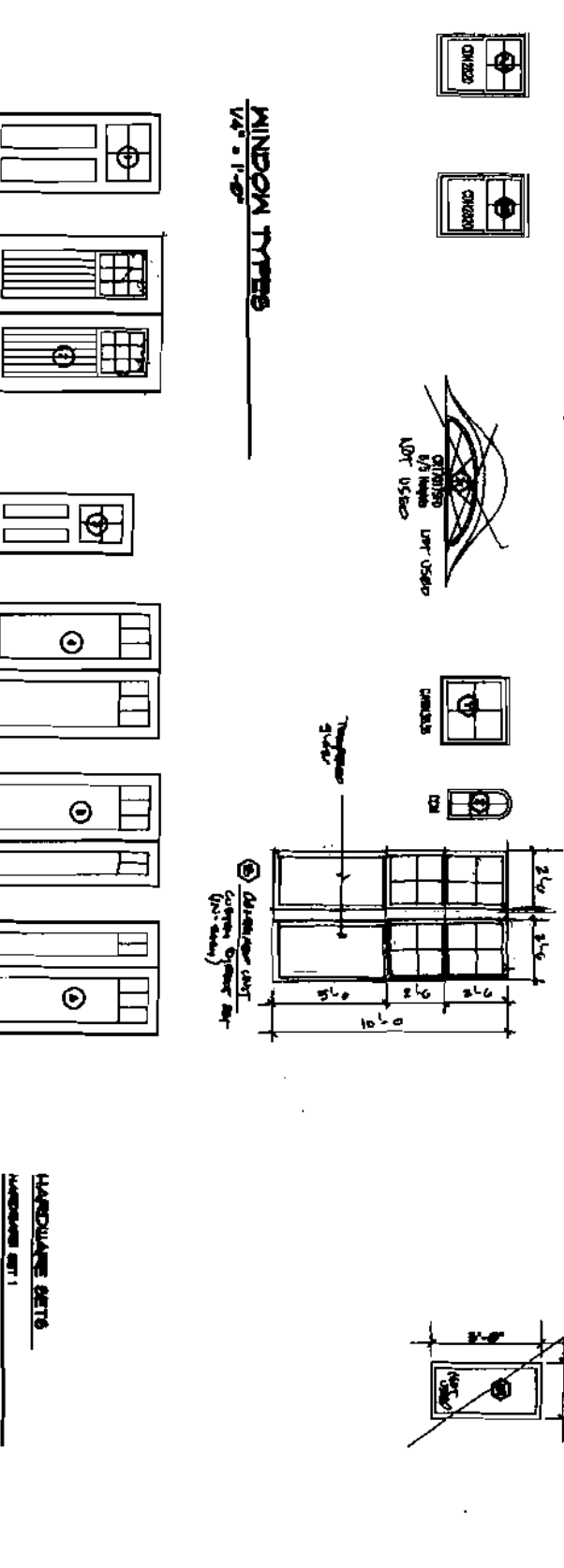
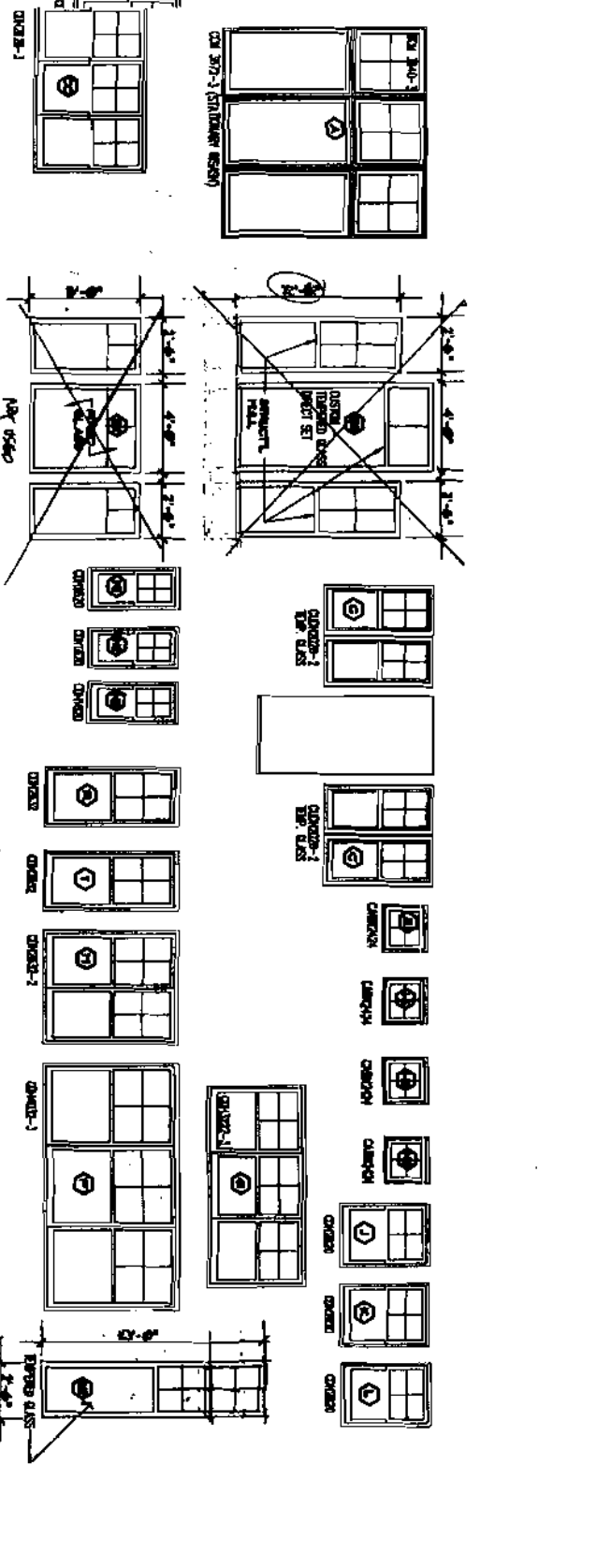
WINDOW SCHEDULE

NO.	TYPE	FINISH	CUR. NO.	UNIT DIMENSION	GLASS DIVISION	REMARKS
1	DOUBLE HUNG	WOOD	101	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
2	DOUBLE HUNG	WOOD	102	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
3	DOUBLE HUNG	WOOD	103	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
4	DOUBLE HUNG	WOOD	104	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
5	DOUBLE HUNG	WOOD	105	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
6	DOUBLE HUNG	WOOD	106	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
7	DOUBLE HUNG	WOOD	107	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
8	DOUBLE HUNG	WOOD	108	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
9	DOUBLE HUNG	WOOD	109	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
10	DOUBLE HUNG	WOOD	110	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
11	DOUBLE HUNG	WOOD	111	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
12	DOUBLE HUNG	WOOD	112	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
13	DOUBLE HUNG	WOOD	113	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
14	DOUBLE HUNG	WOOD	114	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
15	DOUBLE HUNG	WOOD	115	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
16	DOUBLE HUNG	WOOD	116	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
17	DOUBLE HUNG	WOOD	117	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
18	DOUBLE HUNG	WOOD	118	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
19	DOUBLE HUNG	WOOD	119	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION
20	DOUBLE HUNG	WOOD	120	36" x 48"	1/2" GLASS	SEE FLOOR PLAN FOR LOCATION

FINISH SCHEDULE

NO.	NAME	THICK.	FIN.	HOUSE MAT.	CLASS	REMARKS	TYPE	MAT.	FIN.	HEAD JAMB	THRESHOLD	DETAIL
1	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
2	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
3	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
4	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
5	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
6	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
7	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
8	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
9	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
10	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
11	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
12	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
13	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
14	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
15	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
16	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
17	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
18	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
19	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
20	WOOD	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD

NO.	TYPE	SIZE	THK.	FIN.	HOUSE MAT.	CLASS	REMARKS	TYPE	MAT.	FIN.	HEAD JAMB	THRESHOLD	DETAIL
1	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
2	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
3	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
4	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
5	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
6	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
7	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
8	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
9	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
10	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
11	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
12	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
13	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
14	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
15	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
16	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
17	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
18	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
19	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
20	WOOD	36" x 48"	1/2"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD



REVISIONS

NO.	DATE	DESCRIPTION

BATES RESIDENCE

GREAT DIAMOND ISLAND, MAINE

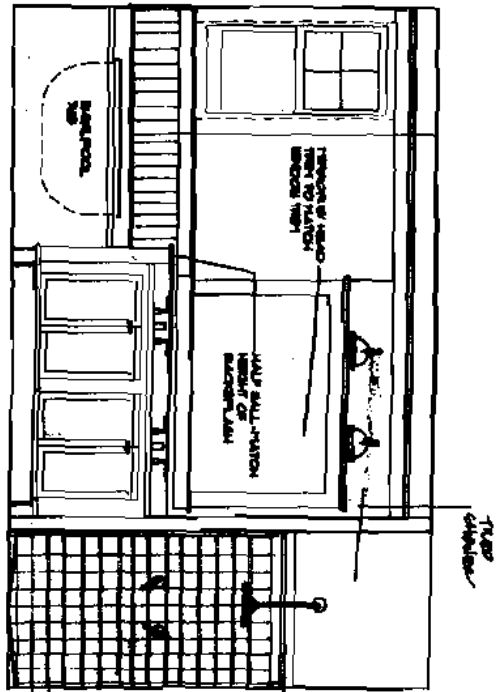
10/27/2004

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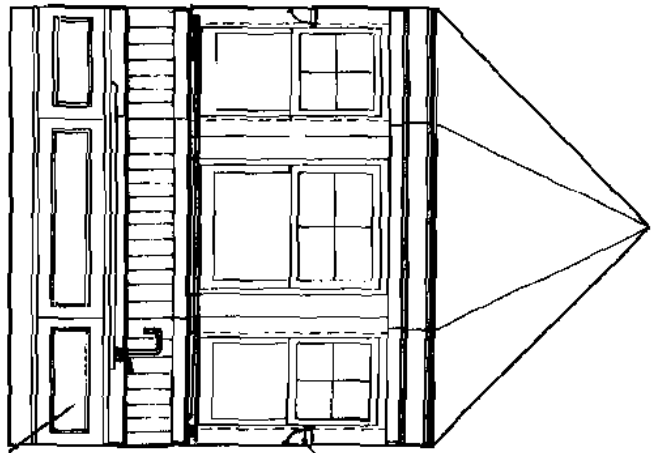
SCHEDULE

DATE: 10/11/04
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 CHECKED BY: [Signature]

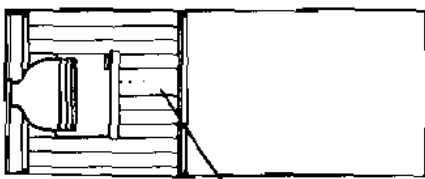
A-7



1 MASTER BATH
 SCALE: 1/8" = 1'-0"



2 MASTER BATH
 SCALE: 1/8" = 1'-0"



3 MASTER BATH
 SCALE: 1/8" = 1'-0"

10/11/04
 07/04

A-10.2

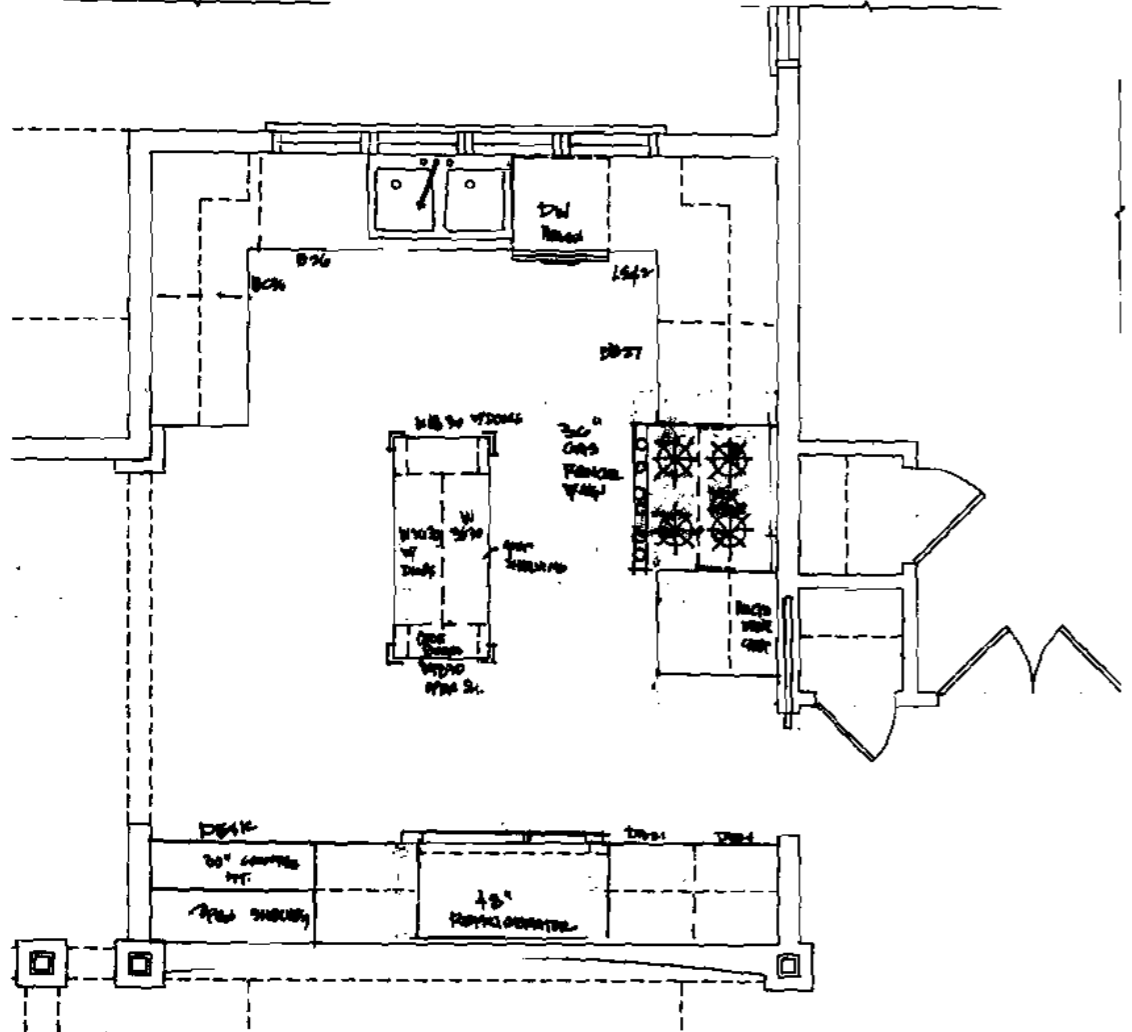
DATE	10-11-04
DESIGNED BY	06/16/05
CHECKED BY	

DRAWINGS THIS SHEET
 INTERIOR ELEVATIONS

BATES RESIDENCE
 GREAT DIAMOND ISLAND, MAINE
 10/27/2004

REVISIONS	
NO.	DESCRIPTION

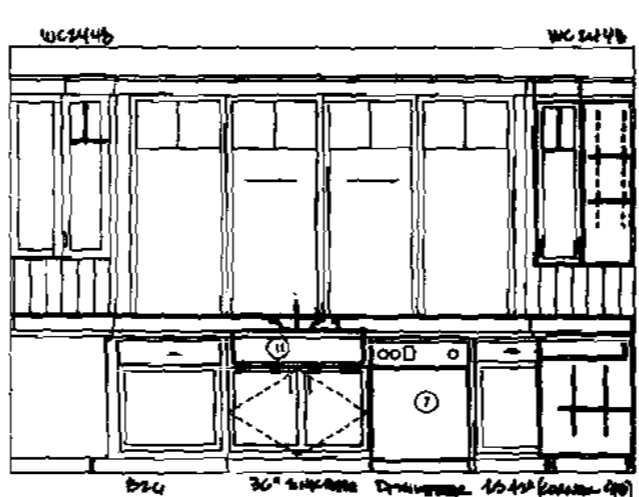
133 Regent Street
 Portland, Maine 04103
 Phone (207) 850-1111 Fax (207) 850-1112



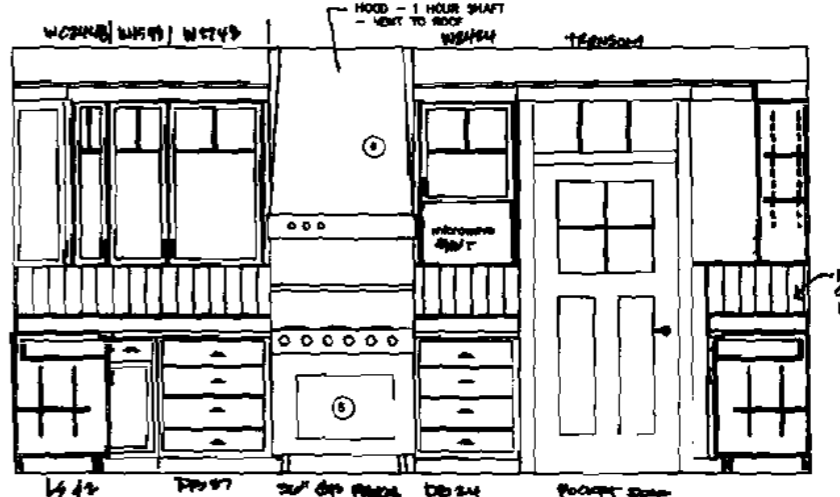
1 ENLARGED KITCHEN PLAN
SCALE: 1/4" = 1'-0"

KITCHEN EQUIPMENT SCHEDULE															
ITEM	QTY.	DESCRIPTION	MANUFACTURER	MFG. MODEL	ELECTRICAL				PLUMBING					COMMENTS	
					VOLT	HP	KW	AMP	PROPANE	HU	CW	W	IW		FD
1	1	Refrigerator/Freezer	GE Profile												
2	1	Gas Cooktop	GE Profile												
3	1	Vent-a-hood	GE Profile												
4	1	Over-the-Range Convection Oven	GE Profile												
5	1	3P Dishwasher	GE Profile												
6															
7															
8															
9															
10															
11															
12															

LAUNDRY EQUIPMENT SCHEDULE															
ITEM	QTY.	DESCRIPTION	MANUFACTURER	MFG. MODEL	ELECTRICAL				PLUMBING					COMMENTS	
					VOLT	HP	KW	AMP	PROPANE	HU	CW	W	IW		FD
1	1	Washer	GE Profile or equal												
2	1	Dryer	GE Profile or equal												
3	1														
4	1														



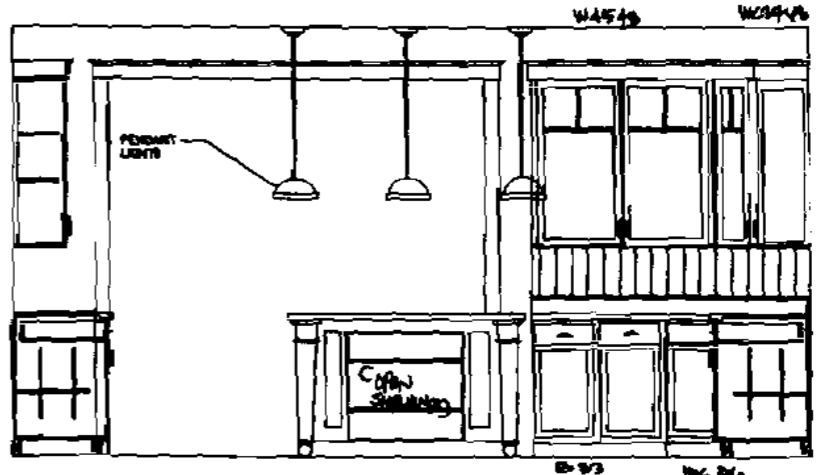
1 KITCHEN
NORTH



2 KITCHEN
NORTH



3 KITCHEN
NORTH



4 KITCHEN
NORTH

18 High Street, Brunswick, ME 04002
Tel: 207-738-1234
Fax: 207-738-1234
www.18highstreet.com

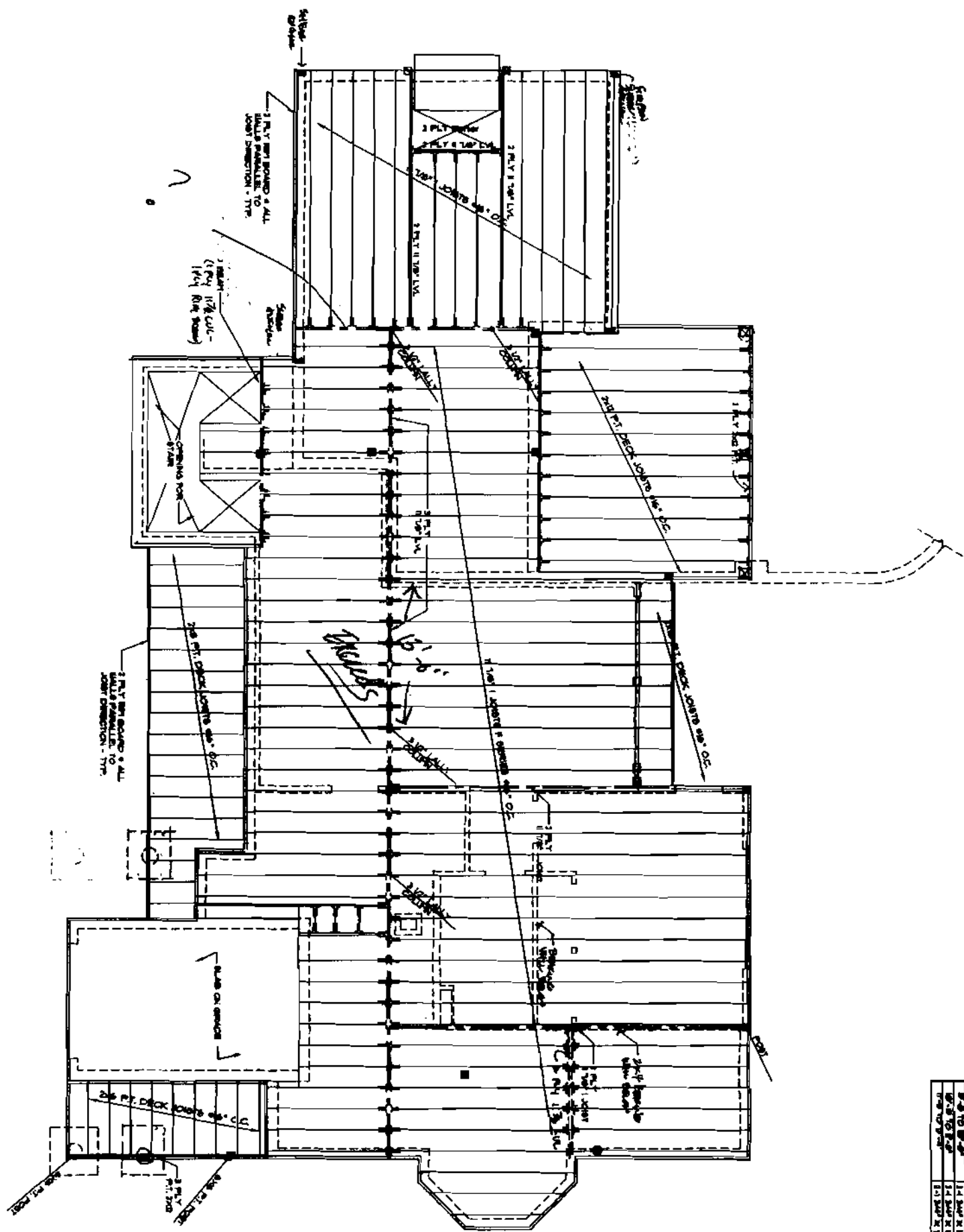
NO.	DATE	DESCRIPTION

BATES RESIDENCE
GREAT DIAMOND ISLAND, MAINE
10/27/2004

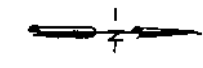
DRAWINGS THIS SHEET
WALL SECTIONS

DATE	10/27/04
DRAWN BY	MB
CHECKED BY	MB

K-1
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5/20/04



BEAM SCHEDULE		NO. JOIST SCHEDULE	
NO.	MEMBER SIZE	NO.	MEMBER SIZE
1	2x10	1	2x10
2	2x10	2	2x10
3	2x10	3	2x10
4	2x10	4	2x10
5	2x10	5	2x10
6	2x10	6	2x10
7	2x10	7	2x10
8	2x10	8	2x10
9	2x10	9	2x10
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47	2x10	47	2x10
48	2x10	48	2x10
49	2x10	49	2x10
50	2x10	50	2x10



10-11-04

DATE	10-11-04
DRAWN BY	BAJ
CHECKED BY	BAJ

DRAWINGS THIS SHEET

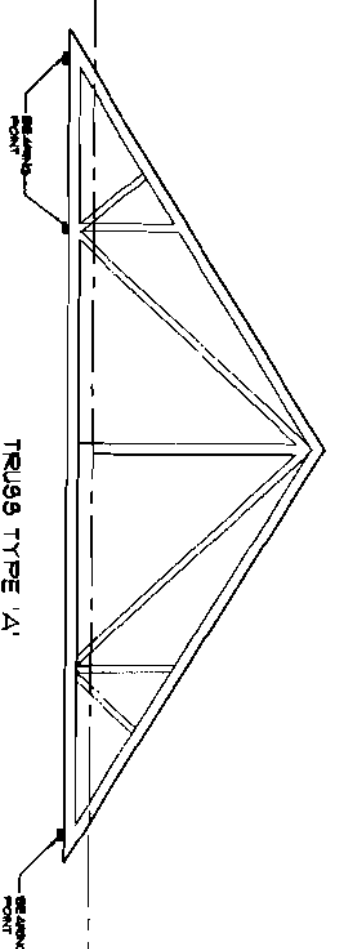
BATES RESIDENCE
GREAT DIAMOND ISLAND, MAINE
10/27/2004

REVISIONS	
NO.	DESCRIPTION

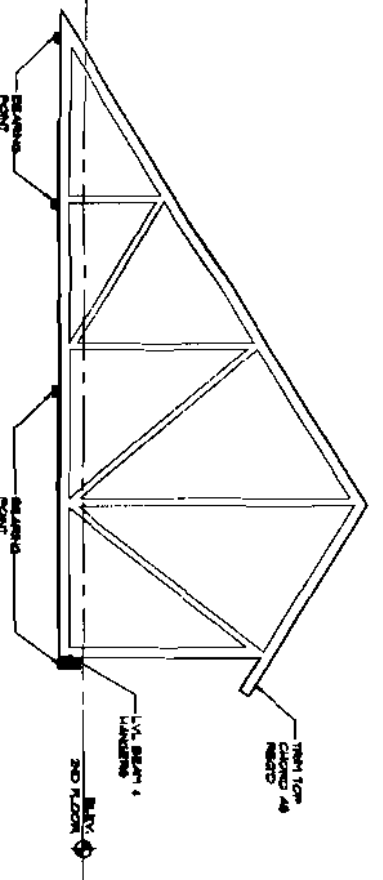
452 Fogg Road Scarborough, ME 04074
 Cushing Wood Joint
 Phone (207) 885-9337 or (207) 885-5533

S-1

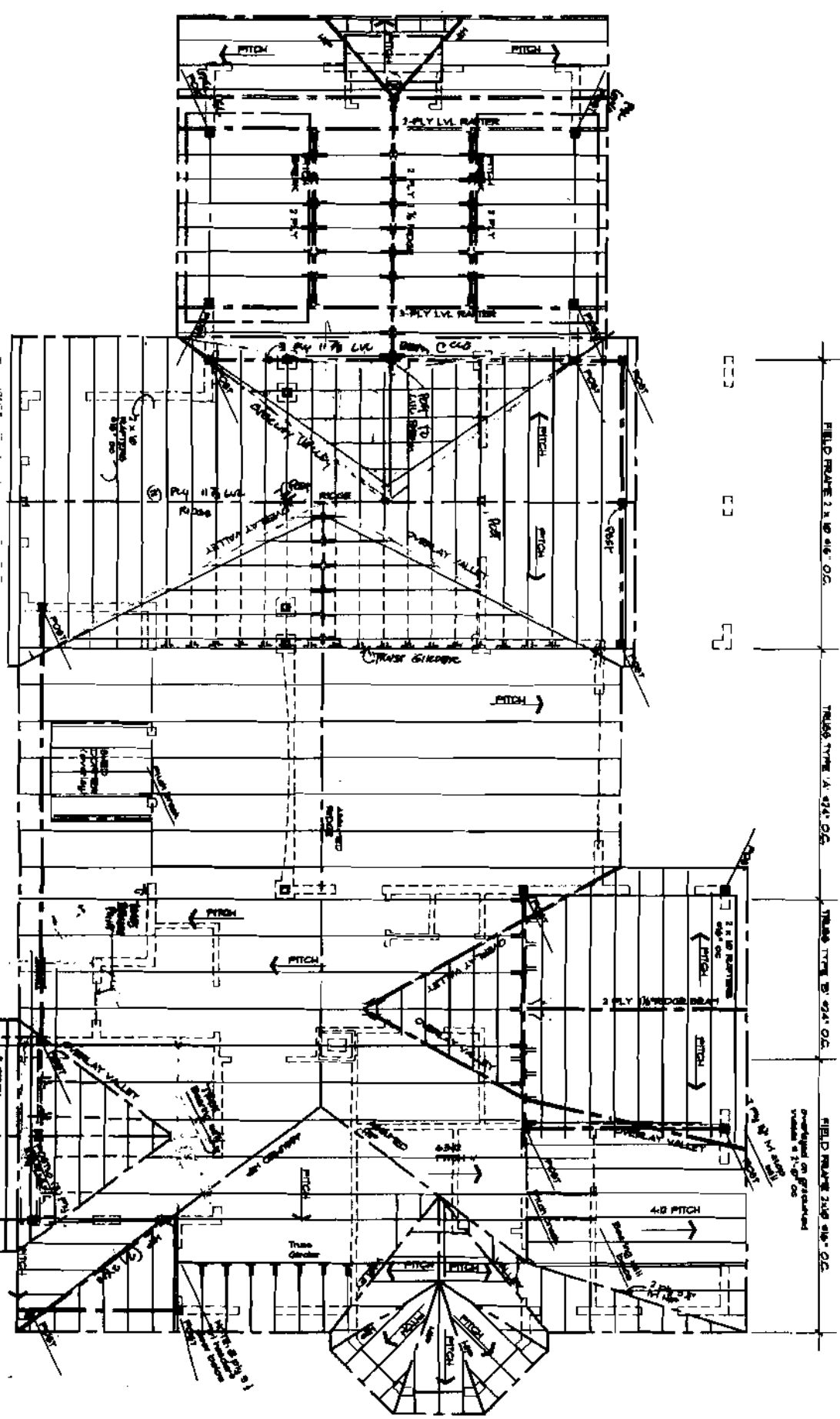
© CONNOR
 Structural Engineering & Design
 452 Fogg Road Scarborough, ME 04074
 Phone (207) 885-9337 or (207) 885-5533



TRUSS TYPE 'A'
 Note: This design shows a structural
 design for a truss system.
 TRUSS TYPE 'A-1'
 Evaluation shown (step details 1'-0" dia)



Note: This design shows a
 structural design for a truss system.
 TRUSS TYPE 'B'
 Evaluation shown (step details 1'-0" dia)



FIELD RAFTERS 2x8 @ 24" O.C.
 TRUSS TYPE 'A' @ 24" O.C.
 TRUSS TYPE 'B' @ 24" O.C.
 FIELD RAFTERS 2x8 @ 24" O.C.
 Evaluation on groundline
 shown at 1'-0" dia

ROOF FRAMING PLAN

ROOF BEAM SCHEDULE

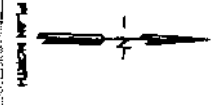
NO.	MEMBER SIZE
1	
2	
3	
4	
5	

CEILING BEAM SCHEDULE

NO.	MEMBER SIZE
1	
2	
3	
4	
5	

HEADER SCHEDULE - UNLESS NOTED ON PLAN

SPAN	UNITS	POST @ EACH END
1'-0" TO 1'-0"	2x8 @ 8	2x8 @ 8
1'-0" TO 2'-0"	2x8 @ 8	2x8 @ 8
2'-0" TO 3'-0"	2x8 @ 8	2x8 @ 8
3'-0" TO 4'-0"	2x8 @ 8	2x8 @ 8
4'-0" TO 5'-0"	2x8 @ 8	2x8 @ 8
5'-0" TO 6'-0"	2x8 @ 8	2x8 @ 8
6'-0" TO 7'-0"	2x8 @ 8	2x8 @ 8
7'-0" TO 8'-0"	2x8 @ 8	2x8 @ 8
8'-0" TO 9'-0"	2x8 @ 8	2x8 @ 8
9'-0" TO 10'-0"	2x8 @ 8	2x8 @ 8
10'-0" TO 11'-0"	2x8 @ 8	2x8 @ 8
11'-0" TO 12'-0"	2x8 @ 8	2x8 @ 8

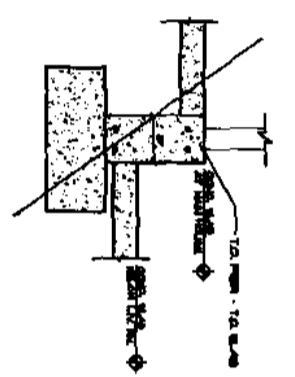


10-11-04

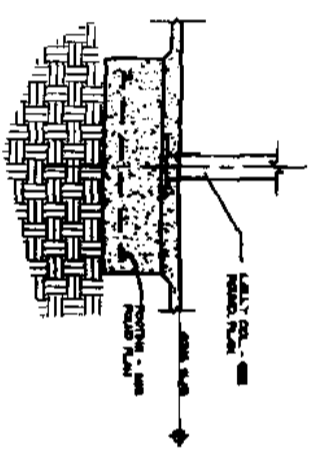
<p>DATE: 10-11-04 DRAWN BY: BJB CHECKED BY: WJ</p>	<p>DRAWINGS THIS SHEET</p> <p>ROOF FRAMING PLAN</p>	<p>BATES RESIDENCE</p> <p>GREAT DIAMOND ISLAND, MAINE</p> <p>GREAT DIAMOND ISLAND, MAINE</p> <p>10/27/2004</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	DESCRIPTION							<p>482 Fogg Road, Scarborough, ME 04074</p> <p>Circle Island Products</p> <p>Phone (207) 886-9137 or (207) 886-2533</p>
NO.	DATE	DESCRIPTION											

S-3

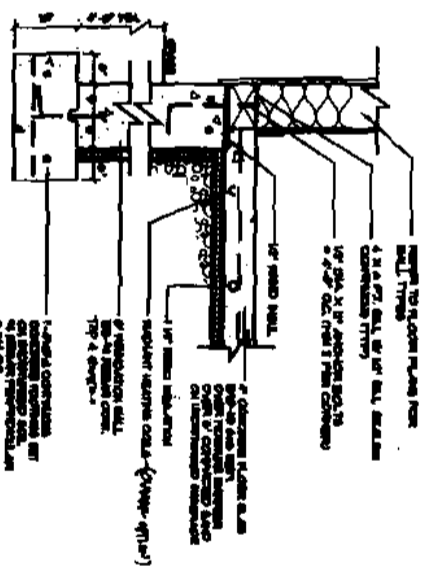
Copyright 2004 of the
 Circle Island Products
 482 Fogg Road, Scarborough, ME 04074



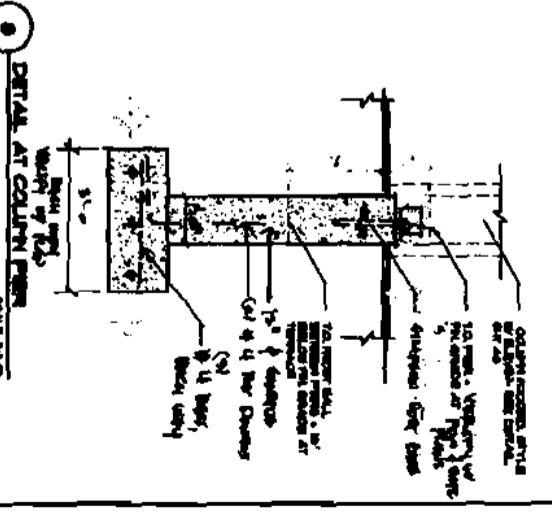
1 DETAIL AT STEP IN CONC. SLAB



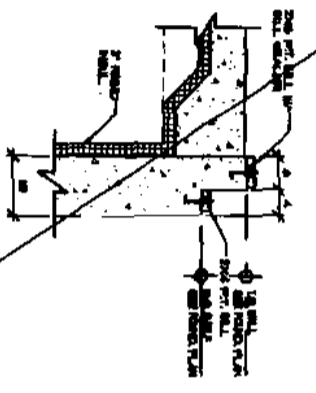
2 DETAIL AT TYPICAL COL. FOOTING



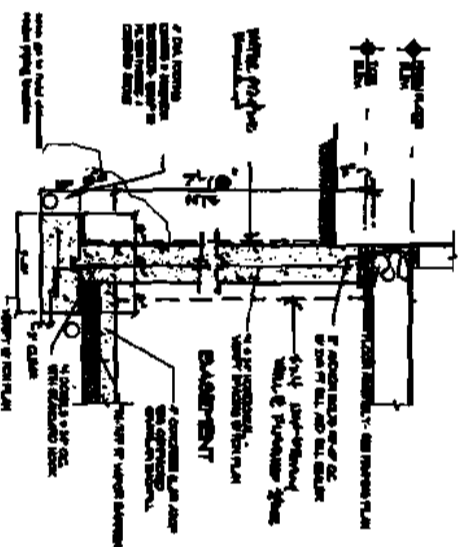
3 TYP. FINISH WALL / SLAB DETAIL



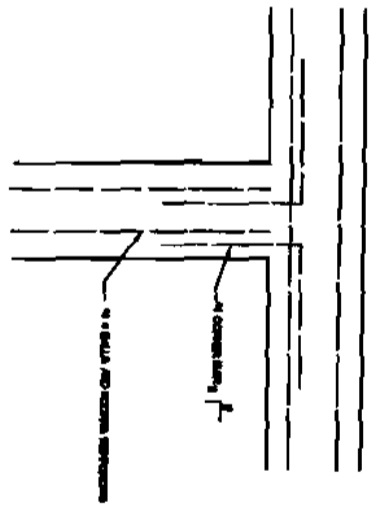
4 DETAIL AT COLUMN FOOT



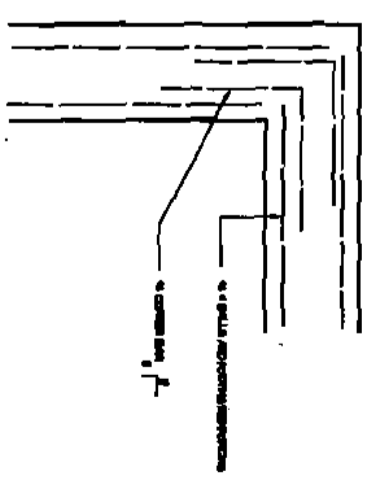
1 JOIST SHELF DETAIL



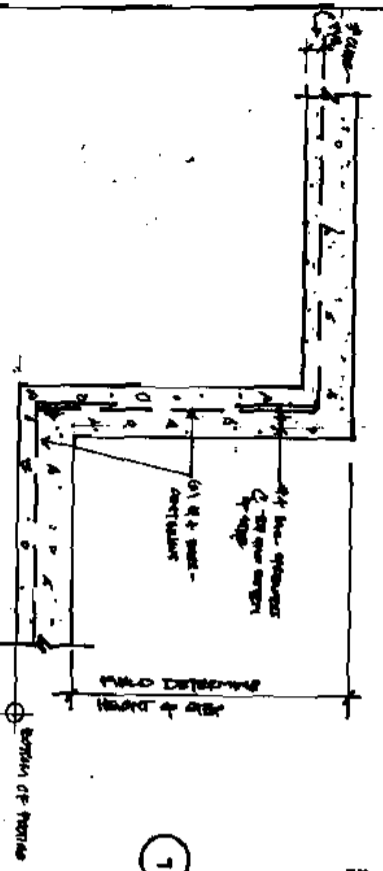
2 TYPICAL RILL HEIGHT WALL DETAIL



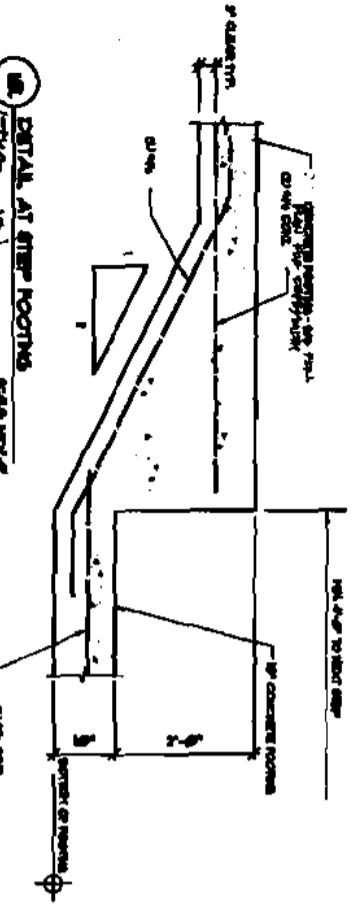
3 CORNER BARR DETAIL



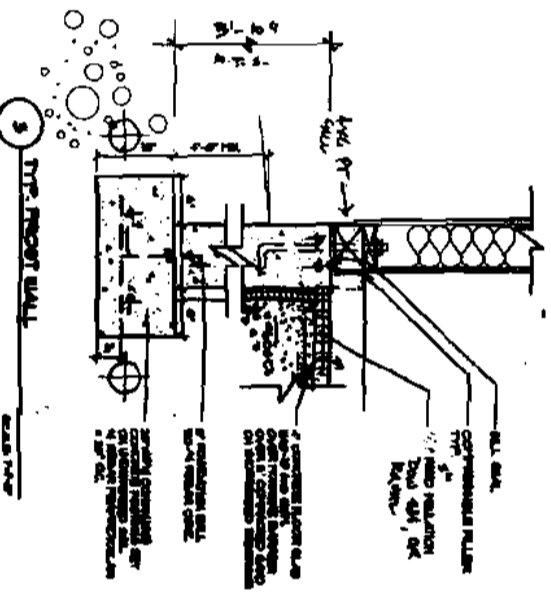
4 CORNER BARR DETAIL



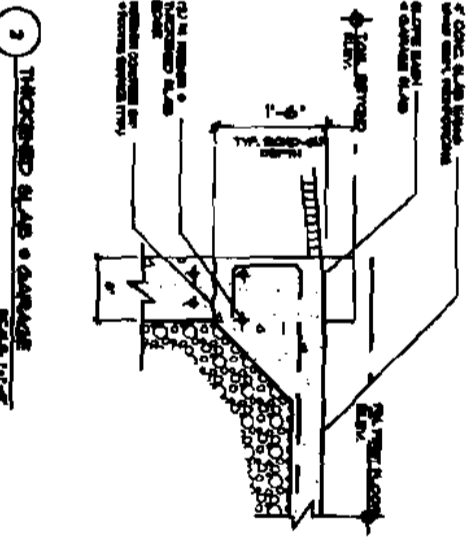
15 INTER. FOOTING DETAIL (TYPE 15A)



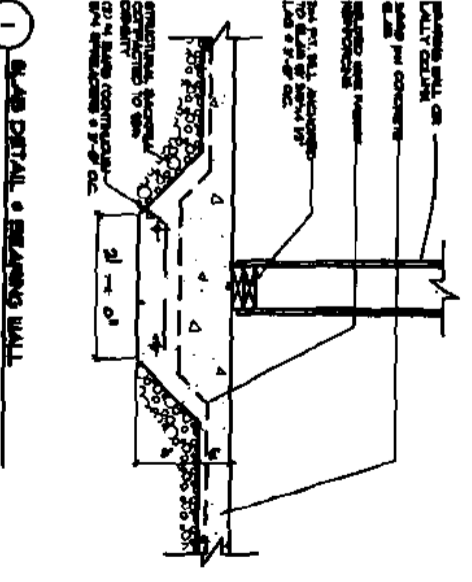
16 DETAIL AT STEEP ROOFING (TYPE 16A)



5 TYP. FINISH WALL



2 THICKENED SLAB & CURB DETAIL

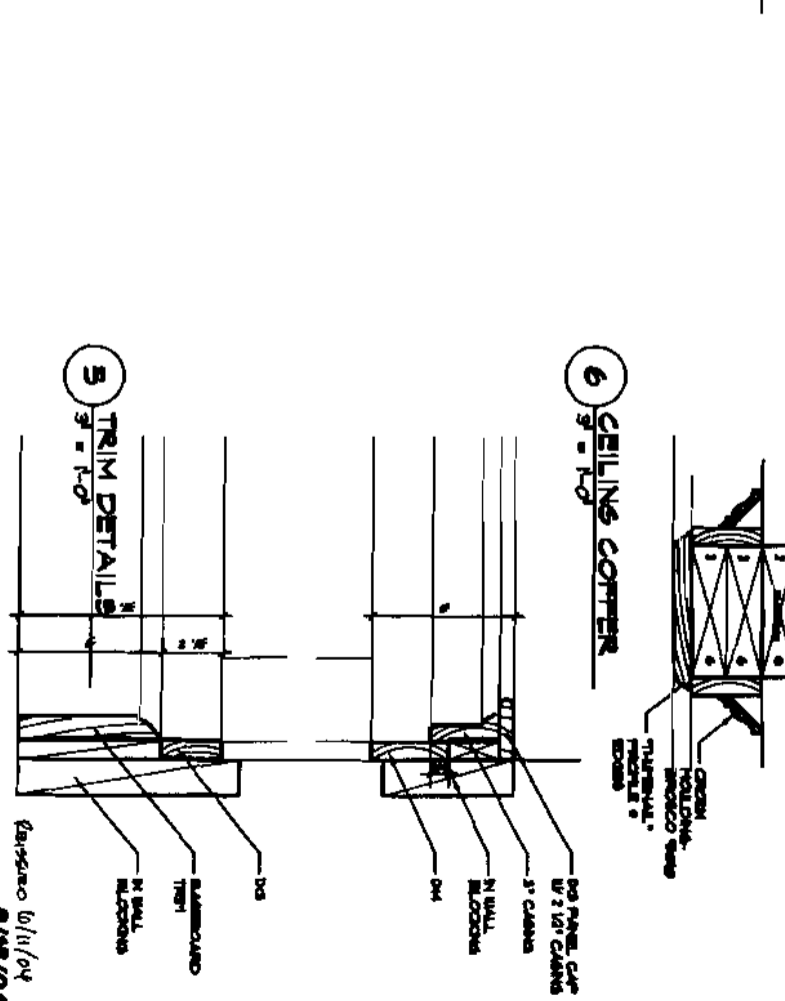
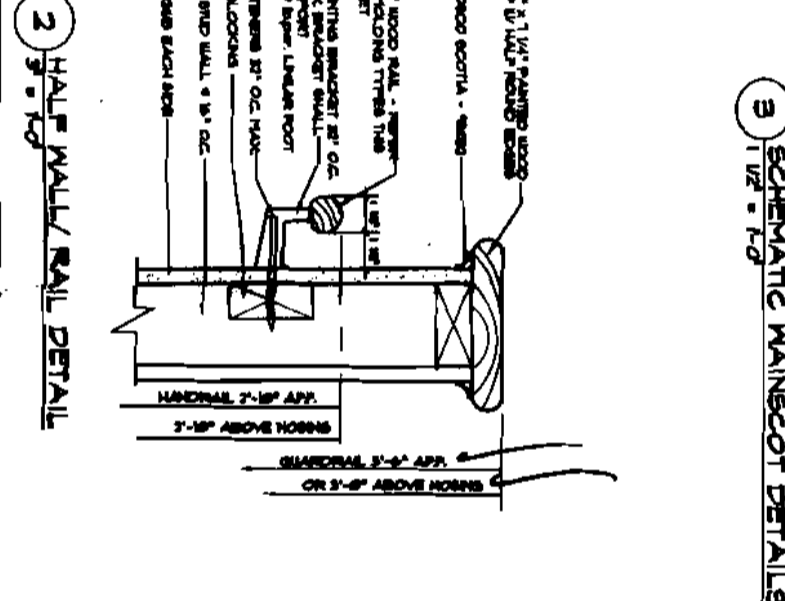
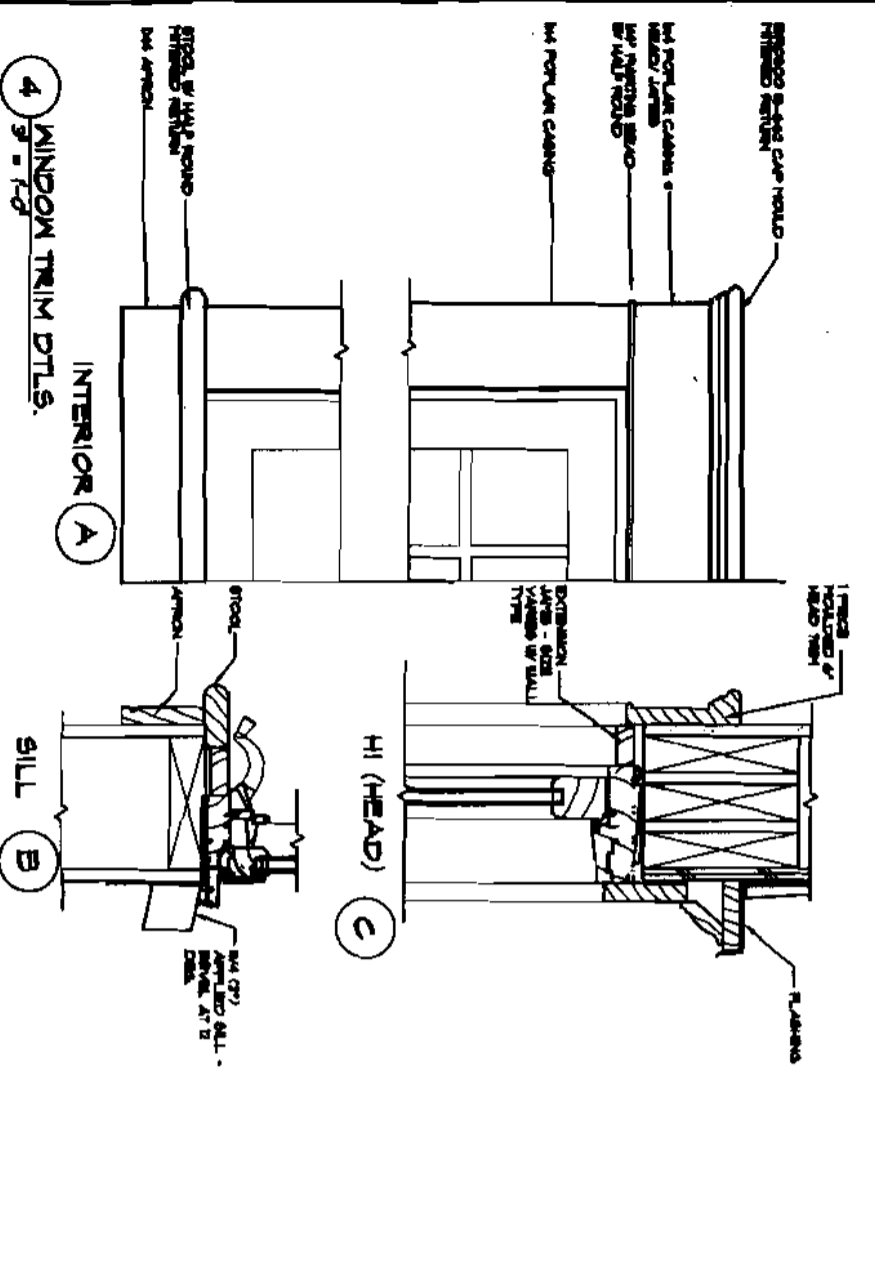
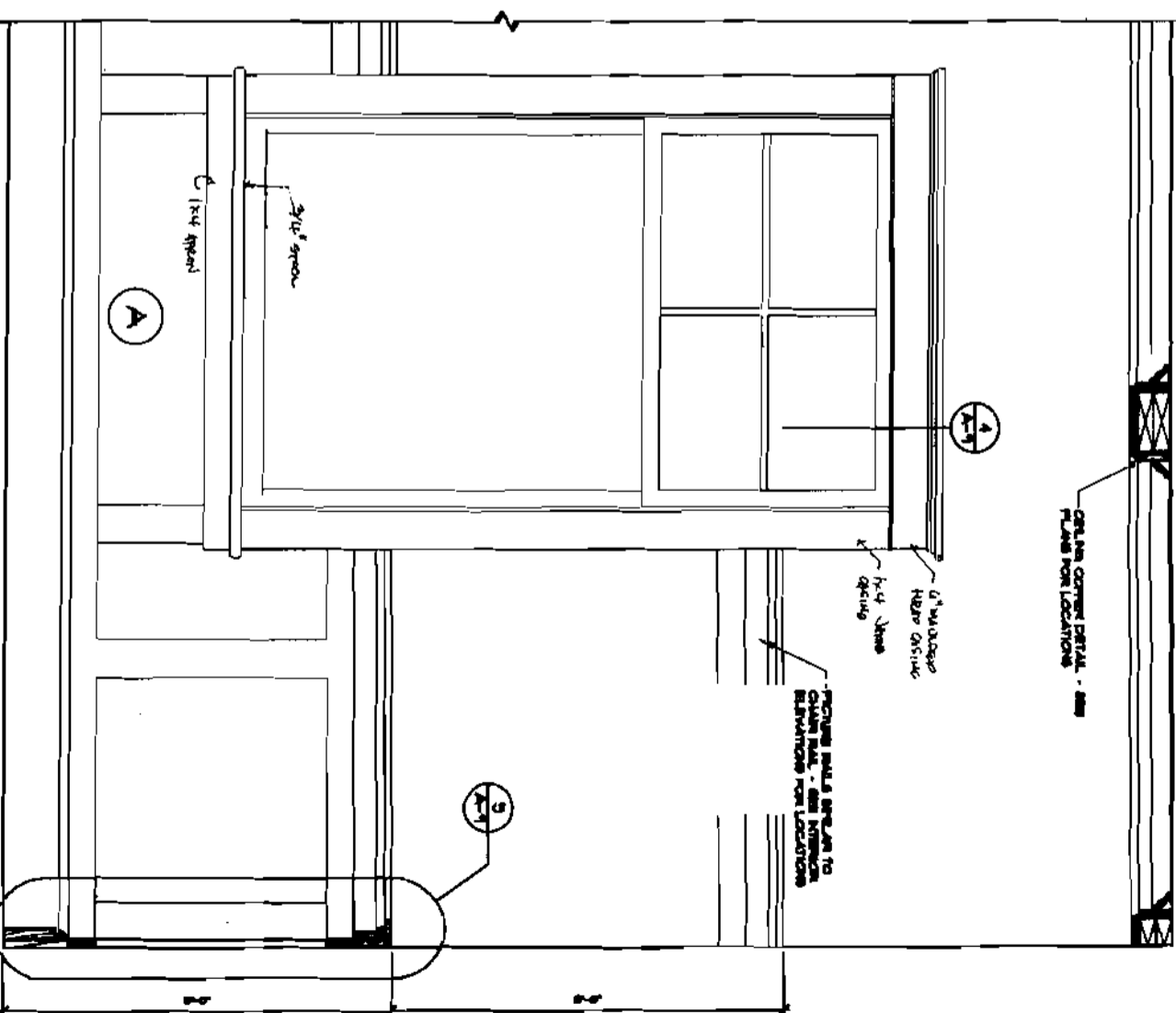
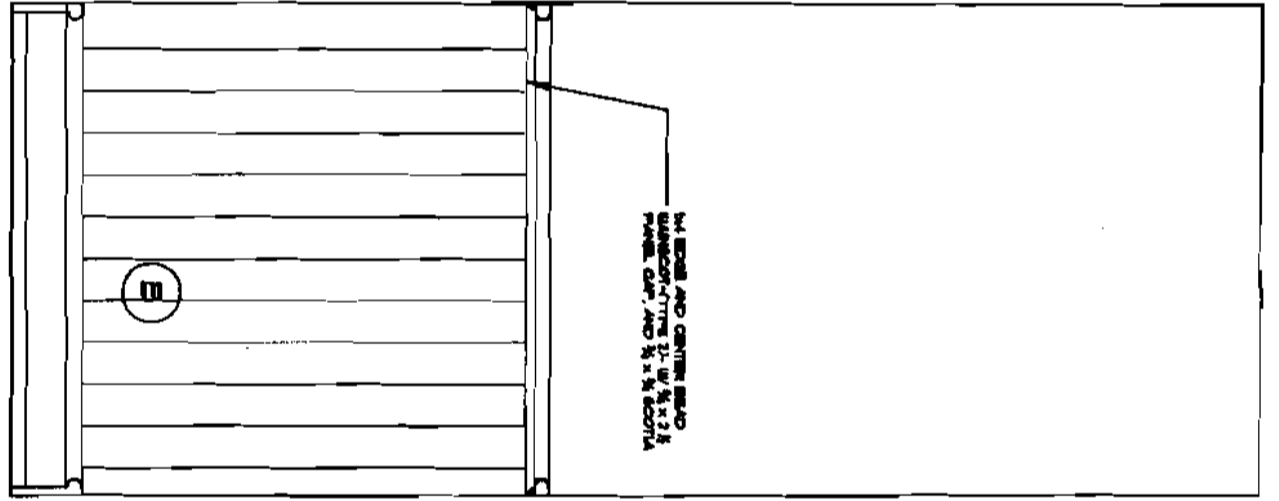
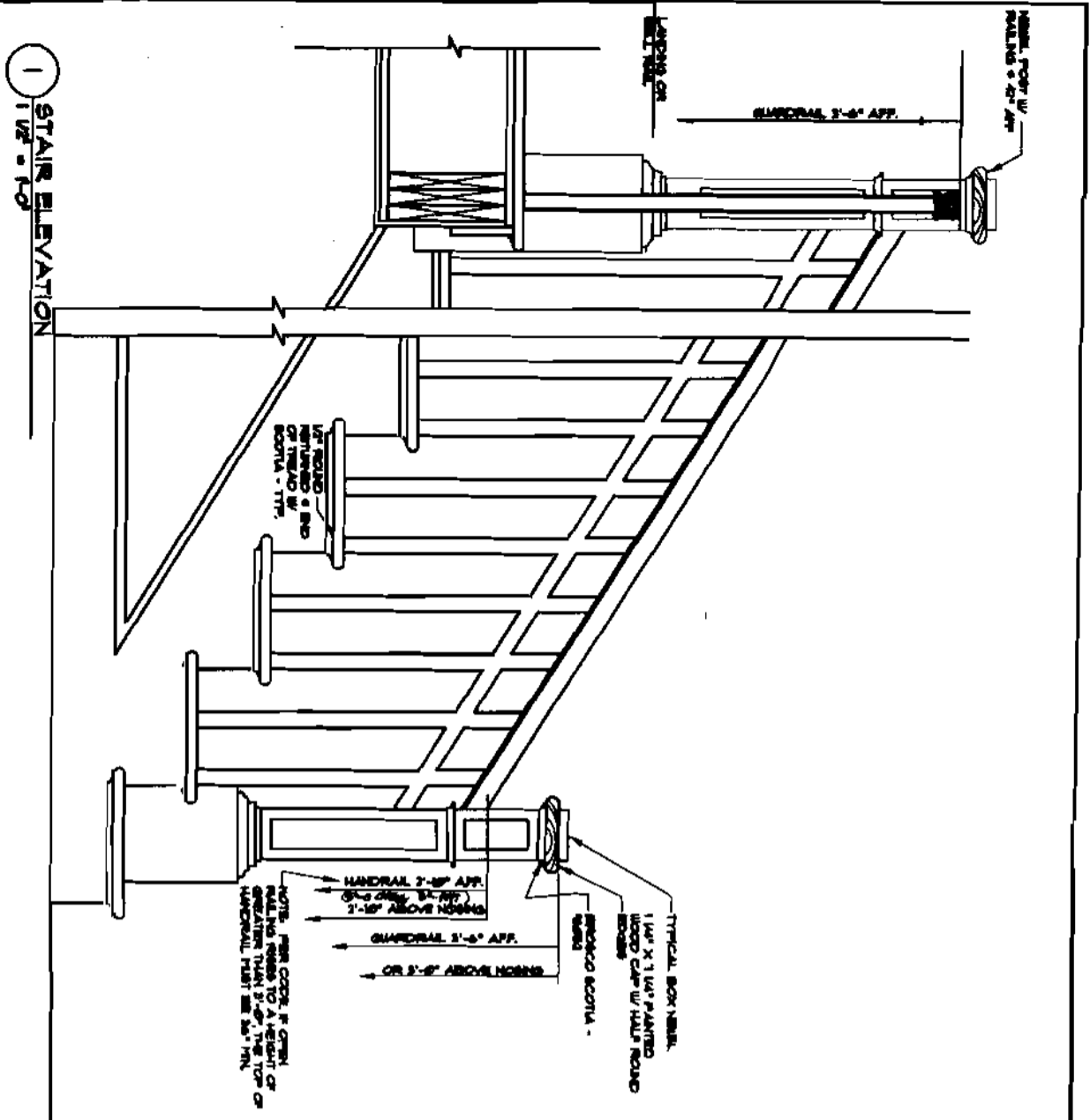


1 SLAB DETAIL & FINISHING WALL

DATE: 10/11/04
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

DRAWINGS THIS SHEET FOUNDATION DETAILS	BATES RESIDENCE GREAT DIAMOND ISLAND HOME 1672772004	REVISIONS NO. DATE DESCRIPTION	433 Highway 200, Suite 100 Cambridge, Massachusetts 02142 Phone: (617) 552-8811 Fax: (617) 552-8812
		DATE: 08-11-04 DRAWN BY: JG/STC CHECKED BY: [Signature]	

S-4



BATES RESIDENCE
GREAT DIAMOND ISLAND, MAINE
16/27/2004

NO.	DATE	DESCRIPTION

DATE: 1-15-04
DRAWN BY: JG
CHECKED BY: JG
01/15/04

TRIM DETAILS

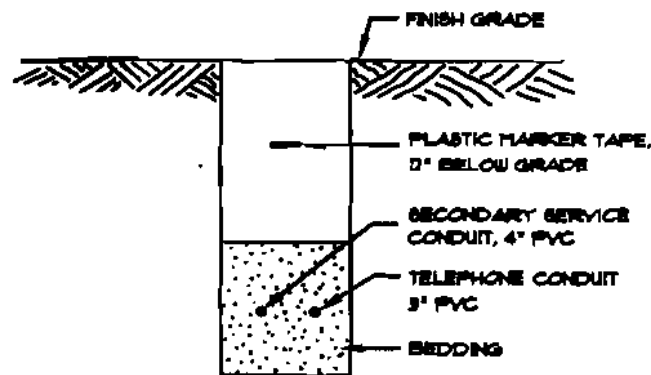
A-9

PANEL: FFI		VOLTAGE: 120/240 - 1PH		BUS RATING: 200A		
CR. NO.	DESCRIPTION	BRK. SIZE	MSKR - 200A	BRK. SIZE	DESCRIPTION	CR. NO.
1	Sub Panel	30		30	Range	2
3	"	15		15	"	4
5	Furnace	15		15	Oven	6
7	Ground Floor Lights	20		20	"	8
9	Ground Floor Power-GFI	20		20	Dishwasher	10
11	Ground Floor Bath GFI	20		20	Washer	12
13	Refrigerator	20		30	Dryer	14
15	Master Bedroom	20		20	"	16
17	Master Bath/ Powder Room GFI	20		20	Second Floor Lights	18
19	Kitchen/ Dining Lights	20		20	Second Floor Power	20
21	Great Room/ Hall Lights	20		20	Second Floor Bath GFI	22
23	Small Appliance Circuit #1	20		20	Exterior Lights	24
25	Small Appliance Circuit #2	20		20	"	26
27	"	-		-	"	28
29	"	-		-	"	30
31	"	-		-	"	32
33	"	-		-	"	34
35	"	-		-	"	36
37	"	-		-	"	38
39	"	-		-	"	40
41	"	-		-	"	42

PANEL LOCATION: BASEMENT FEEDER

ELECTRICAL GENERAL NOTES

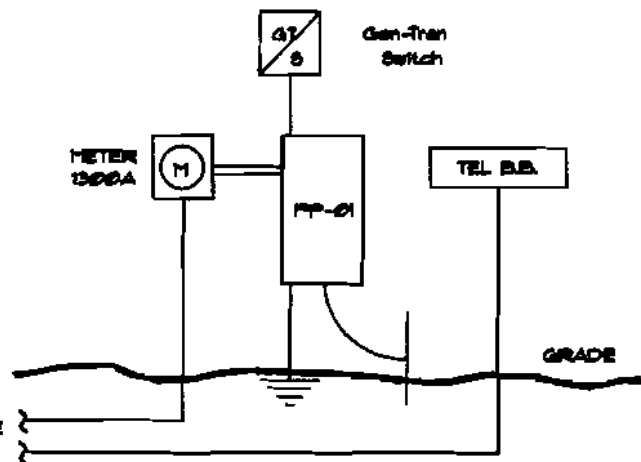
- THE CONTRACTOR SHALL PERFORM ALL ELECTRICAL WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, AND THE REQUIREMENTS OF THE LOCAL, COUNTY, AND STATE AGENCIES HAVING JURISDICTION. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, AND THE REQUIREMENTS OF THE LOCAL, COUNTY, AND STATE AGENCIES HAVING JURISDICTION.
- SELECTED COMPONENTS, AND WIRING IN WIRING DIAGRAMS INDICATE A DESIRED RESULT AND IS A SUGGESTED ARRANGEMENT OF STANDARD ITEMS TO PRODUCE A SPECIFIC RESULT. THE CONTRACTOR SHALL PROVIDE AND INSTALL A COMPLETE AND WORKING SYSTEM TO PRODUCE THE DESIRED RESULT.
- THE CONTRACTOR SHALL INSTALL THE PANELBOARDS SUCH THAT THE DISTANCE TO THE TOPMOST OVER-CURRENT PROTECTION DEVICE OPERATING HANDLE SHALL NOT EXCEED 6'-6" AFF.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL DISCONNECT SWITCHES FOR ALL MOTORS. THEY SHALL BE HORSEPOWER RATED AND FUSED AS REQUIRED BY THE NEC.
- THESE DRAWINGS REQUIRE THE CONTRACTOR TO PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR ALL ELECTRICAL ACTIVITIES AND LOCATIONS. POWER OUTLET AND LOCATION AND SPECIFICATIONS AND DESIGN. THESE DRAWINGS (E-1 AND E-2) ARE TO BE USED BY OWNER, GC AND SUBCONTRACTOR-BUILDER TO DETERMINE PROJECT SCOPE AND BUDGET. FIRST, CODE APPROVALS ARE THE DESIGN-BUILDER'S RESPONSIBILITY.



UTILITY TRENCH DETAIL

NO SCALE

- POWER AND COMMUNICATION CONDUITS SHALL BE PLACED IN THE SAME TRENCH WITH RANDOM SEPARATION DISTANCE.
- BEDDING AND BACKFILL SHALL BE FREE OF ROOTS, STUMPS, AND OTHER DEBRIS.



POWER RISER SCHEMATIC

ELECTRICAL LEGEND

- TELEPHONE OUTLET
- SWITCH, TOGGLE, 20 AMP, 120VAC, SINGLE POLE, FLUSH MOUNTED AT 48" AFF EXCEPT AS NOTED.
- SWITCH, TOGGLE, 20 AMP, 120VAC, THREE-WAY, FLUSH MOUNTED AT 48" AFF EXCEPT AS NOTED.
- SWITCH, TOGGLE, 20 AMP, 120VAC, SINGLE POLE WITH PILOT LIGHT, FLUSH MOUNTED AT 48" AFF EXCEPT AS NOTED.
- RECEPTACLE, WALL, 20 AMP, 120VAC, DUPLEX, NEMA 5-20R, FLUSH MOUNTED AT 18" AFF (24" AFF IN GARAGE) EXCEPT AS NOTED. "WP" - WEATHERPROOF.
- RECEPTACLE, WALL, 20 AMP, 120VAC, DOUBLE DUPLEX NEMA 5-20R, FLUSH MOUNTED AT 18" AFF EXCEPT AS NOTED.
- DISCONNECT SWITCH - FUSED, ONE OR TWO POLE AS LOAD REQUIRES, 200VAC, "30" INDICATES SWITCH AMPACITY, "5" INDICATES FUSE SIZE.
- NON-REVERSING COMBINATION MOTOR STARTER, NUMBER OF POLES AND NEMA SIZE TO SUIT MOTOR SERVED, WITH HAND-OFF-AUTOMATIC SWITCH, CLOSE COUPLED OVERLOAD RELAYS, AND A COIL FOR OPERATION AT 120 VAC, IN A NEMA 1 ENCLOSURE.
- FRACTIONAL HP. MOTOR STARTING RELAY.
- DISCONNECT SWITCH - NON-FUSED, ONE OR TWO POLE AS LOAD REQUIRES, 200VAC, "WP" - WEATHERPROOF.
- COM / DATA OUTLET - PROVIDED BY OWNER.
- JUNCTION BOX
- TIME CLOCK 40 AMP, 3-POLE, FOR EXTERIOR LIGHTING.
- 200 AMP POWER PANEL
- SMOKE DETECTOR-HARD WIRED

METER 1000A

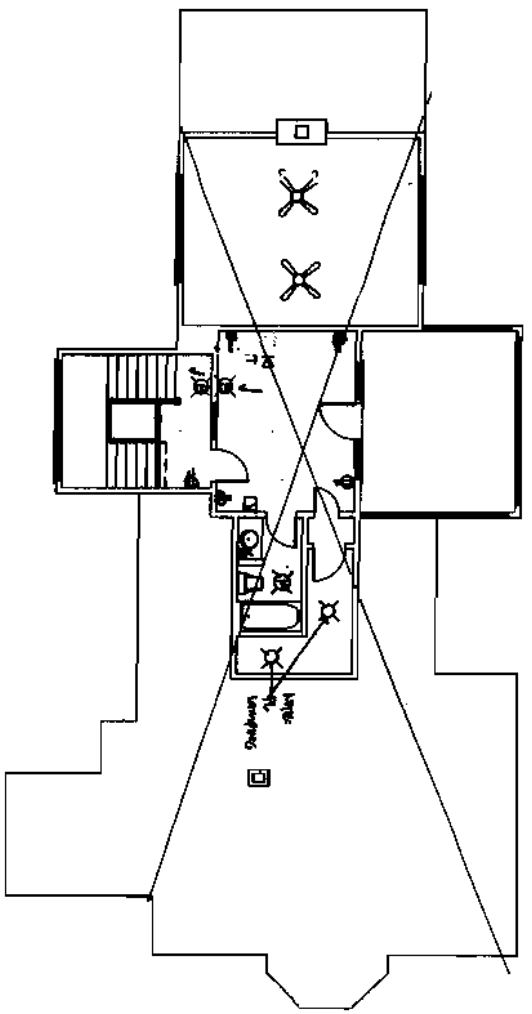
REV.	DATE	DESCRIPTION

BATES RESIDENCE
 GREAT DIAMOND BLVD, #187272004

DRAWING THIS SHEET

DATE	8-18-04
DRAWN BY	ELB
CHECKED BY	RP

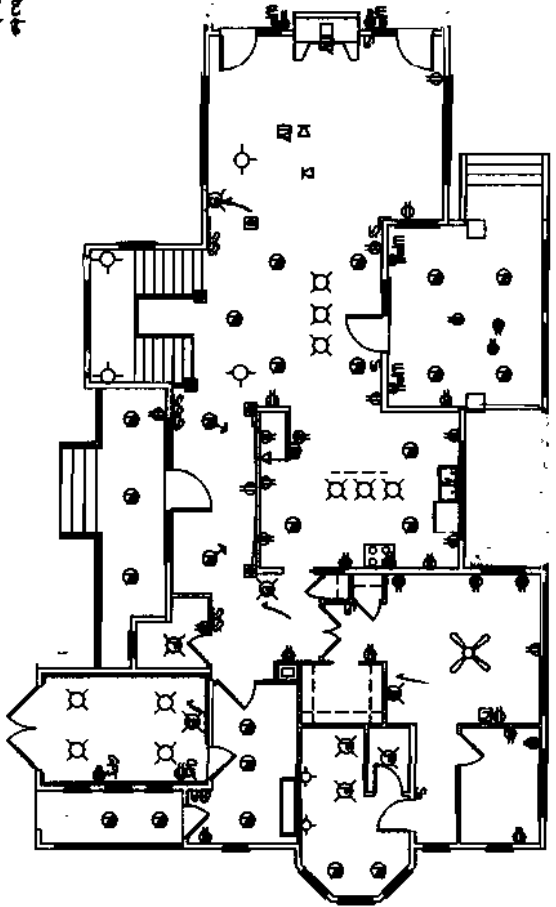
E-1



Second Floor Lighting Plan

LIGHTING FIXTURE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NO.	REMARKS
A			
B			
C			
D			
E			
F			
G			
H			

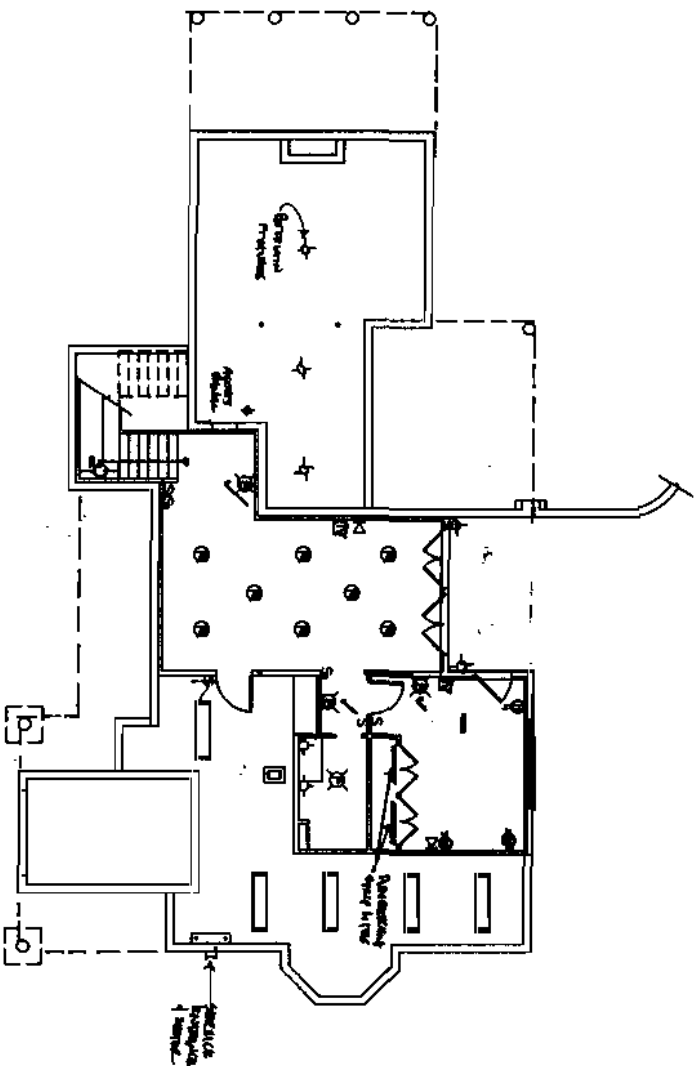
- ELECTRICAL LEGEND**
- SWITCH
 - 3-WAY SWITCH
 - 4-WAY SWITCH
 - SWITCH LEATHER PROOF
 - SWITCH/PHONOLEX OUTLET
 - DIMMER SWITCH
 - SWITCH w/ TRIPER
 - DUP. RECIP. LEATHER PROOF(2)
 - DUPLEX RECEPTACLE W/LED
 - DUPLEX RECEPTACLE
 - DUPLEX RECEPTACLE
 - DUPLEX FLOOR OUTLET
 - TELEPHONE
 - CABLE TV JACK
- RECESSED ILLUMINANT**
- RECESSED ILLUMINANT
 - OVERHEAD FIXTURE
 - RECESSED FIXTURE
 - WALL FIXTURE
 - FAULCRAFT CORNER
 - STONE DETECTOR
 - PORCELAIN FIXTURE
 - DISCONNECT SWITCH
 - CEILING FAN
 - THERMOSTAT
 - BELL PULL SWITON
 - BELL



First Floor Lighting Plan - (See Notes) - Fixtures Refer to the Description

NOTE: SEE COMMENTS TO PLANS AND NOTES (2) THROUGH (4) FOR DIMMER SWITCHES (CHECKED) OR NEW CASE ARTS

By Design - Bruce Bannister - Designer & Owner



Ground Floor Lighting Plan - schematic

PAI SALES 10/11/04
6/8/04

DRAWINGS THIS SHEET

SCHEMATIC (LIGHTING PLAN)

DATE: 10/11/04
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

BATES RESIDENCE

GREAT DIAMOND ISLAND, MAINE

10/27/2004

REVISIONS	
NO.	DESCRIPTION

152 Egg Road Scarborough, ME 04074

Phone (207) 885-9337 or (207) 885-9338

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E-2



P.A. Cushing, Inc.
 Master Planning
 Landscape Architecture
 8 Commercial Street
 Brunswick, Maine 04011
 MA 0000-0000 MA 0000-0000

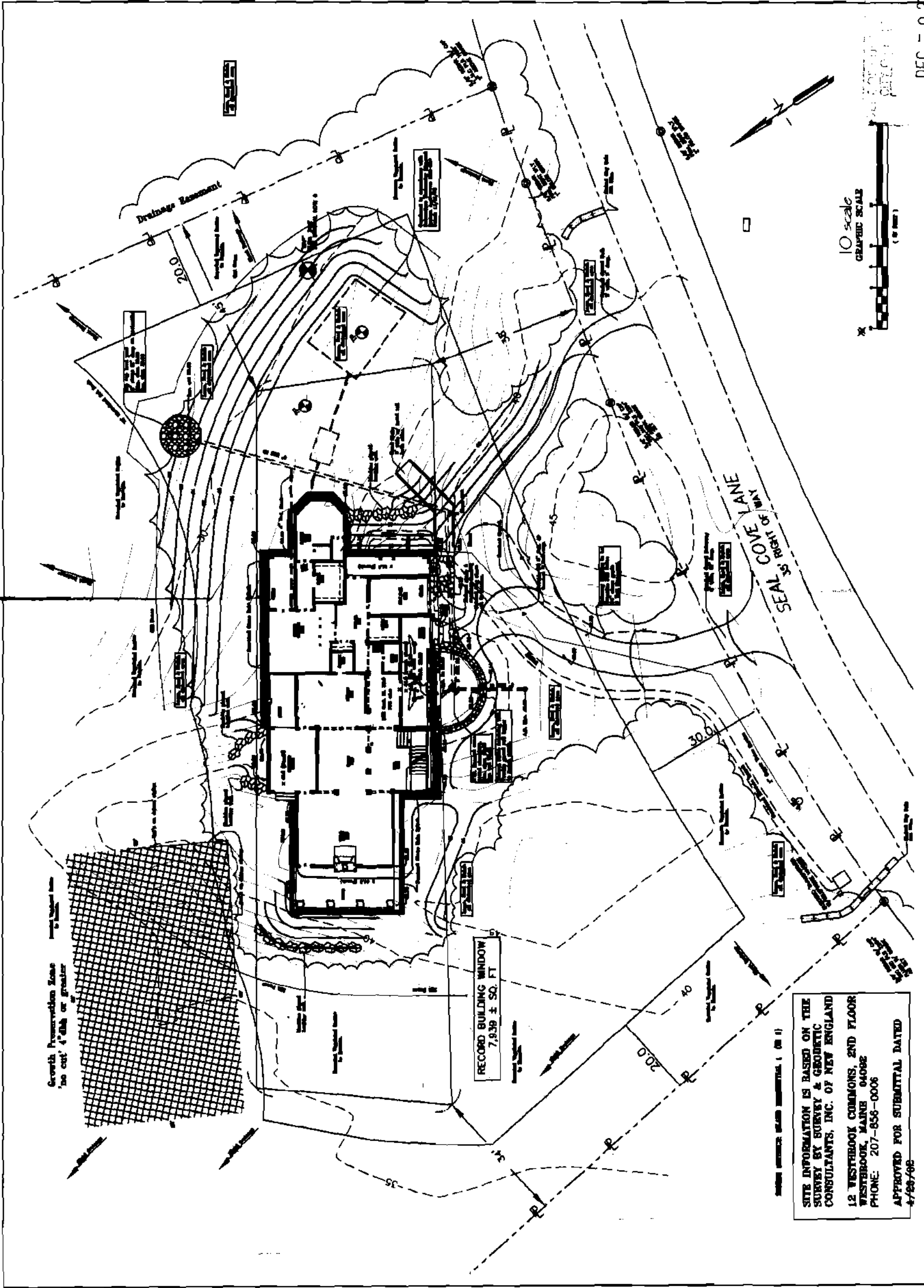
Bates Residence
 Lot 21 Sea Cove Lane
 Diamond Cove, Great Diamond Island
 Portland, Maine

DRAWINGS THIS SHEET
Site Plan

DATE	NO.	BY

L-2

DEC - 9 2001



SITE INFORMATION IS BASED ON THE SURVEY BY SURVEY & GEOMETRIC CONSULTANTS, INC. OF NEW ENGLAND
 12 WESTBROOK COMMONS, 2ND FLOOR
 WESTBROOK, MAINE 04092
 PHONE: 207-856-0006
 APPROVED FOR SUBMITTAL DATED 4/28/68

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2003-0256

Application I. D. Number

12/1/2003

Application Date

Bates Residence

Project Name/Description

Bates John J & Jane P Bates Jts

Applicant

16 Oxhill Rd , Newton , CT 06470

Applicant's Mailing Address

76 - 76 Seal Cove Ln, Portland, Maine

Address of Proposed Site

083E A021001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (203) 270-1040

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

7,939 s.f.

Proposed Building square Feet or # of Units

Acreeage of Site

IR-1

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input checked="" type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantes Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2003-0256
Application I. D. Number
12/1/2003
Application Date
Bates Residence
Project Name/Description

Bates John J & Jane P Bates Jta
Applicant
18 Oxhill Rd , Newton , CT 06470
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (203) 270-1040 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

76 - 76 Seal Cove Ln, Portland, Maine
Address of Proposed Site
083E A021001
Assessor's Reference: Chert-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Perking Lot Other (specify) _____

7,939 s.f. Proposed Building square Feet or # of Units **_____** Acreage of Site **_____** **IR-1** Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input checked="" type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantees Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | | | |

THIS IS NOT A ~~MINOR~~ CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: LOT 21 SEAL COVE LANE, DIAMOND COVE			
Total Square Footage of Proposed Structure 7,939 ± SF		Square Footage of Lot 57,493 SF	
Tax Assessor's Chart, Block & Lot Number Chart 83E Block A Lot 21		Owner: JACK & JANE BATES	Telephone: 203-270-1040
Lessor/Buyer's Name (If Applicable)		Owner's Purchase/Lessees Address: 16 OX HILL ROAD NEWTOWN, CT 06470	Cost Of Work: Fee \$ \$
Proposed Project Description: (Please be as specific as possible) HOUSE			
Contractor's Name, Address & Telephone			Work By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical Installation.

- All construction must be conducted in compliance with the 1996 I.C.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/ Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the code applicable to this project.

Signature of applicant: 	Date: 11-26-03
Site Review Fee: \$0.00 Building Permit Fee: \$30.00 for the 1st \$1000.00 plus \$6.00 per \$1,000.00 construction cost thereafter.	

0064006

01794170137

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS

THAT, Robert J. Waskiewicz of 70 Broadway Street, Westford, State of Massachusetts for consideration paid, grants to John J. Bates and Jane P. Bates of 16 Oxhill Road, Newton, State of Connecticut, with WARRANTY COVENANTS as joint tenants, the land in Great Diamond Island, County of Cumberland, State of Maine, described as follows:

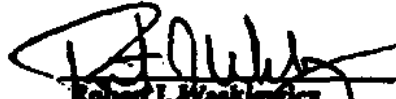
See Exhibit A attached hereto and made a part hereof

REAL ESTATE TAX PAID

IN WITNESS WHEREOF, I have hereunto set my hand this 9th day of August, 2002.



Witness



Robert J. Waskiewicz

STATE OF Massachusetts
COUNTY OF Middlesex

On this 9th day of August 2002, personally appeared before me the above-named Robert J. Waskiewicz, and acknowledged the foregoing to be his/her free act and deed.



Notary Public/Attorney at Law

My Commission Expires: 10/10/03



DK179416138

EXHIBIT A

A certain lot or parcel of land, together with any buildings and improvements thereon, situated on Great Diamond Island, City of Portland, County of Cumberland and State of Maine and being Lot No. 21 as shown on a plan entitled "Amended Successing Plan, Diamond Cove Phase II, Great Diamond Island, Portland, Maine, dated July 9, 1991 and recorded in the Cumberland County Registry of Deeds in Plan Book 191, Page 143 through 145 (the "Plan"), to which Plan and the record thereof reference can be made for a more particular description of the within conveyed premises.

Meaning and intending to convey the same premises described in a deed from Kerwin Galois, Successor Trustee of the Gamble B. Rocky Trust, a Mass Trust Realty, dated March 14, 2008 and recorded in the Cumberland County Registry of Deeds in Book 1248, Page 234.

RECEIVED
RECORDED REGISTRY OF DEEDS
2008 AUG 12 09:11:26
CUMBERLAND COUNTY
J. B. O'Brien

F. A. CUSHING, Inc.
Master Planning and Landscape Architecture
8 Cumberland Street, Brunswick, Maine 04011 (207) 729-7728

November 17, 2003

Jay Renolds Development Review
Planning and Development Department
Portland City Hall
839 Congress Street
Portland, Maine 04101

Re: Site development review for the Bates Residence lot 21 Diamond Cove

Dear Jay Renolds,

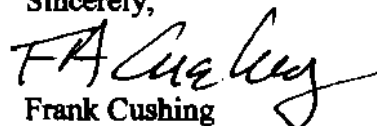
Attached please find the Site plan, Architecture and miscellaneous information for the Bates residence

The residence is situated on the lot for minimum disturbance on a predetermined building window. Water service and electric service are shown connected at existing stubs provided in Seal Cove Lane. The building foundation is stepped to minimize rock excavation and proposed fills are returned to existing grades as soon as possible. Erosion control will be practiced throughout the project. Silt fence and hay bale dikes are shown on the plan. There is no off site drainage crossing the disturbed areas and the watersheds to be controlled are very small. A drainage area of 4,000 SF in front of the residence will have to be captured in field drains and conducted to the rear yard. The conducted runoff will be released in a level pool and returned to sheet drainage. All runoff from the site will sheet through undisturbed vegetated buffers. The buffers are forested and are of good quality. All disturbed areas will be seeded or landscaped and stabilized with mulch.

A 2,500 SF growth preservation zone is required adjacent to the building window on the water side. All trees 4" DBH and greater are to be preserved. A 60 foot long temporary construction fence will be placed at the building side of the zone. The fence will be 2x4's on driven posts. The fence will be removed at the time of occupancy.

I hope you find this material acceptable and complete. If you require any additional information please contact me and I will proved what you need.

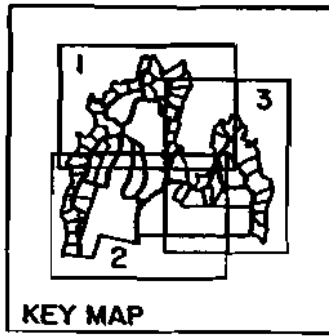
Sincerely,



Frank Cushing
Landscape Architect #63

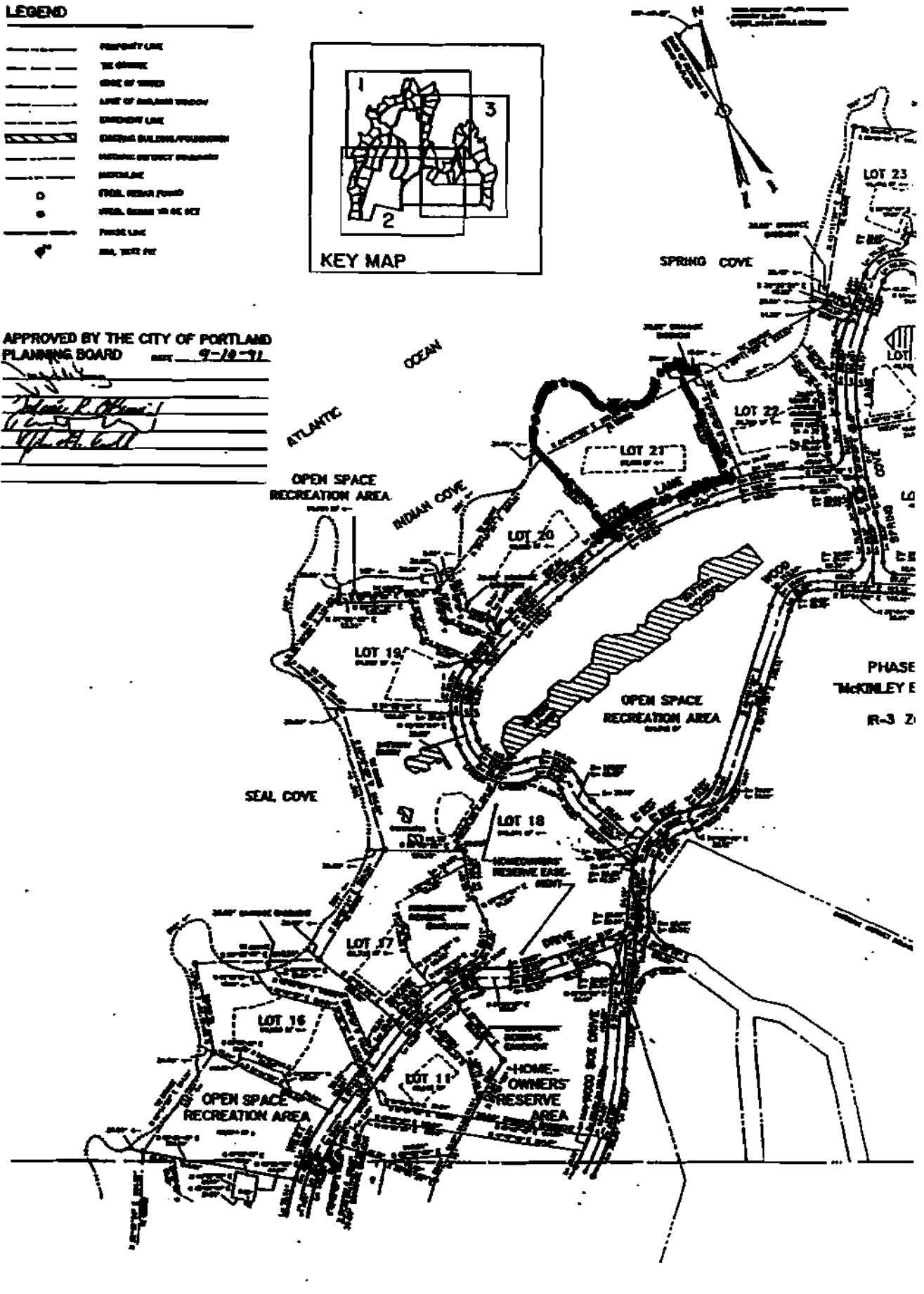
LEGEND

- PROPERTY LINE
- THE GRIND
- SIDE OF WALK
- LINE OF BUILDING WOODS
- EMBANKMENT LINE
- ▨ EXISTING BUILDING/FOUNDATION
- EXISTING STRUCTURE FOUNDATION
- BENCHLINE
- FRESH WATER POND
- FRESH WATER TO BE DRY
- FENCE LINE
- ◀ SEAL, WATER PIT

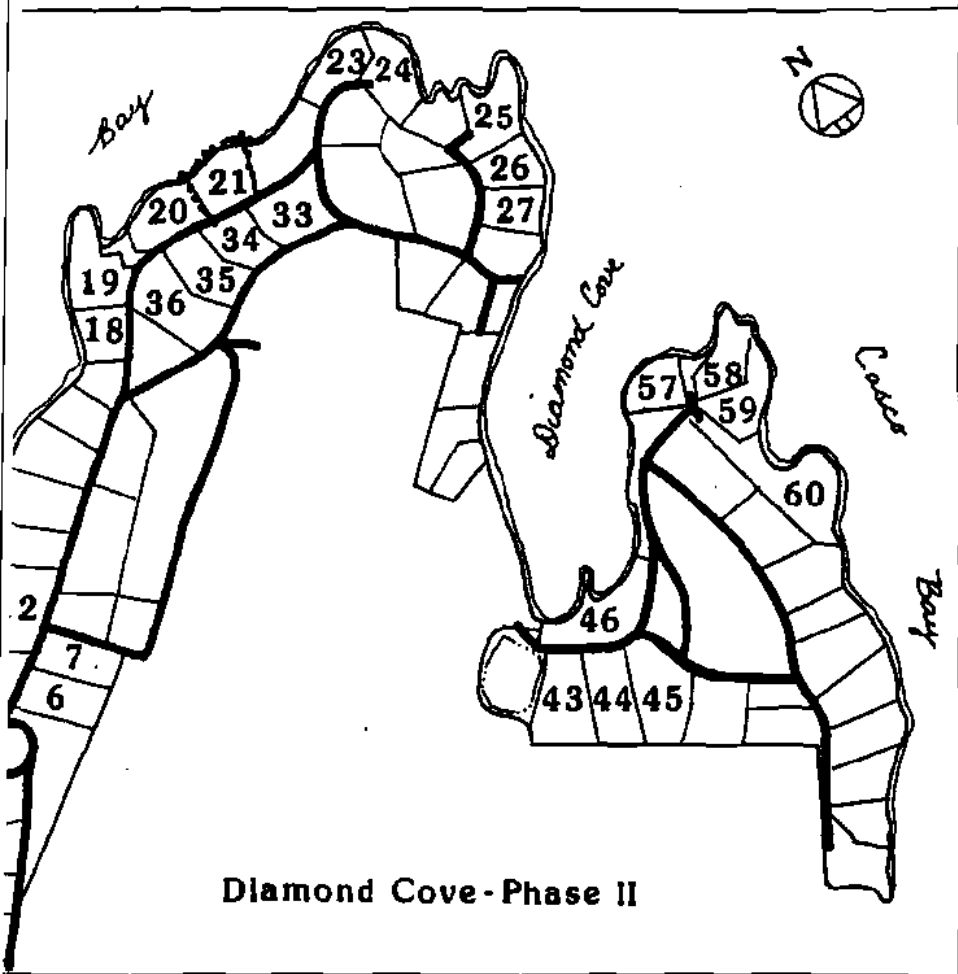


APPROVED BY THE CITY OF PORTLAND
PLANNING BOARD DATE 9-19-71

[Handwritten signatures and notes]



PHASE
MCKINLEY E
R-3 Z



Diamond Cove - Phase II

ption/Recommendations

Very heavily wooded site with even distribution of trees
 over 6" dbh which provide solid canopy for screening
 building windows sited on existing terraces to provide
 minimum clearing and slope disturbance
 Proposed building window reductions will eliminate potential
 for slope disturbance and tree removal
 Additional preservation restrictions to save growth 4" and
 up on areas of lot eliminating need for additional plantings
 in designated zone

PATES
 TREE SURVEY

Lot 21. Trees tallied in the zone between the building window in Lot 21 and potential viewsheds on the shore of Great Diamond Island, Casco Bay, Maine.

Tree Number	Species	DBH
1	Northern Red Oak	7.3
2	Northern Red Oak	9.0
3	Northern Red Oak	7.2
4	Northern Red Oak	9.3
5	Northern Red Oak	6.0
6	Northern Red Oak	8.9
7	Northern Red Oak	8.3
8	Northern Red Oak	8.1
9	Northern Red Oak	10.7
10	Northern Red Oak	6.0
11	American Beech	10.0
12	Northern Red Oak	10.3
13	Northern Red Oak	9.7
14	Northern Red Oak	8.3
15	White Pine	11.8
16	White Pine	6.8
17	Northern Red Oak	13.0
18	Northern Red Oak	7.3
19	White Pine	8.8
20	White Birch	6.3
21	White Pine	15.0
22	Northern Red Oak	8.9
23	White Pine	13.3
24	Northern Red Oak	9.0
25	Red Maple	7.0
26	Northern Red Oak	7.7
27	Northern Red Oak	7.2
28	Northern Red Oak	9.8
29	Northern Red Oak	7.6
30	Northern Red Oak	6.0
31	Northern Red Oak	10.0
32	Northern Red Oak	7.4

PAVES
TREES GURU

Tree Number	Species	DBH
33	Northern Red Oak	7.9
34	Northern Red Oak	6.9
35	Northern Red Oak	12.5
36	Northern Red Oak	9.7
37	White Birch	6.2
38	White Birch	6.3
39	White Birch	7.0
40	White Birch	6.6
41	Big-Toothed Aspen	8.4
42	Big-Toothed Aspen	9.0
43	Big-Toothed Aspen	7.9
44	Big-Toothed Aspen	6.4
45	Northern Red Oak	7.5
46	Northern Red Oak	7.8
47	Northern Red Oak	8.1
48	Northern Red Oak	7.8
49	White Birch	7.1
50	Northern Red Oak	9.4
51	White Birch	7.6
52	Northern Red Oak	7.0
53	White Birch	7.1
54	White Birch	8.0
55	White Birch	6.2
56	White Birch	7.6
57	White Birch	8.3
58	White Birch	6.3
59	Northern Red Oak	8.6
60	Northern Red Oak	9.1
61	White Birch	6.1
62	White Birch	6.3
63	White Birch	7.5
64	White Birch	6.6
65	White Birch	6.3

DATA
TREES SURVEY

TREE CURVES

Tree Number	Species	DBH
66	White Birch	6.0
67	Northern Red Oak	8.1
68	White Birch	7.0
69	White Birch	8.0
70	White Birch	8.7
71	White Birch	6.3
72	Northern Red Oak	6.8
73	White Birch	9.3
74	White Birch	6.8
75	White Birch	8.5
76	White Birch	6.1
77	White Birch	6.6
78	White Birch	6.7
79	Northern Red Oak	21.0
80	White Birch	6.3
81	White Birch	8.7
82	White Birch	9.3
83	White Birch	6.6
84	White Birch	12.2
85	Northern Red Oak	11.4
86	White Birch	8.6
87	Northern Red Oak	13.7
88	Northern Red Oak	20.3
89	Northern Red Oak	12.3
90	Northern Red Oak	23.5
91	Northern Red Oak	17.3
92	Northern Red Oak	15.2
93	Northern Red Oak	15.9
94	White Birch	9.6
	MEAN DIAMETER	8.4
	TREE COUNT	100



DGS Series

Lamp Types: Incandescent or Fluorescent.

Housing: Heavy duty, cast aluminum.

Finish: Standard finish is Verde Green polyester powder coat. Internal reflective surfaces are painted white.

Fasteners: All exposed fasteners are stainless steel.

Lens: Arm mounted fixtures have clear polycarbonate lenses as does the SSS. Other stem mounted fixtures have clear, tempered glass lenses.

Lampholder: Matched to lamp: Glazed porcelain, Medium base, or High-temperature thermoplastic on fluorescent fixtures.

Mounting: Fixture head may be suspended from an arm, or placed on top of a stem. A wide variety of grade mounted junction boxes and spikes are available for fixture mounting.

Stems: Mounting stems, in a variety of lengths, are brass and have a verde green polyester powder coat finish.

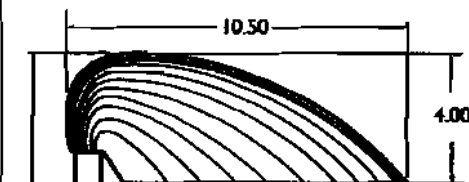
Ballast: Fluorescent ballast is encapsulated in silica filled resin and located in the junction box. Starting temperature is 0°F in the 5 and 9 watt models and 32°F in the 13 watt model.

Wiring: Pre-wired with 150°C rated thermoplastic wire on incandescent models and 105°C rated thermoplastic wire on fluorescent models.

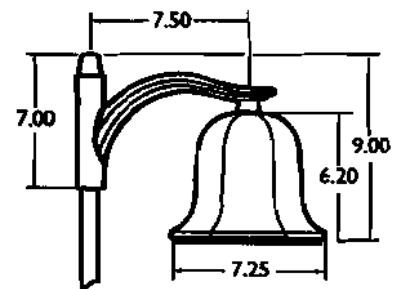
EXTRA VALUE FEATURES:

- Beautiful Verde-Green finish.
- Sturdy brass stems.
- Internal reflective surfaces are painted white.
- Rugged commercial grade construction.

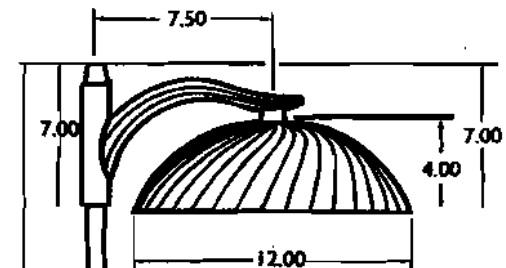
DGS



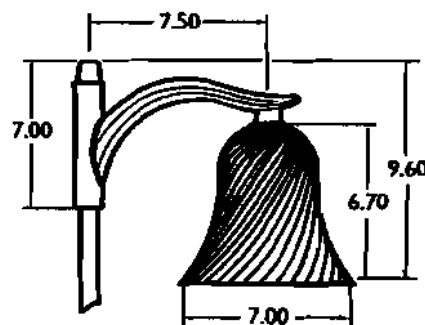
SSS



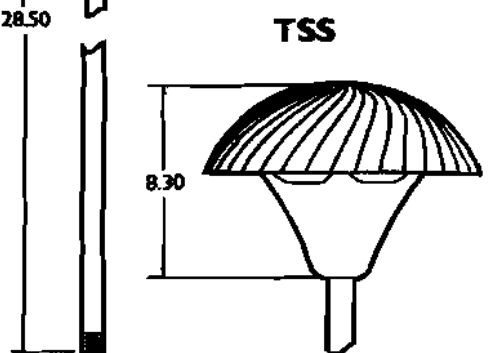
BAA



TSA

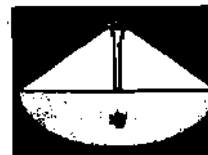


TAA



TSS

DGS Optics



DGS
FL 5 Watt Twin Tube
9 Watt Quad Tube
13 Watt Quad Tube
INC Up to 75 Watt

* Depends on HSG

LOW LEVEL

