

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

DEPARTMENT OF BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 031479

FEB 25 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Bates John I & Jane P Bates Goduti Co.

has permission to Build 2200 sf., partial daylight basement golf cart garage

AT 76 Seal Cove Ln, GRT Island, 083E A021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit must be completed before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_ DepartmentName

Handwritten signature and date 2/24/05

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1479	Issue Date: <b>PERMIT ISSUED</b> FEB 25 2003	083E A021001
Owner Address: 16 Oxhill Rd	Phone: 203-270-1040	
Contractor Address: 9 Deering Street Portland	Phone: 763768	
Permit Type:	Zone:	

Location of Construction: 76 Seal Cove Ln <i>GRT &amp; ISL</i>	Owner Name: Bates John J & Jane P Bates Jts
Business Name:	Contractor Name: Goduti Building Co.
Lessee/Buyer's Name	Phone:

Past Use: vacant land	Proposed Use: Single Family: Build 2200 sf., partial daylight basement w/ golf cart garage
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Permit Fee: \$5,148.00	Cost of Work: \$553,000.00	CEO District: 1
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FIRE DEPT: <i>N/A</i>	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>
Signature:	Signature:	

Proposed Project Description:  
Build 2200 sf., partial daylight basement w/ golf cart garage

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action  Approved  Approved w/Conditions  Denied

Signature \_\_\_\_\_ Date \_\_\_\_\_

Permit Taken By: *kwd* Date Applied For: *12/01/2003 / 12/20/04 routed*

**Zoning Approval**

<p>1. _____</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews <i>with 25B over 89' shown to HWM</i></p> <p><input checked="" type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Panel 9 Zone C</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>#2003-0256</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>OK with conditions</i></p> <p>Date: <i>9/12/23/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied <i>S</i></p> <p>Date: _____</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-1479	<b>Date Applied For:</b> 12/01/2003	<b>CBL:</b> 083E A02 1001
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<b>Location of Construction:</b> 76 Seal Cove Ln, Grt Dia Island	<b>Owner Name:</b> Bates John J & Jane P Bates Jts	<b>Owner Address:</b> 16 Oxhill Rd	<b>Phone:</b> 203-270-1040
<b>Business Name:</b>	<b>Contractor Name:</b> Goduti Building Co.	<b>Contractor Address:</b> 9 Deering Street Portland	<b>Phone:</b> (207) 776-3768
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family: Build 2200 sf.,partial daylight basement w/ golf cart garage	<b>Proposed Project Description:</b> Build 2200 sf.,partial daylight basement w/ golf cart garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 12/23/2004

**Note:** **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 02/24/2005

**Note:** **OktoIssue:**

- 1) There must be a 22" x 30" scuttle access.
- 2) There must be a 2" clearance maintained between the chimney and any combustible material and it must be draft stopped at every level.
- 3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 4) Permit approved based on the plans submitted and reviewed wiownerlcontractor, with additional information as agreed on and as noted on plans.
- 5) Separate permits are required for any electrical, plumbing, or heatmg.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Jay Reynolds      **Approval Date:** 01/14/2005

**Note:** **OktoIssue:**

- 1) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) Your new street address is now 76 SEAL COVE LANE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Dept:** Planning      **Status:** Not Applicable      **Reviewer:** Jay Reynolds      **Approval Date:** 01/14/2005

**Note:** **OktoIssue:**

**Comments:**

12/4/03-kwd: application submitted without fees; architect notified that application will not be reviewed until fees are determined and remitted. Kwd

12/4/03-kwd: subsurface application to MJN for review: permit #2003-6016.

1/19/05-tmm: left message for builder - need more info -

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<b>Business Name:</b>	<b>Contractor Name:</b> Goduti Building Co.	<b>Contractor Address:</b> 9 Deering Street Portland	<b>Phone</b> (207) 776-3768
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

# Calendar Island Architects, Inc.

152 Fogg Road  
Scarborough, ME 04074  
Tel. 207.885.9133  
Fax. 207.885.5533  
Email. wpogarr@aol.com



## MEMORANDUM

DATE: February 8, 2005  
TO: Tammy Munson, City of Portland-- Inspection Services Division  
cc: Goduti Building Company (Jamie Goduti)

FROM: William Pogar, AIA—Calendar Island Architects  
SUBJECT: Plan Review response—Bates Residence. Diamond Cove

Tammy,

As a follow up to our telephone conversation today, I am writing this memorandum to clarify and address items on your faxed plan review checklist. I would like to reiterate what I noted to during our phone conversation: the set you received for permitting was a pricing set. Thus, several drawings typically included in the construction set were not submitted. Sheet T-2, General Notes and Sheet S-6, Structural Notes have been attached, as PDF files to this memorandum and will provide clarification to some of your questions.

In addition, my response to your plan review comment is as follows:

STAIRS: Per Section 3 15, all handrails and guardrails shall have balusters with a clear opening of less than 4 inches- net opening.(Detail 20/A-8 addresses this for exterior handrails, but stair details on Sheet A-9 do not label the balustrade, as such.I will add this to Sheet A-9)

Item 5: Left Side Roof (@ Great Room) Rafters should be noted as 2x10 @ 16" o.c.—LVL hip and header beams are 1 3/4" x 9 1/2" nominal, and built-up per the number of ply's noted on the plan.

Item 6:-- a. Truss bearing points—truss bearing points are variable, depending upon plan location. Schematic Trusses Elevations are depicted on the Roof Framing Plan. For example: Truss Type A-- In the center area ( above Entry Hall/Kitchen—at the entry porch) bearing is at the exterior wall-- on the right side of the truss drawing. There are two bearing points on the left side-exterior wall at he porch and cased beam at the outside of the porch.

I believe the plan is clear as to truss bearing location. If not, per architect's requirements, a layout plan and shop drawings of each truss type will be required of the truss manufacturer and reviewed and approved by the GC and the Architect.

b. Nailing Schedule—see attached PDF of structural notes and general notes. This is generally included in the final drawing set, as noted above.

Item 7: Cedar Shingle Roof— Details on Sheet A-8 note "Composition Shingle Roof"—No cedar shingle roofing has been spec'd for this project.

Item 8: Safety Glazing -windows over the spa tub in the Master Bath will have safety glazing at each sash. Drawings already indicate safety glazing at the stairwell and adjacent to the entry

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## **MEMORANDUM**

door.

I trust that this response answers the questions you had and will allow this project to receive permitting from your office. If you have any further questions, please don't hesitate to call or e-mail me.

Thanks for your help.

Sincerely,

William P. Pogar, A.I.A.  
Architect  
Calendar Island Architects  
152 Fogg Road  
Scarborough, Maine 04074

**From:** <WPogarr@aol.com>  
**To:** <tmm@portlandmaine.gov>  
**Date:** Mon, **Feb** 14, 2005 12:30 PM  
**Subject:** response to review comments

Tammy Munson/Jamie Goduti,

Attached, please find pdf's of my response letter and 2 drawing files: Title sheet with specification notes, and S-5 Structural Notes.

I trust this will answer any questions you may have.

Sincerely,

William Pogar, AIA

Calendar Island Architects

**CC:** <gbcbuild@maine.rr.com>

11777 Pine Street, Suite 100  
 San Diego, CA 92161  
 (619) 444-1111  
 www.mccormick.com

NO.	DATE	DESCRIPTION

Jack and Jane Dates  
 Residence  
 Great Diamond Island, Maine

DRAWINGS THIS SHEET  
 STRUCTURAL NOTES

DATE: 10/20/14  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
**S-5**  
 COPYRIGHT © 2014  
 ALL RIGHTS RESERVED  
 PROJECT NO. 14-0000

1. DESIGN BEARING CAPACITY:  
 2.8 KSF FOOTINGS ON SOIL  
 6.6 KSF FOOTINGS ON LEVÉE

2. ORDER TO PROVIDE GEOTECHNICAL INVESTIGATION PER BOCA 1996 CODE REQUIREMENTS

3. CONTRACTOR SHALL RETAIN A QUALIFIED TESTING LABORATORY TO PERFORM THE FOLLOWING TESTS:  
 a. USE CRUSHY TEST PER 1000 SQUARE FEET OF COMPACTED SUBGRADE AND COMPACTED FILL.  
 b. ANY MATERIAL THAT DOES NOT MEET CRUSHY REQUIREMENTS OF ANY TEST SHALL BE REJECTED. A GEOTECHNICAL INVESTIGATION REPORT SHALL BE PROVIDED AND REJECTED MATERIALS SHALL BE REWORKED AT CONTRACTOR'S EXPENSE. RETESTING OF REJECTED MATERIAL WILL BE AT CONTRACTOR'S EXPENSE.

4. PLACE FOOTINGS ON EXPOSED LEVÉE SURFACE WHERE POSSIBLE. STRIP SOIL COVER FRONT LEVÉE AND CLEAN ALL LOOSE MATERIAL FROM LEVÉE SURFACE BEFORE CONSTRUCTING FOOTINGS.

5. WHERE FOOTINGS DO NOT BEAR DIRECTLY ON LEVÉE PROVIDE FPN, 5" OF SOIL COVER ABOVE BOTTOM OF FOOTING. PLACE FOOTINGS ON EXPOSED LEVÉE SURFACE WHERE POSSIBLE. REJECTING OF UNSUITABLE MATERIALS USE ENCOUNTERED AT FOOTING SUBGRADE.

6. UNDER FLOOR SLABS, REMOVE TOPSOIL AND UNSUITABLE MATERIALS TO EXPOSED LEVÉE SURFACE WITH COMPACTED GRAVEL. PROVIDE FPN 6" OF COMPACTED GRAVEL OR SAND UNDER FLOOR.

7. UNDER SLABS (AND FOOTINGS IF REQUIRED) CONTACT MATERIAL TO EXIST GRAVEL. DENSITY DETERMINED BY ASTM D1557-TAPPED.

8. PROVIDE MATERIAL MEETING THE FOLLOWING GRADATIONS BY WEIGHT:  
 GRAVEL:  
 SIEVE SIZE % PASSING  
 3" 100  
 1 1/4" 90  
 NO. 40 0-30  
 NO. 100 0-5  
 SAND:  
 SIEVE SIZE % PASSING  
 3/8" 100  
 NO. 4 100  
 NO. 10 95  
 NO. 20 80

9. BACKFILL BOTH SIDES OF FOUNDATION WALLS AT THE SAME TIME. EXCEPT FOR WALLS DESIGNED TO BE PERMANENT RETAINING WALLS. DO NOT BACKFILL RETAINING WALLS UNTIL 1 DAY'S AFTER PLACING CONCRETE.

**CONCRETE NOTES:**

1. DESIGN CODE: ACI 318-08

2. FPN 28 DAY COMPRESSIVE STRENGTH: 4000 PSI / (4.0 MPa ON GRADE) / 5000 PSI (ALL OTHERS)

3. REINFORCEMENT: GRADE 60 ASTM A63 WELDED WIRE FABRIC A571 A95

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5. PROVIDE CONTROL JOINTS OR CONSTRUCTION JOINTS IN FOUNDATION WALLS AT 40' O.C. MAX SPACING. LOCATE JOINTS TO MATCH JOINTS IN MASONRY WHERE POSSIBLE.

6. SPlice LENGTHS (UNLESS SHOWN OTHERWISE):  
 14 D: 44'  
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 24 D: 72'

7. COORDINATE PENETRATIONS WITH MECHANICAL, ELECTRICAL AND CIVIL WORK.

8. LET CURE ALL CONCRETE 1 DAYS AFTER PLACEMENT

**WOOD BRACING NOTES:**

1. STRUCTURAL LUMBER: NO 2 SPRUCE-PINE-FIR OR BETTER AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.

2. DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION 1989 EDITION.

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1. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OR APPROVED EQUAL.

2. WOOD TRUSSES SHALL BE DESIGNED WITH AT LEAST ONE HORIZONTAL ROLLER CONNECTION PER SPAN SO THAT NO HORIZONTAL REACTIONS ARE INDUCED ON SUPPORTS UNDER DEAD OR LIVE LOADS. WOOD TRUSSES MUST BE DESIGNED FOR DEAD, LIVE, WIND AND SEISMIC LOADS PER BOCA 1996. SMOG LOAD COMBINATIONS ON SHOP DRAWINGS.

3. BRACING: THE TRUSS MANUFACTURER SHALL SPECIFY ALL BRACING REQUIREMENTS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LITERATURE. LATERAL BRACING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL TRUSS MEMBERS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LITERATURE. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LITERATURE. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LITERATURE.

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9. ALL WOOD TRUSSES SHALL BE FASTENED TO THEIR SUPPORTS WITH CODE APPROVED APPROVED EQUIVALENT MANUFACTURER'S ALL CONNECTION HARDWARE IS TO BE FULLY FASTENED PER MANUFACTURER'S REQUIREMENTS.

10. GABLE END WALL TRUSSES MUST TRANSFER LATERAL LOADS TO THE SHEAR WALLS AND/OR THE ROOF DIAPHRAGM.

11. PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.

12. SUBMIT WOOD TRUSS SHOP DRAWINGS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER AND THE FOLLOWING INFORMATION:  
 - THE SEALED WOOD TRUSS DESIGN CALCULATIONS FOR EACH TYPE OF TRUSS AND BEARING WOOD TRUSS DESIGN CALCULATIONS INCLUDING CONNECTION DETAILS.  
 - THE SEALED WOOD TRUSS TEMPORARY ERECTION BRACING PLAN.

13. PRE-ENGINEERED WOOD JOISTS:  
 1. PRE-ENGINEERED WOOD JOISTS SHALL BE BY TRUSS JOIST CORPORATION OR BY ENGINEER APPROVED EQUIVALENT MANUFACTURER.

2. DESIGN CODES:  
 NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION 1989 EDITION.  
 BOCA NATIONAL BUILDING CODE 1996.

3. PRE-ENGINEERED WOOD JOISTS SHALL BE SHOP FABRICATED WITH STRUCTURAL GRADE LUMBER. MACHINE SPIN RATED FLANGES AND WATERPROOF TITL GULFS.

4. MANUFACTURER SHALL VERIFY AND CONTRACTORS SHALL INSTALL JOIST BRACING AND ALL TEMPORARY ERECTION BRACING. WOOD FLOORING SHALL BE GULFED AND VALLED PER JOIST MANUFACTURER'S REQUIREMENTS.

5. ALL CONNECTION HARDWARE SHALL BE GALVANIZED SPINNON STROKES OR APPROX. STROKES OR BY ENGINEER APPROVED EQUIVALENT MANUFACTURER. ALL CONNECTION HARDWARE IS TO BE FULLY FASTENED PER MANUFACTURER'S REQUIREMENTS.

6. PRE-ENGINEERED WOOD JOISTS MUST BE DESIGNED FOR DEAD, LIVE, WIND AND SEISMIC FORCES PER BOCA 1996. SHALL SHOW LOAD COMBINATIONS ON SHOP DRAWINGS.

7. IDENTIFY PRE-ENGINEERED WOOD JOIST SHOP DRAWINGS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER.

8. MICROLAM LVL LUMBER:  
 NATIONAL MANUFACTURE AND QUALITY CONTROL SHALL BE IN ACCORDANCE WITH CANO REPORT NO. 1676.6. ACHIEVEMENTS SHALL BE WATERPROOF TYPE CONCERNING TO REQUIREMENTS OF ASTM D-2559.

9. MINIMUM ALLOWABLE STRESSES:  
 F<sub>y</sub> = 7000 PSI  
 F<sub>t</sub> = 7000 PSI  
 E = 1,200,000 PSI  
 THIS IS IN AGREEMENT WITH 04-000-4 ABOVE REQUIREMENTS.

10. PROVIDE WRITTEN CERTIFICATION THAT MICROLAM LVL MEMBERS CONFORM TO LOADLINE NOTES:  
 CODE: BOCA 1996  
 AREA LIVE LOADS:  
 ROOMS: 40 PSF (20 PSF PARTITION)  
 LOBBY LOAN: 100 PSF  
 STAIRS: 100 PSF  
 STORAGE: 100 PSF

11. FLOOR DL:  
 ASPHALT SHAKLES: 15  
 7 X FRAMING WOOD TRUSSES: 4.0  
 5/8" O.D. HD. CEILING: 1.0  
 MISC.: 1.0  
 TOTAL: 16.0 PSF

12. FLOOR DL:  
 1 X TRIMMING BEAMS: 1.0  
 DECKING: 1.0  
 FLOORING: 1.0  
 GYPSED CEILING: 1.0  
 MISC.: 1.0  
 TOTAL: 5.0 PSF

13. PARTS AND COMPONENT WIND LOADS (ALL ZONES):  
 POSITIVE PRESSURE WIND: P = 13 PSF  
 NEGATIVE PRESSURE WIND: P = -13 PSF  
 POSITIVE PRESSURE WIND: P = 13 PSF  
 NEGATIVE PRESSURE WIND: P = -13 PSF  
 POSITIVE PRESSURE WIND: P = 13 PSF  
 NEGATIVE PRESSURE WIND: P = -13 PSF

14. DEAD LOADS:  
 F = 85 X (BEAM OR TRUSS REACTION LOAD)

15. ROOF DL:  
 ASPHALT SHAKLES: 15  
 7 X FRAMING WOOD TRUSSES: 4.0  
 5/8" O.D. HD. CEILING: 1.0  
 MISC.: 1.0  
 TOTAL: 16.0 PSF

16. FLOOR DL:  
 1 X TRIMMING BEAMS: 1.0  
 DECKING: 1.0  
 FLOORING: 1.0  
 GYPSED CEILING: 1.0  
 MISC.: 1.0  
 TOTAL: 5.0 PSF



# Residence for John and Jane Bates

76 Seal Cove Lane

Great Diamond Island, Maine

## GENERAL NOTES:

1. Verify all dimensions and conditions prior to beginning any work and notify owner of any discrepancies.
2. All dimensions shall be indicated on one-sided drawings. DO NOT SCALE ANY DRAWINGS.
3. The designer does not warrant the fitness of the drawings for any use other than that intended. The drawings are not to be used for any other purpose without the written consent of the designer.
4. The drawings are not to be used for any other purpose without the written consent of the designer.
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10. The drawings are not to be used for any other purpose without the written consent of the designer.

## DESIGN LOADS:

USE LOADS  
Roof (incl. snow) 20 psf  
Floor (incl. partitions) 40 psf  
Ceiling 10 psf  
Wind 15 psf  
Snow 30 psf  
Soil 100 psf  
Water 6.2 psf  
Ice 10 psf

## MISCELLANEOUS

1. Contractor shall verify all conditions and dimensions prior to beginning work.
2. Plans shall be for construction from the designer.
3. All work shall be in accordance with the specifications and details.
4. All work shall be in accordance with the specifications and details.
5. All work shall be in accordance with the specifications and details.
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7. All work shall be in accordance with the specifications and details.
8. All work shall be in accordance with the specifications and details.
9. All work shall be in accordance with the specifications and details.
10. All work shall be in accordance with the specifications and details.

## FOUNDATIONS:

1. Foundations shall be on the undisturbed soil surface. All foundations shall be on the undisturbed soil surface.
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3. Foundations shall be on the undisturbed soil surface. All foundations shall be on the undisturbed soil surface.
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## REINFORCING STEEL

1. All reinforcing steel shall be deformed steel bars conforming to ASTM A618 or A615.
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10. All reinforcing steel shall be deformed steel bars conforming to ASTM A618 or A615.

## WOOD FRAMING

1. All framing shall be in accordance with the specifications and details.
2. All framing shall be in accordance with the specifications and details.
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10. All framing shall be in accordance with the specifications and details.

## NAILING SCHEDULE

- CONNECTION: NAILING:
- Joist to joist: 16d  
Joist to plate: 16d  
Plate to plate: 16d  
Plate to joist: 16d  
Plate to wall: 16d  
Plate to floor: 16d  
Plate to ceiling: 16d  
Plate to roof: 16d  
Plate to foundation: 16d  
Plate to chimney: 16d  
Plate to porch: 16d  
Plate to deck: 16d  
Plate to stairs: 16d  
Plate to balcony: 16d  
Plate to ramp: 16d  
Plate to landing: 16d  
Plate to stairs: 16d  
Plate to balcony: 16d  
Plate to ramp: 16d  
Plate to landing: 16d

## NOTES

1. All framing shall be in accordance with the specifications and details.
2. All framing shall be in accordance with the specifications and details.
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9. All framing shall be in accordance with the specifications and details.
10. All framing shall be in accordance with the specifications and details.

TITLE SHEET

BATES RESIDENCE  
GREAT DIAMOND ISLAND, MAINE

NO. DATE REVISIONS

12 Seal Cove Lane, Great Diamond Island, ME 04862  
Tel: (207) 866-1111 Fax: (207) 866-1112  
E-mail: info@johnandjane.com  
www.johnandjane.com

DATE: 11-11-2008  
DRAWN BY: JTB  
CHECKED BY: JTB

T-1

CONTRACT NO. 08-001  
PROJECT NO. 08-001

DRAWINGS THIS SHEET

## INSULATION

- OVERHEAD RAFTERS: R-30  
WALLS: R-13  
CEILING: R-13  
FLOOR: R-30  
ROOF: R-30  
CHIMNEY: R-30  
PORCH: R-30  
BALCONY: R-30  
RAMP: R-30  
LANDING: R-30  
STAIRS: R-30  
BATH: R-30  
KITCHEN: R-30  
LIVING: R-30  
DINING: R-30  
BEDROOM: R-30  
HALL: R-30  
CLOSET: R-30  
STAIRS: R-30  
BATH: R-30  
KITCHEN: R-30  
LIVING: R-30  
DINING: R-30  
BEDROOM: R-30  
HALL: R-30  
CLOSET: R-30

## SYMBOL LEGEND

- LEGEND ... ELECTRICAL
- 1. SWITCH
  - 2. 3-WAY SWITCH
  - 3. DIMMER SWITCH
  - 4. DIMMER SWITCH
  - 5. DIMMER SWITCH
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## CODE ANALYSIS/FIRE RESISTANCE RATINGS

- CONNECTION TYPE: FIRE R. CONSTRUCTION
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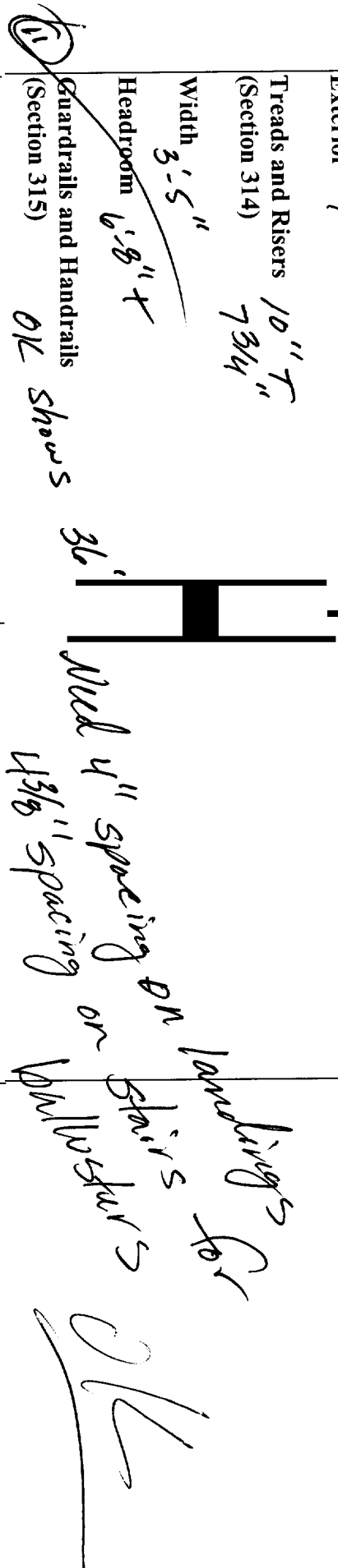
## DRAWING INDEX

- T-1 TITLE SHEET
- L-1 SITE PLAN (SHADING)
- L-2 FOUNDATION PLAN
- L-3 PLANTING PLAN
- A-0 GROUND FLOOR PLAN
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 ELEVATIONS
- A-4 ELEVATIONS
- A-5 BUILDING SECTIONS
- A-6 WALL SECTION
- A-7 SCHEDULES AND DETAILS
- A-8 INTERIOR ELEVATIONS
- A-9 INTERIOR ELEVATIONS
- S-1 FOUNDATION PLAN
- S-2 FLOOR FINISHING PLAN
- S-3 ROOF FINISHING PLAN
- S-4 STRUCTURAL NOTES

Left side roof trusses?   
 Trusses - not labeled but have?   
 Bearing points do not support?   
 Trusses - not labeled but have?   
 Bearing points do not support?   
 Trusses - not labeled but have?   
 Bearing points do not support?

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.4(1) & Table 503.3.2(1))	Trusses - not labeled but have? Bearing points do not support? Trusses - not labeled but have? Bearing points do not support?
Roof Rafter Pitch, Span, Spacing & Dimension (Table 802.3.7(1))	Trusses - not labeled but have? Bearing points do not support? Trusses - not labeled but have? Bearing points do not support?
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK
Fastener Schedule (Table 602.3(1) & (2))	Not shown
<b>Private Garage</b> Section 309 and Section 407 1999 BOCA)	
Living Space? (Above or beside)	shows 5/8" Type X
Fire separation	OK
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	OK 1 3/4" solid wood
Egress Windows (Section 310)	OK - 4032's + door
Roof Covering (Chapter 9)	Shows cedar shingles - Not classified
Safety Glazing (Section 308)	Used in whirlpool area, toilet area in master bath
Attic Access (BOCA 1211.1)	Not shown?
Draft Stopping around chimney	Not shown

Header Schedule	OK	
Type of Heating System	OK	
<b>Stairs</b>		
Number of Stairways /		
Interior /		
Exterior /		
Treads and Risers (Section 314)	10" T 7 3/4"	
Width	3'-5"	
Headroom	6'-8" +	
Guardrails and Handrails (Section 315)	OK shows	36'
Smoke Detectors		
Location and type/Interconnected	OK	
Plan Reviewer Signature		



See Chimney Summary Checklist

2nd floor plan - 2nd floor  
OK

176-3768  
Jamie Giodi

76 Seal Cove Ln  
#B3-1479

B3E-A-021

Willie Papp  
Architect

Soil type/Presumptive Load Value (Table 401.4.1)

Component	Plan Reviewer	Inspection/Date/Findings
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	Frost wall under Garage? - $\sqrt{15}$	OK
Foundation Drainage Damp proofing (Section 406)	OK	OK
Ventilation (Section 409.1) Crawls Space ONLY	OK	OK
Anchor Bolts/Straps (Section 403.1.4)	Need Max L:OC -	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK	OK
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	13' span of 3-1"x11" $\frac{7}{8}$ " LVL's Exceeds? -	OK
Sill/Rand Joist Type & Dimensions First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	OK $\frac{7}{8}$ " I Joists	OK
Second Floor Joist Species Dimensions and Spacing (Table 503.3.2(1))	2nd floor plan?	None

3

2

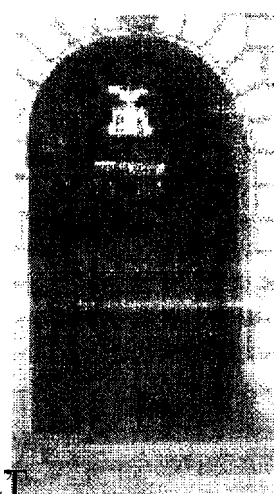
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City of Portland  
**INSPECTION SERVICES**

Room 315  
389 Congress Street  
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693  
Facsimile: 207-874-8716



**FACSIMILE TRANSMISSION COVER SHEET**

TO: <u>Will Poyar</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>885-5533</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: _____	RE: <u>76 Seal Cove Lane</u>
DATE: _____	

Comments:

*These are the items that need to be addressed on the plans.*

*Thanks.*

*76 Seal Cove*

**From:** Jay Reynolds  
**To:** Single Family Signoff  
**Date:** Fri, Jan 14, 2005 1:52 PM  
**Subject:** 76 Seal Cove Lane, Gt. Diamond Isl.

2003-0256, CBL 083EA021

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
jayjr@portlandmaine.gov

**CC:** Marge Schmuckal

03-1479

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>LOT 21 SEAL COVE LANE, GRT</u> ◊		
Total Square Footage of Proposed Structure <u>39 SF</u>	Square Footage of Lot <u>57,493</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>083 E</u> Block# <u>A</u> Lot# <u>02</u>	Owner: <u>JACK + JANE BATES</u>	Telephone: <u>203-426 5311</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone. <u>Godsh Building Co</u> <u>9 Deering St Portland, - 04101</u>	cost Of Work: \$ <u>75.00</u> Fee: \$ <u>10.00</u>
Current use: <u>vacant land</u>	Site plan <u>300.00</u>	
If the location is currently vacant, what was prior use: _____	<u>410.00</u>	
Approximately how long has it been vacant: _____	<u>pd 300.00</u>	
Proposed use: <u>construct SFR + <del>septic system</del></u>	<u>owes \$110.00</u>	
Project description: <u><del>septic system</del> SFR <u>2000</u> SF, partial daylight</u>	<u>pd 12/4/03</u>	
Contractor's name, address & telephone: <u>Godsh Building Co Inc. 776-3768</u> <u>golf cart garage</u>		
Who should we contact when the permit is ready: _____		
Mailing address: <u>same as above</u> <u>Jamie Godsh's, builder 776-3768</u>		
<p><b>You will contact you by phone when the review the requirements before starting and a \$100.00 fee if any work starts before you must come in and pick up the permit and review. A stop work order will be issued</b></p>		

IF THE REQUIRED INFORMATION IS NOT DENIED AT THE DISCRETION OF THE BUILDING OFFICIAL IN ORDER TO APPROVE

I hereby certify that I am the Owner of record and have been authorized by the owner to make this application. In addition, if a permit for work is issued, I shall have the authority to enter all areas necessary to this permit

Signature of applicant: [Signature]

James P. Godsh

This is NOT a permit, you may not enter the property until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the

Planning Department on the 4th floor of City Hall

Permit is 12/4/03  
in system  
(# 03-1479)  
not printed  
until fees determined  
and paid

PERMITS WILL BE AUTOMATICALLY REVOKED IF THERE ARE ADDITIONAL FEES DUE

Official's authorized representative  
DEC - 1 2003

12-1-03

Applicant: <sup>owner</sup> Jane & John Batas

Date: 12/23/04

Address: 76 Seal Cove Lane, GRT & Isl. C-B-L: 083E-A-021

CHECK-LIST AGAINST ZONING ORDINANCE

# 03-1479

Date - New Dev.

Zone Location - LR-1

Interior or corner lot -

43' x 73' + 9.5' x 20.5'

Proposed Use/Work - to construct New Single family dwelling

Sevage Disposal - Private

Lot Street Frontage - 100' min - 164.40' shown

Front Yard - 30' min - 47.5' scaled

Rear Yard - 30' min - 89' shown

Side Yard - 20' min - 76' & 101' shown/scaled

Projections - front entry - porch on left side - porch on rear

Width of Lot - 100' min -  $\frac{139.40}{25.00}$  shown +

Height - 35' from predev. grade - 29.0' AT lowest Grade to ridge

Lot Area - 40000<sup>#</sup> min req - 57,493<sup>#</sup> given less than 10,000<sup>#</sup> area cleared - less than 25%

Lot Coverage Impervious Surface - 20% MAX 11,498.6<sup>#</sup> MAX

Area per Family - 40,000<sup>#</sup> min

Off-street Parking - 2 pkg spaces req - 2 spaces shown (one in & one out)

Loading Bays - N/A

Site Plan - # 2003-0256

Shoreland Zoning/ Stream Protection - shall be at least 75' from HWM 209' shown within 250'

Flood Plains - Panel 9 - Zone C.

43 x 73 = 3139  
9.5 x 20.5 = 194.75

3333.75<sup>#</sup>