

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 061542

PERMIT ISSUED

NOV 27 2006

This is to certify that LEE JUDITH K /Island Cottage/ Glenn Ruesswick

has permission to Single Family Cottage

AT 42 SEAL COVE LN

083E A019001

provided that the person or persons who obtain or accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Thomas M. Mankay* 11/22/06  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Location of Construction:</b> 42 SEAL COVE LN, <i>C.W. Daniel</i>		<b>Owner Name:</b> LEE JUDITH K		<b>Owner Address:</b> DIAMOND COVE		<b>Permit No:</b> 06-1542		<b>Issue Date:</b> NOV 27 2006		<b>EBL:</b> 083E A019001					
<b>Business Name:</b>		<b>Contractor Name:</b> Island Cottage/ Glenn Ruesswick		<b>Contractor Address:</b> P.O. Box 250 Kittery		<b>Phone:</b> 1074393399		<b>City of Portland</b>		<b>Zone:</b> IR-1					
<b>Leasee/Buyer's Name</b>		<b>Phone:</b>		<b>Permit Type:</b> Single Family		<b>Zone:</b> IR-1		<b>Permit Fee:</b> \$2,145.00		<b>Cost of Work:</b> \$205,000.00					
<b>Past Use:</b> Vacant Land		<b>Proposed Use:</b> Single Family Cottage		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied		<b>INSPECTION:</b> Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>		<b>CEO District:</b> 1		<b>Signature:</b> <i>jm 11/22/06</i>					
<b>Proposed Project Description:</b> Single Family Cottage		<b>Signature:</b>		<b>Signature:</b>		<b>Signature:</b>		<b>Signature:</b>		<b>Signature:</b>					
<b>Permit Taken By:</b> Idobson		<b>Date Applied For:</b> 10/20/2006		<b>Zoning Approval</b>											
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..				<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland <i>house is clear got past the 75' line.</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>pared 9- zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2006-0206</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>C.W. Daniel</i> Date: <i>11/22/06</i>				<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:				<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABN</i> Date:			

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

<input checked="" type="checkbox"/> Footing/Building Location Inspection:	<u>Prior to pouring concrete</u>
<input checked="" type="checkbox"/> Re-Bar Schedule Inspection:	<u>Prior to pouring concrete</u>
<input checked="" type="checkbox"/> Foundation Inspection:	<u>Prior to placing ANY backfill</u>
<input checked="" type="checkbox"/> Framing/Rough Plumbing/Electrical:	<u>Prior to any insulating or drywalling</u>
<input checked="" type="checkbox"/> Final/Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

☒ If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

☒ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of Applicant/Designee

11.27.06  
Date

[Signature]  
Signature of Inspections Official

Date

CBL: 83 E A 19

Building Permit #: 061542

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
06-1542	10/20/2006	083E A019001

Location of Construction: 42 Seal Cove Ln	Owner Name: Lee Judith K	Owner Address: Diamond Cove	Phone:
Business Name:	Contractor Name: Island Cottage/ Glenn Ruesswick	Contractor Address: P.O. Box 250 Kittery	Phone (207) 439-3399
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Cottage	Proposed Project Description: Single Family Cottage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 11/22/2006**Note:** 11/15/06 Need verification in writing that the pre & post construction grade will be the same. Need confirmation of the size of the cottage including the porch.      **Ok to Issue:** ☒

11/17/06 Passing permit on to Residentail Plan Reviewers. I can't sign off until I receive the two items above.

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is to build the cottage only. No garage is being built at this time. Separate permits shall be required for future decks, sheds, pools, and/or garages.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 11/22/2006**Note:**      **Ok to Issue:** ☒

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Fastener schedule per the IRC 2003
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 5) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) The design load spec sheets for any engineered beam(s) must be submitted to this office.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** drc      **Approval Date:** 11/15/2006**Note:**      **Ok to Issue:** ☒

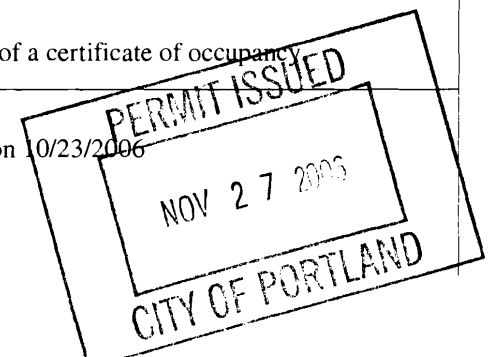
- 1) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

10/20/2006-ldobson: Paid for Subsurface DID NOT bring in at time of submission. Will bring in on 10/23/2006

10/23/2006-ldobson: brought in sub surface routed w/ permit

11/1/2006-amachado: Spoke to Alex Ross, Engineer. Told him what we needed.



<b>Location of Construction:</b> 42 Seal Cove Ln	<b>Owner Name:</b> Lee Judith K	<b>Owner Address:</b> Diamond Cove	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Island Cottage/ Glenn Ruesswick	<b>Contractor Address:</b> P.O. Box 250 Kittery	<b>Phone</b> (207) 439-3399
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

11/15/2006-gg: received revised and approved site plan. /gg

10/26/2006-amachado: Spoke to Glenn Ruesswick from Island Cottage. House and porch does not meet 30' front setback. We need to see both preconstruction grade and post construction grade on the elevation plans. We need to see two parking spaces beyond the front setback (they can be for golf carts). Glenn said that the garage is not being built. It needs to be removed from the siteplan if it is not being constructed. It also does not meet the 30' setback. Glenn said that Alex Ross, the engineer, would call me.

11/15/2006-amachado: Received revised site plan. The front setback is now being met & the two parking spaces are being shown for the golf carts. The footprint of the building and the porch is 43' x 36'. The building plans have it as 45' x 36'. Which is it? Elevation plans still don't show pre & post construction grade. They might not be changing but we need this confirmed in writing,

11/17/2006-amachado: Forwarding permit to Residential Plan Reviewers.

Applicant: Judith Lee

revised site plan 11/15/06  
Date: 10/25/06

Address: 42521 Cove Lane, Great Diamond

C-B-L: 83E-A-019  
permit # 06-1542

### CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - build new single family house

Sevage Disposal - private

Lot Street Frontage - 124 min - 100' scaled

Front Yard - 30' min - ~~20'~~ <sup>30'</sup> scaled to back middle of front porch.  
~~20' scaled to garage~~

Rear Yard - 30' min - ~~18'~~ <sup>189'</sup> scaled

Side Yard - 20' min - right ~~27'~~ <sup>245'</sup> scaled 23  
left ~~41'~~ <sup>41'</sup> scaled 39' scaled to hot tub deck  
~~garage - 24' scaled to left~~

Projections - 11x13 deck

Width of Lot - 100' min - 113' scaled

Height - 35' max - from lowest grade to midway - 32' scaled

Lot Area - 60,000 sq ft w/ public water - ~~55,537~~ 55,537 sq ft on site plan - section 14-433  
approved subdivision - Diamond Cove Phase II lot 3/91

Lot Coverage Impervious Surface - 25% 11,107.4 sq ft

Area per Family -

Off-street Parking - 2 spaces ~~2~~ <sup>2 spaces for self car or</sup> ~~2~~ <sup>2</sup> ~~spaces~~

Loading Bays - N/A

Site Plan - minor/minor 2006-0206

Shoreland Zoning/Stream Protection - property w/in 250' but house is @ least  
80' past 75' high water line setback

Flood Plains - parcel 9 - zone C

\* day 1st basement

CITY OF PORTLAND

45x36 = 1620  
11x13 = 143  
~~8x12 = 96~~  
~~189~~  
1763



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>42 Seal Cove Lane Great Diamond Is. Map 83E Lot 19</u>		
Total Square Footage of Proposed Structure <u>1600</u>		Square Footage of Lot <u>55,537</u>
Tax Assessor's Chart, Block & Lot Chart# <u>83</u> Block# <u>EA</u> Lot# <u>19</u>		Owner: <u>Judy Lee</u> Telephone: <u>207-766-5814</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Judy Lee</u> <u>42 Seal Cove Lane</u> <u>Diamond Cove ME 04109</u>	Cost Of Work: \$ <u>205,000 -</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Vacant Lot</u> If vacant, what was the previous use? <u>None</u> Proposed Specific use: <u>Single Family Res.</u> Project description: <u>perimeter foundation + cottage per plan.</u>		
Contractor's name, address & telephone: <u>Skip Murry 207 799 3279</u> Who should we contact when the permit is ready: <u>Island Cottage - Glenn Ruesswold</u> Mailing address: <u>POB 260</u> <u>Kittery ME</u> <u>03909</u> Phone: <u>207 439 3399</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]  
for: Judy Lee

Date: 10/16/06

This is not a permit; you may not commence ANY work until the permit is issued.

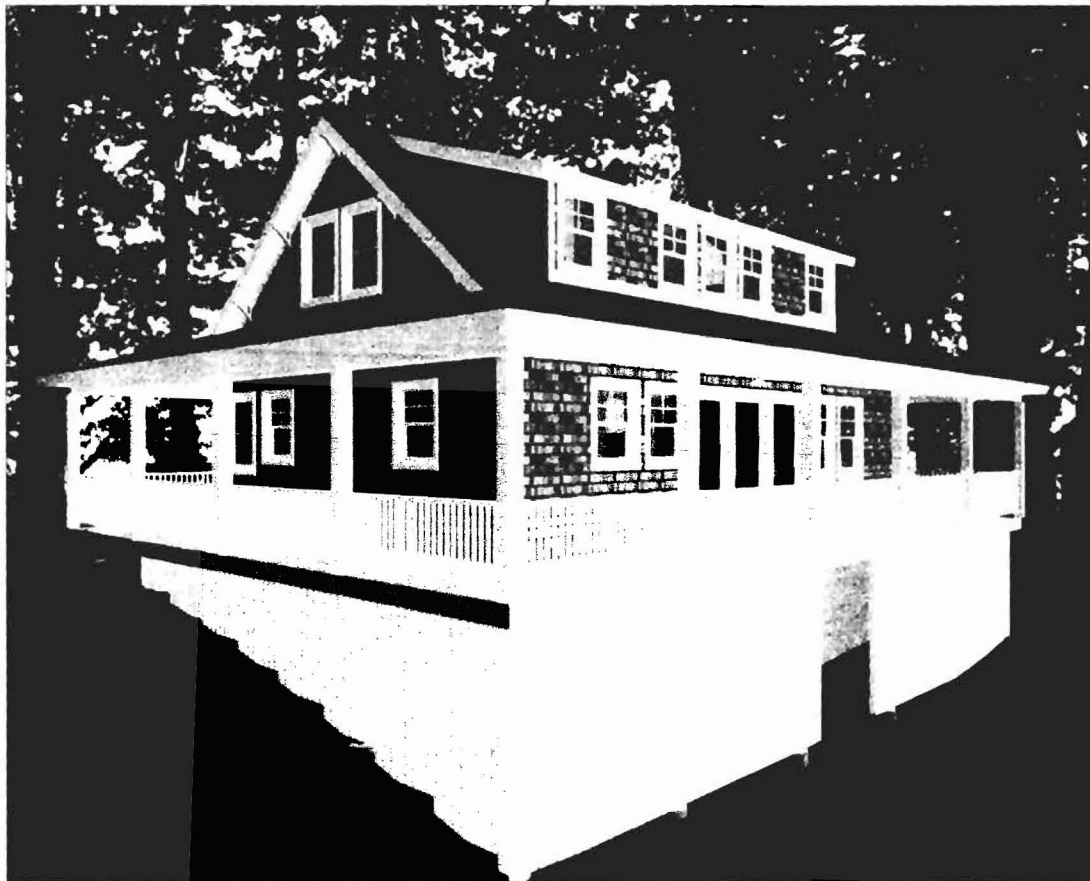
# Marge Schmuckal

Project Name/Description

signature

10/16

Portland Copy



### Plans Content

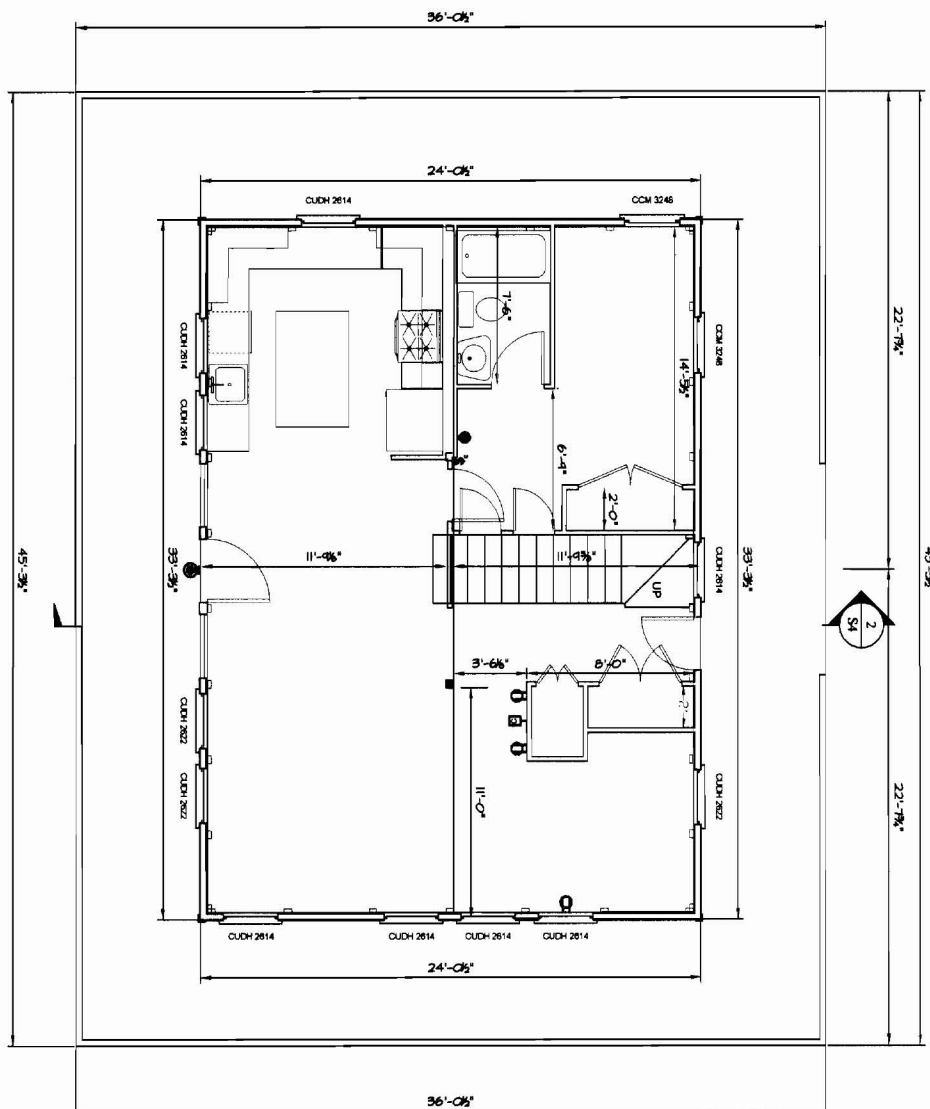
Sheet #	Sheet Description
1	Cover page with views
2	Perspectives
3	Front Elevation
4	Left Elevation
5	Rear Elevation
6	Right Elevation
7	Foundation Floor Plan
8	Details
9	First Floor Plan
10	Second Floor Plan
11	Specification Schedules



### General Notes:

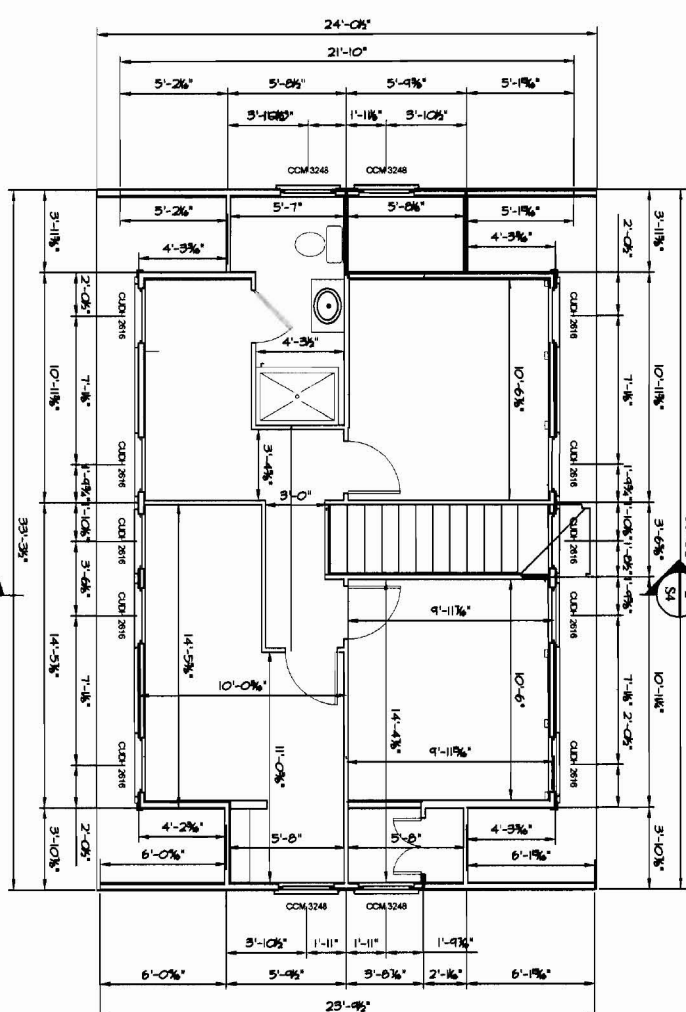
1. Plans are conceptual. To the best of my knowledge these plans are drawn to comply with the owner's designs and any changes made on them after prints will be the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions on enclosed drawings. Susan Bowles is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.
2. Codes. All work shall be performed in accordance with all applicable national, state and local building codes. It is the responsibility of the contractor to comply with these codes.
3. Job site. Prior to submitting bid, contractor shall visit job site and notify owner of any conditions not included in these plans which require corrective or additional actions.
4. Plan Review. These plans are conceptual in nature and therefore shall be reviewed by structural and mechanical engineers prior to construction. The owner is responsible for all site conditions, including but not limited to: orientation, drainage, soil bearing, wind loads and other subsurface conditions.
5. Installation. All material, supplies and equipment shall be installed per manufacturers recommendations and per applicable codes and requirements. The designer shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures in connection with the work, for the acts or omissions of the contractor, sub-contractor, or any other person performing any of the work, or for the failure of any of them to carry out the work in accordance with the plans.
6. Permits. Prior to construction, the contractor/owner shall be responsible to obtain all required permits, approvals and final certificate of occupancy. Prior to construction, contractor/owner to verify service with utility agency and schedule on-site inspection to locate utility.
7. Framing. Contractor, structural engineer and owner to determine method of framing and materials used.





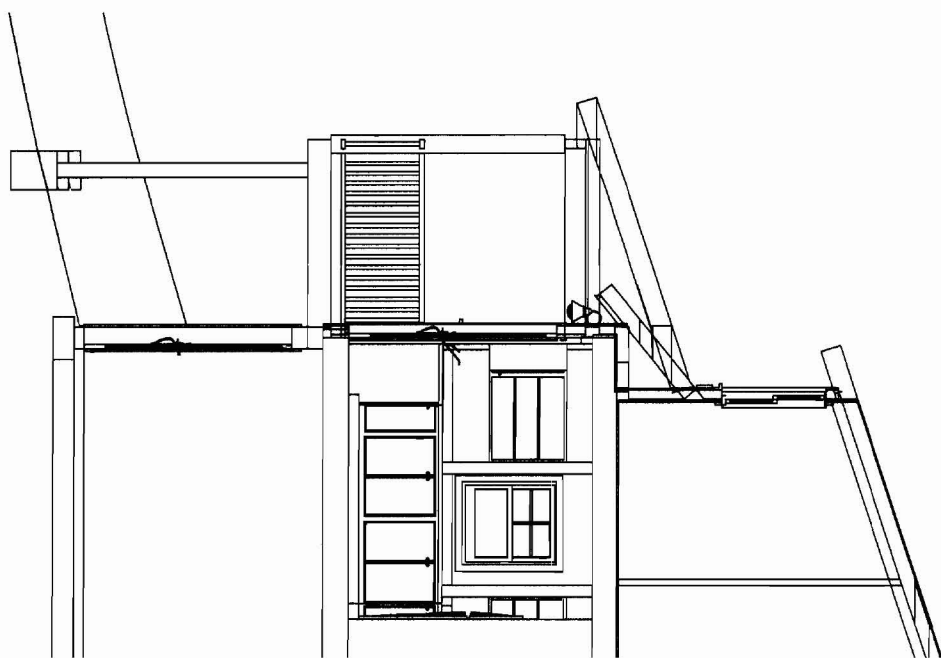
1st FLOOR PLAN

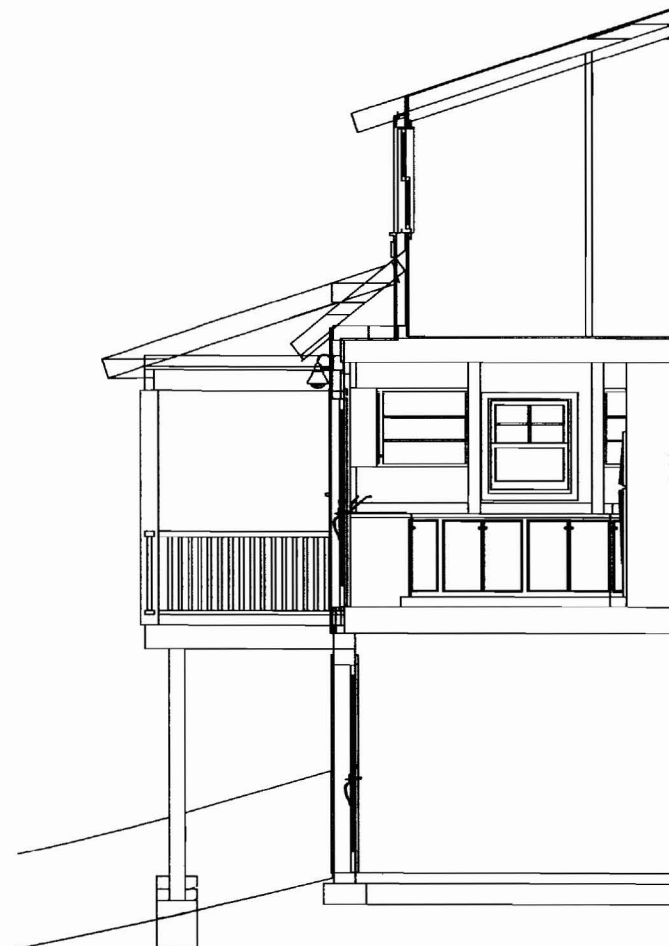
Scale: 1/4"=1'-0"



2nd FLOOR PLAN

Scale: 1/4"=1'-0"

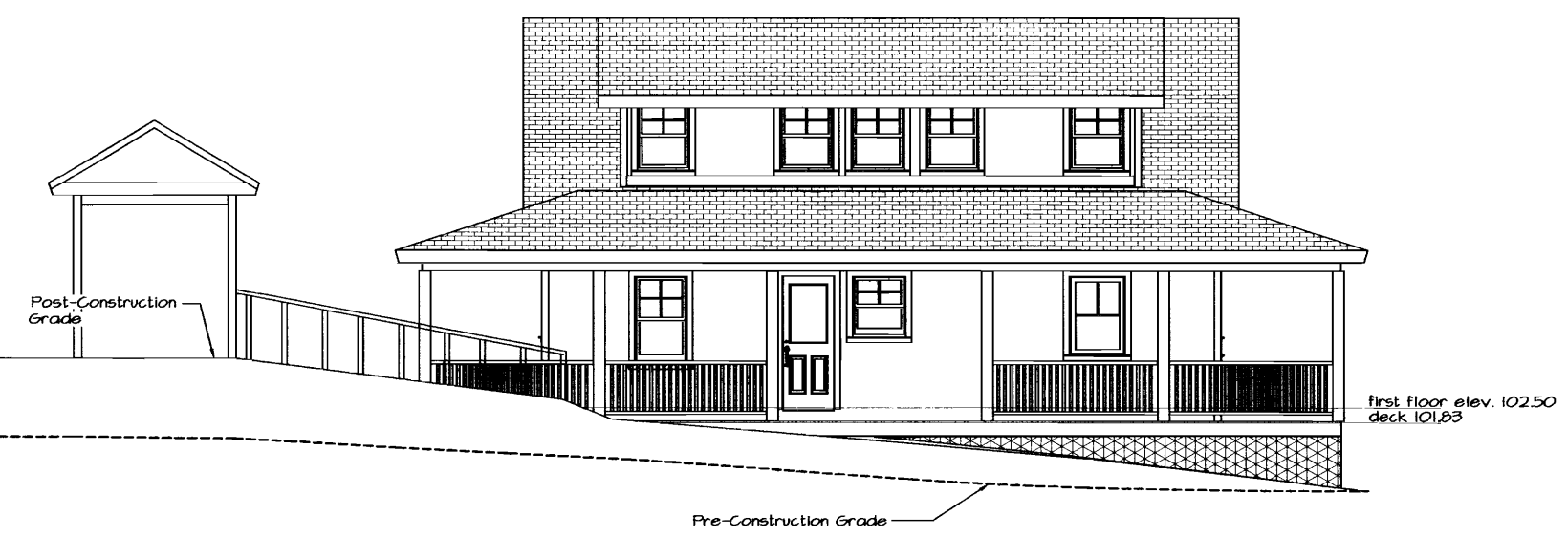




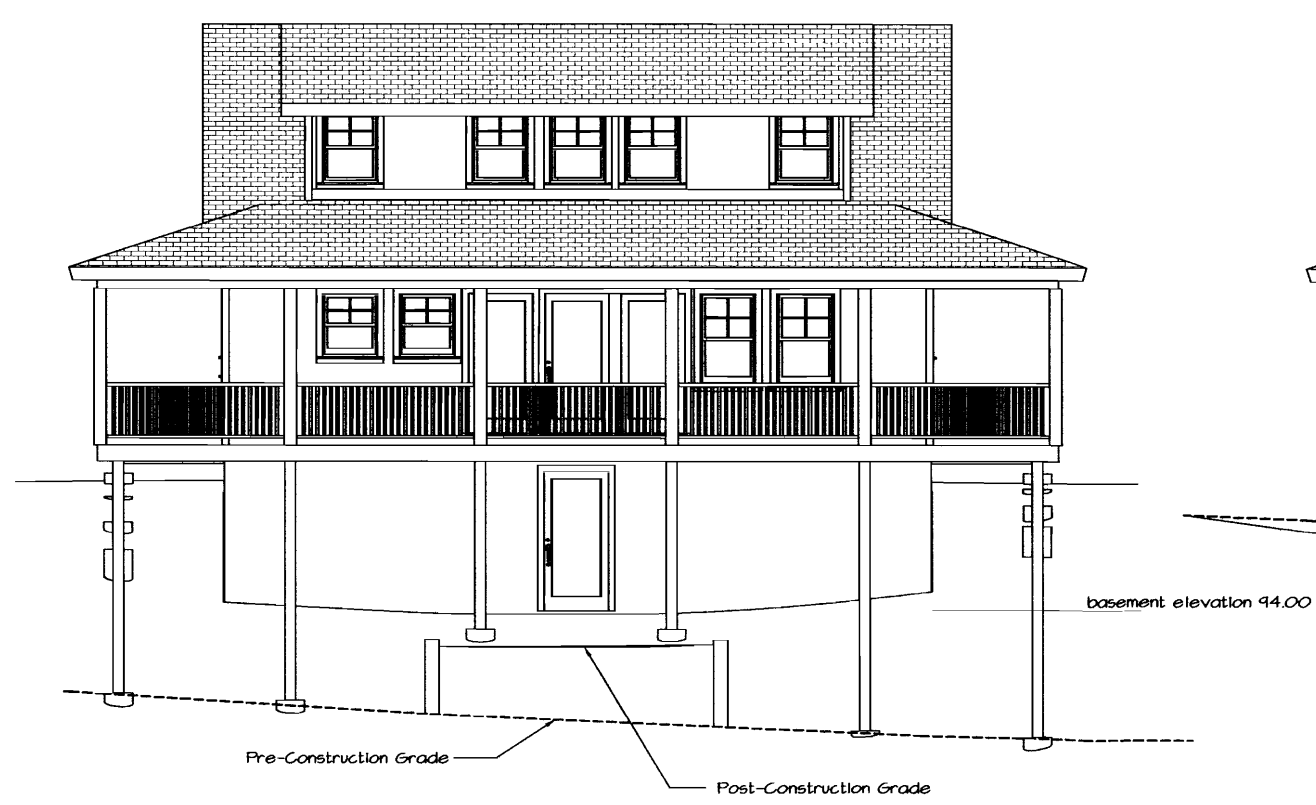
Scale :  $\frac{1}{4}'' = 1'-0''$



Scale :  $\frac{1}{4}" = 1'-0"$



**NORTH ELEVATION**  
Scale: 3/8"=1'-0"



**SOUTH ELEVATION**  
Scale: 3/8"=1'-0"

## GENERAL NOTES:

### GENERAL:

#### 1. ALL WORK SHALL CONFORM TO THE FOLLOWING REFERENCE STANDARDS:

- "INTERNATIONAL RESIDENTIAL CODE" - 2000 EDITION.
- "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" - ASCE 7-05.
- "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" - ACI 301-99.
- "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" - ACI 318-99.
- "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - AF&PA NDS-1997.

2. ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS RELATED TO THIS PROJECT. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED WORK. ANY CHANGES OR SUBSTITUTIONS OF MATERIALS OR DETAILS FROM THOSE INDICATED ON THE CONTRACT DOCUMENTS MAY BE MADE ONLY WITH PRIOR APPROVAL OF THE PROJECT ENGINEER.

3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, COORDINATION OF OTHER TRADES AND THE TECHNIQUES TO PRODUCE A SOUND AND QUALITY PROJECT.

4. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHEETING, SHORING, AND GUTTING STRUCTURES, BARRIERS AND SIGNAGE.

5. ALL DETAILS AND NOTES SHOWN ON THE CONTRACT DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE.

6. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT THE APPROVAL OF THE PROJECT ENGINEER.

7. REFER TO OWNER'S ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

### STRUCTURAL LOADS:

#### 1. LIVE LOADS

- PER INTERNATIONAL RESIDENTIAL CODE - 2000 EDITION
- LIVING SPACE.....40 PSF
- ATTICS AND SLEEPING AREAS.....30 PSF
- ATTICS w/ LIMITED STORAGE.....20 PSF
- ATTICS w/ NO STORAGE.....10 PSF

#### 2. WIND LOADS

- PER INTERNATIONAL RESIDENTIAL CODE - 2000 EDITION AND MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES - ASCE 7-05
- EXPOSURE.....C
- BASIC WIND SPEED.....100 MPH

#### 3. SNOW LOADS

- PER INTERNATIONAL RESIDENTIAL CODE - 2000 EDITION AND MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES - ASCE 7-05
- EXPOSURE.....B
- GROUND SNOW LOAD.....50 PSF
- FLAT ROOF SNOW LOAD.....30.5 PSF
- (ADDITIONAL ALLOWANCES FOR DRIFTING AND SLIDING SNOW)
- UNBALANCED SNOW LOAD.....51.8 PSF
- (LEEWARD SIDE, WINDWARD SIDE IS CONSIDERED FREE OF SNOW)

### FOUNDATIONS:

1. FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF. VARYING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO WORK BEING CARRIED OUT. IT IS RECOMMENDED THAT THE OWNER HIRE A CONSULTANT TO PERFORM SOIL BORINGS AND ASSOCIATED TESTING TO VERIFY THE ASSUMED VALUES. THE CONTRACTOR OR OWNER SHALL ASSUME ALL RESPONSIBILITY IF A GEOTECHNICAL ENGINEER IS NOT RETAINED.

2. FOUNDATIONS SHALL BE FOUNDATION ON NATURALLY UNDISTURBED SOIL OR CONTROLLED STRUCTURAL FILL HAVING AN ALLOWABLE BEARING CAPACITY OF 3000 PSF.

3. MAINTAIN CONTINUOUS CONTROL OF SURFACE AND SUBSURFACE WATER DURING CONSTRUCTION SUCH THAT FOUNDATION WORK IS IN DRY AND UNDISTURBED SUBGRADE MATERIAL, AS APPLICABLE.

4. ALL FOOTINGS EXPOSED TO FROST TO BE PLACED AT A MINIMUM DEPTH OF 4'-0" BELOW FINISH GRADE. SEE PLANS AND ELEVATIONS FOR THE ESTIMATED BOTTOM OF FOOTING ELEVATION. ANY DISCREPANCIES OR ADJUSTMENTS TO THE FOOTING ELEVATIONS TO BE BROUGHT TO THE PROJECT ENGINEER PRIOR TO PLACEMENT OF CONCRETE.

5. ALL FOOTINGS SHALL BE CENTERED UNDER SUPPORTED STRUCTURAL MEMBERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.

6. PROVIDE TEMPORARY OR PERMANENT SUPPORTS, SHORING, SHEETING OR BRACING SO THAT NO HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT OCCURS IN THE STRUCTURE OR ITS SURROUNDINGS.

7. BACKFILL THE EXCAVATION WITH APPROVED GRANULAR MATERIAL PLACED IN 6 INCH LIFTS AND COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557, METHOD D AFTER BOTTOM OF EXCAVATION HAS BEEN APPROVED BY THE PROJECT ENGINEER.

### CONCRETE NOTES:

#### 1. CONCRETE WORK SHALL CONFORM TO THE FOLLOWING REFERENCE STANDARDS:

- "INTERNATIONAL BUILDING CODE" - 2000 EDITION.
- "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" - ACI 301-99.
- "COLD WEATHER CONCRETING" - ACI 306-99.
- "DETAILING REINFORCING STEEL" - ACI 315-99.
- "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" - ACI 318-99.
- "BUILDING CODE REQUIREMENTS FOR PLAIN CONCRETE" - ACI 322-99.
- "FORMWORK" - ACI 347-99.

2. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4000 PSI AFTER 28 DAYS WITH A SLUMP SHALL OF 4" TO 6" AND IN ACCORDANCE WITH ASTM C143.

3. REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 GRADE 60 EXCEPT TIES AND STIRRUPS MAY BE GRADE 40. WELDED WIRE FABRIC (WUWF) SHALL BE SHEETS ONLY, IN ACCORDANCE WITH ASTM A185. LAP TWO SQUARES AT ALL JOINTS AND TIE AT 3'-0" ON CENTER.

4. CEMENT MIXTURE FOR CONCRETE SHALL CONTAIN TYPE II CEMENT CONFORMING WITH ASTM C 150. THE WATER CEMENT RATIO SHALL NOT EXCEED 0.45.

5. AGGREGATE SHALL BE SOUND AND CONFORM TO THE PROVISIONS OF ASTM C33. COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" (NO. 61).

6. PLACING OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 304-99 AND SHALL BE A CONTINUOUS OPERATION AVOIDING ANY HORIZONTAL JOINTS. FORMWORK SHALL BE SMOOTH PLYWOOD FORMS FOR EXPOSED SLABS OR VERTICAL SURFACES. BOARD FORMS FOR FOOTINGS OR UNEXPOSED CONCRETE SURFACES. NO EARTH FORMS SHALL BE PERMITTED. ALL CONCRETE SHALL BE VIBRATED.

7. PLACE REINFORCING USING STANDARD BAR SUPPORTS TO PROVIDE PROPER CLEARANCE AND PREVENT DISPLACEMENT DURING CONCRETE OPERATIONS. LAP CONTINUOUS BARS 40 DIAMETERS.

8. REINFORCING BARS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE GRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".

9. PROPERLY BRACE AND SHORE FORMWORK TO MAINTAIN ALIGNMENT AND TOLERANCES IN ACCORDANCE WITH ACI 347-99.

10. PROVIDE TWO #5 BARS EACH SIDE OF ALL OPENINGS IN WALLS AND SLABS. BARS TO EXTEND 24" BEYOND EDGE OF OPENINGS. (FOR SIZE AND LOCATION OF OPENINGS, SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS).

11. MINIMUM CONCRETE COVER REQUIREMENTS OVER REINFORCING STEEL ARE AS FOLLOWS:

- FORMED CONCRETE EXPOSED TO EARTH, WEATHER, OR WATER - 2"
- UNFORMED CONCRETE PLACED AGAINST THE EARTH - 3"
- UNFORMED CONCRETE PLACED AGAINST VAPOR BARRIER - 2"
- SLABS ON GRADE - 1" FROM TOP

12. DETAILS NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL (ACI 315-99).

13. CONTRACTOR TO NOTIFY THE OWNER'S ENGINEER 48 HOURS IN ADVANCE OF CONCRETE PLACEMENT SO THAT THE FORMWORK AND REINFORCING MAY BE INSPECTED PRIOR TO BEING COVERED.

14. CONSULT PROJECT OWNER FOR SURFACE FINISHES REQUIRED FOR CONCRETE SLAB.

15. MOISTOP UNDERSLAB VAPOR BARRIER SHALL BE AS MANUFACTURED BY FORTIFIBER OR EQUAL CONSISTING OF 2 LAYERS OF EXTRUDED POLYETHYLENE WITH A MEMBRANE OF KRAFT AND GLASS REINFORCING STEEL. SEAMS SHALL BE OVERLAPPED A MINIMUM OF 6" AND TAPED WITH MOISTOP VAPOR BARRIER TAPE OR EQUAL AS REQ'D.

16. QUALITY CONTROL SPECIFICATIONS ARE AS FOLLOWS:

- CONTRACTOR SHALL MAKE PROVISIONS TO HAVE FOUR CYLINDERS CAST FOR EACH 50 CUBIC YARDS OR FOR ANY ONE DAY'S OPERATION.
- TESTING LABORATORY SHALL BE RESPONSIBLE FOR MAKING AND CURING SPECIMENS IN CONFORMANCE TO ASTM C31 AND TESTING SPECIMENS IN ACCORDANCE WITH ASTM C29.
- ALL TESTING ASSOCIATED WITH CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 17 OF "INTERNATIONAL BUILDING CODE" - 2000 EDITION.
- THE COSTS OF ALL TESTS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER.

### WOOD FRAMING:

#### 1. ALL WOOD FRAMING SHALL CONFORM TO THE FOLLOWING REFERENCE STANDARDS:

- "INTERNATIONAL BUILDING CODE" - 2000 EDITION
  - "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - AF&PA NDS-1997
2. ALL FRAMING MEMBERS SHALL BE NO. 1 / NO. 2 OR BETTER SPRUCE-PINE-FIR WITH A MAXIMUM MOISTURE CONTENT OF 19% UNLESS NOTED OTHERWISE.
- BASE DESIGN VALUES:  
Fb=875 (1,000 REP) PSI, Fv=70 PSI, E=1,400 KSI

3. ALL LUMBER AND PLYWOOD SHALL BE GRADE-STAMPED BY THE APPROPRIATE MANUFACTURER'S ASSOCIATION FOR THE APPROPRIATE USE.

- ROOF: 1 1/2" SQUARE EDGE PLYWOOD W/ FRAMING CLIPS
- FLOORS: 2 1/2" TONGUE & GROOVE PLYWOOD
- WALLS: 5/8" PLYWOOD

4. ROOF AND WALL SHEATHING SHALL COMPLY WITH THE FOLLOWING:

- APA RATED SHEATHING, EXPOSURE 1 OR 2
- ROOF SHEATHING SHALL HAVE A 40/20 SPAN RATING
- ROOF SHEATHING SHALL HAVE (1) PANEL EDGE CLIP BETWEEN EACH SUPPORT
- A 1/8" EXPANSION GAP SHALL BE LEFT BETWEEN ALL PANELS AS REQUIRED BY APA
- SHEETS SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS

5. ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR EARTH SHALL BE PRESSURE TREATED (PT) WITH A CCA-C 0.40 PROCESS.

6. ALL FRAMING SHALL BE PLUMB, TRUE, AND ADEQUATELY BRACED SUCH THAT THE STRUCTURE IS RIGID AND BEARS FULLY WITHOUT THE USE OF SHIMS.

7. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT UP WITH 16d NAILS AT 16" O.C. MAX. UNLESS NOTED OTHERWISE. PROVIDE PLYWOOD FILLERS BETWEEN 2x MEMBERS TO MATCH WALL THICKNESS.

8. PROVIDE A MINIMUM OF TWO 2x STUDS AT THE END OF ALL BUILT-UP 2x BEAMS AND LVL BEAMS, UNLESS NOTED OTHERWISE. (FOR SPANS 6'-0" OR GREATER)

9. CORNERS OF EXTERIOR WALLS SHALL HAVE A MINIMUM OF (3) 2x STUDS.

10. PROVIDE SOLID BLOCKING UNDER ALL CONCENTRATED LOADS. PROVIDE CONTINUITY TO TOP OF FOUNDATION WALL OR FOOTING.

11. PROVIDE A DOUBLE TOP PLATE FOR ALL EXTERIOR WALLS W/ SPLICES STAGGERED BY 4'-0" MIN.

12. NON-STRUCTURAL INTERIOR WALLS SHALL BE CONSTRUCTED W/ 2x4 STUDS.

13. ENGINEERED LUMBER PRODUCTS SHALL BE MANUFACTURED BY BOISE CASCADE OR APPROVED EQUAL, INCLUDING ALL BCI JOISTS AND LVL'S. ALL BOISE CASCADE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS AND STANDARD DETAILS AS PUBLISHED BY BOISE CASCADE.

- BASE DESIGN VALUES:
- 1 1/4" WIDE VERSA-LAM BEAMS GRADE 3100 PD 5P  
Fb=3,100 PSI, Fv=240 PSI, E=2,000 KSI
- 3 1/4" AND WIDER VERSA-LAM BEAMS GRADE 3080 PD DF  
Fb=3,080 PSI, Fv=285 PSI, E=2,000 KSI
- VERSA-LAM COLUMNS GRADE 2200 PD DF  
Fb=2,200 PSI, Fc=3,000 PSI, E=1,800 KSI

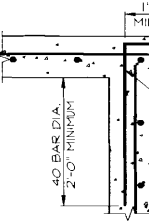
14. FASTENERS SHALL COMPLY WITH THE FOLLOWING:

- NAILS SHALL BE COMMON NIRE NAILS, GALVANIZED @ EXPOSED FRAMING
- BOLTS, NUTS AND WASHERS SHALL BE ASTM A-307, HOT DIP GALVANIZED AT EXTERIOR EXPOSED FRAMING CONFORMING TO ASTM A153
- METAL CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON OR APPROVED EQUAL
- STAINLESS STEEL NAILS FOR ATTACHING EXTERIOR TRIM AND SIDING
- ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH THE "INTERNATIONAL BUILDING CODE" - 2000 EDITION - TABLE 2304.9.1

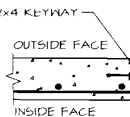
15. PLYWOOD SHALL BE NAILED AT 6" OC AT ALL JOINTS AND EDGES & AT 10" OC AT OTHER SUPPORTS. PLYWOOD SUB-FLOORS SHALL BE GLUED TO JOISTS, BEFORE NAILING WITH CONSTRUCTION ADHESIVE.

16. LIGHTWEIGHT RESIDENTIAL LALLY COLUMNS - 4" OUTER DIAMETER 16 GAGE STEEL PIPE CONFORMING TO ASTM A513 FILLED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. (UNLESS OTHERWISE NOTED.)

17. DOUBLE JOISTS SHALL BE PROVIDED DIRECTLY UNDER PARALLEL PARTITION WALLS.



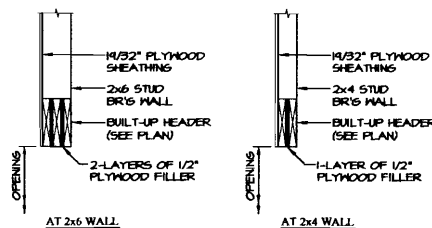
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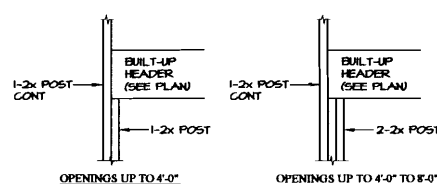
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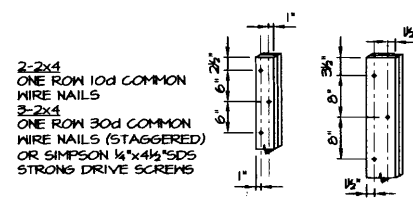
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TYPICAL BUILT-UP HEADER



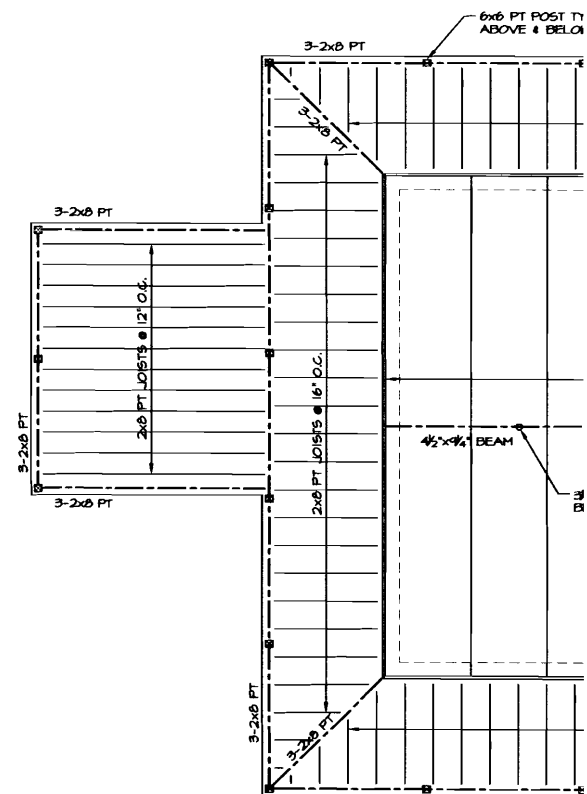
TYPICAL POST @ BUILT-UP HEADER



TYPICAL BUILT-UP POST

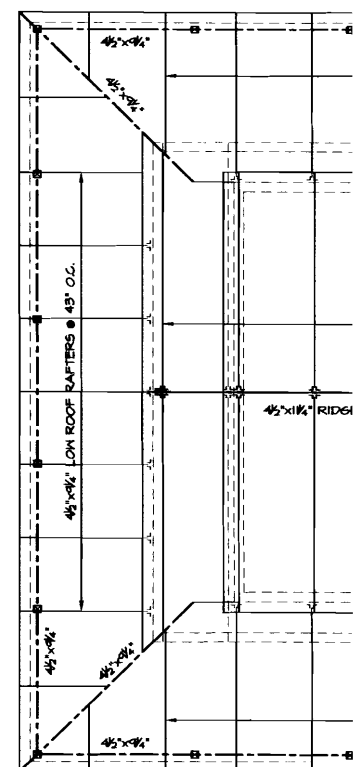
(2) 1 3/4" PLIES	DEPTH
(3) 1 3/4" PLIES	DEPTH
(4) 1 3/4" PLIES	ALL DE
(2) 3 1/2" PLIES	ALL DE

MINIMUM MU  
FOR BOIS  
(1 1/2" PLY S  
SIMILAR)



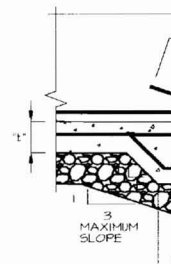
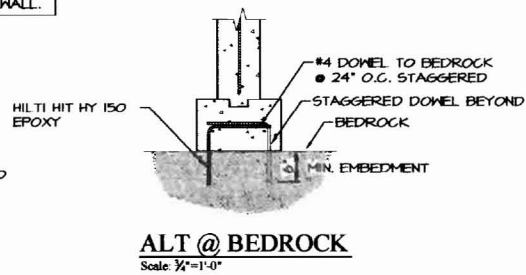
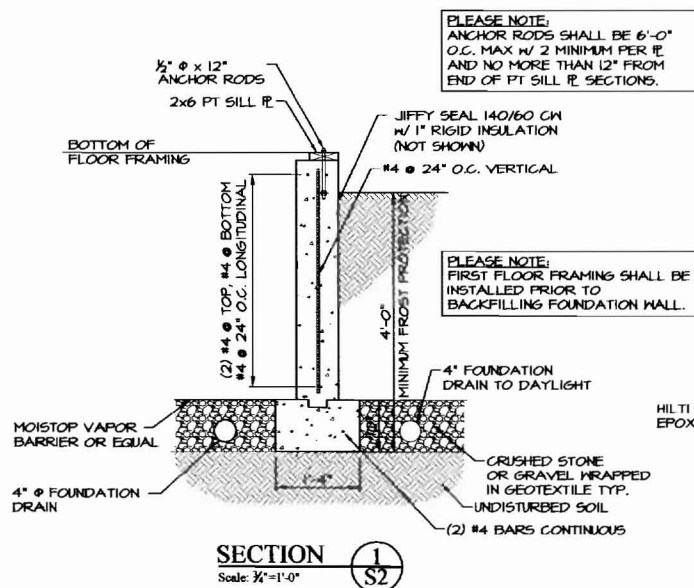
### FOOTING SCHEDULE

FOOTING	SIZE	THICKNESS	MINIMUM REINFORCEMENT
F1	2'-0" x 2'-0"	12"	(3) #4 BARS E.W.
F2	2'-6" x 2'-6"	12"	(4) #4 BARS E.W.
F3	2'-0" x 2'-0"	12"	(3) #4 BARS E.W.

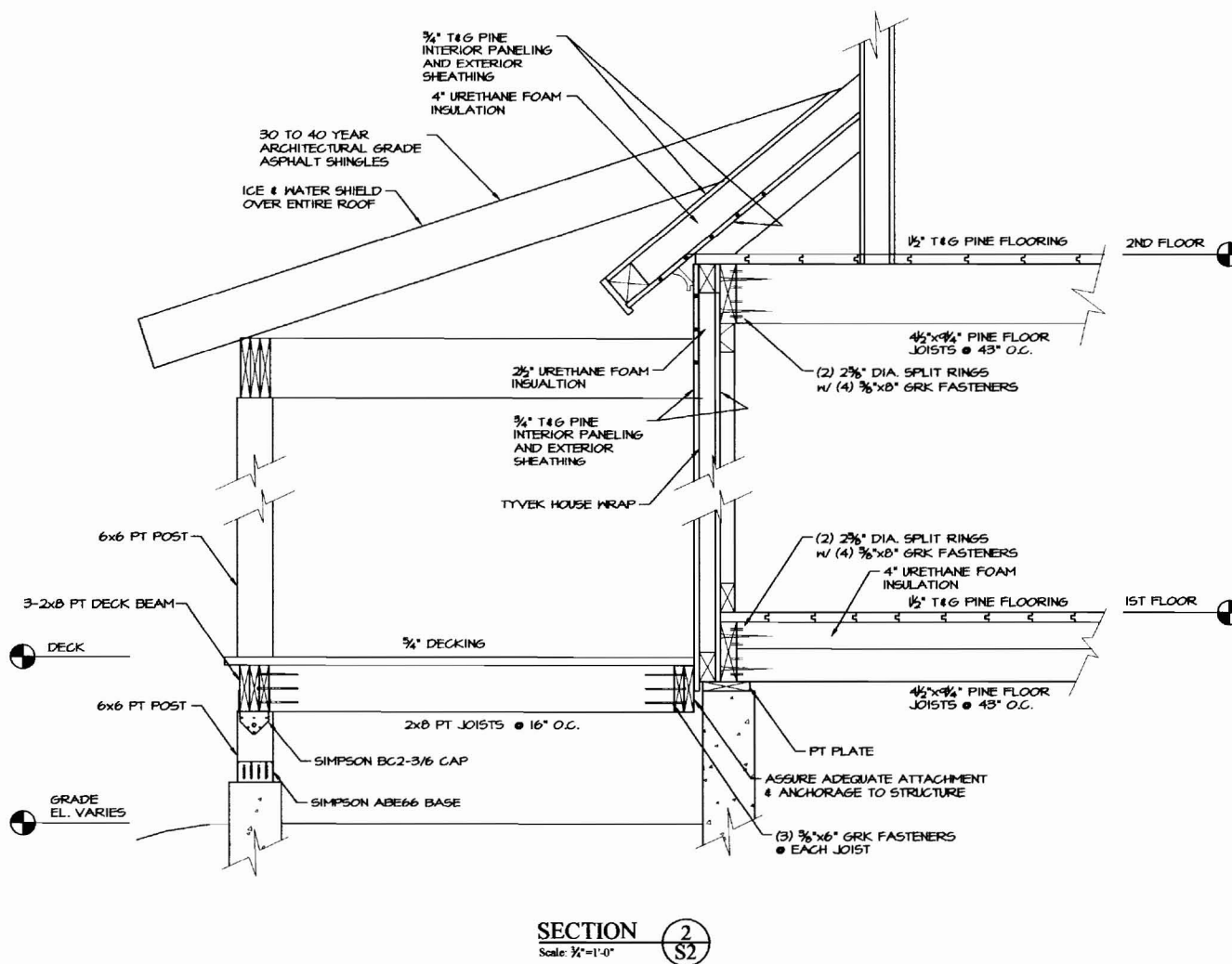


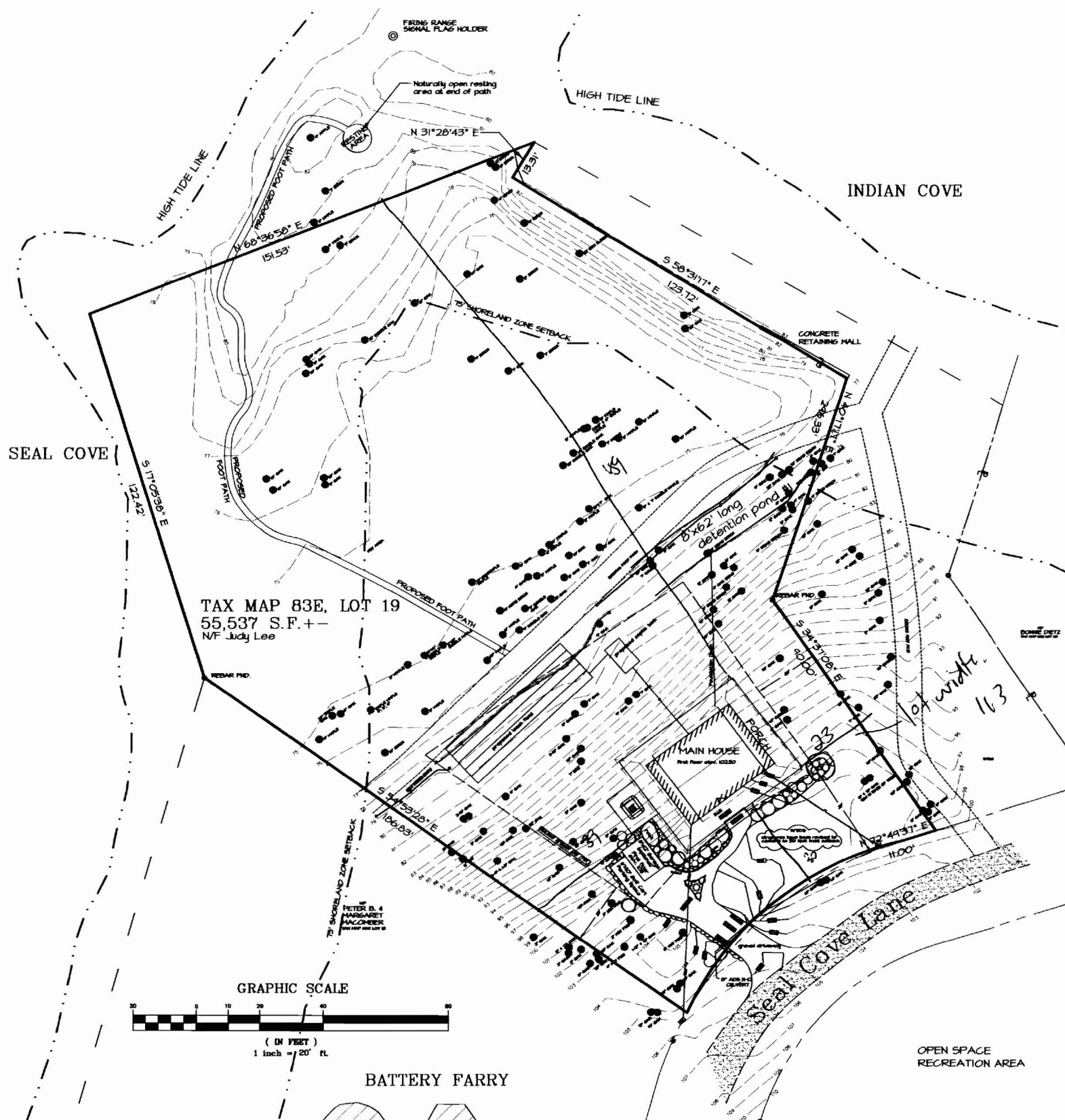
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Scale :  $\frac{1}{4}" = 1'-0"$





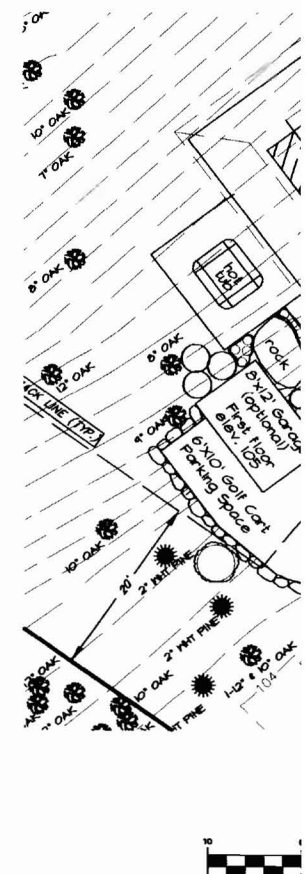
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—W— PROPOSED 1  
—UGU— PROPOSED 1  
—S— PROPOSED 1

DECIDUOUS TREE   
CONIFEROUS TREE 



GENERAL NOTES:

- 1) THIS PLAN DOES NOT REPRESENT THE BUILDING AS IT WAS COMPILED FROM THE RECORD & BOUNDARY MONUMENTATION
- 2) THE VERTICAL DATUM AS SHOWN
- 3) ALL TREE LOCATIONS AS SHOWN SURVEY CONDUCTED BY SGC TREES OUTSIDE THE BUILDING
- 4) THE CONSTRUCTION OF THE FOUNDATION SHALL NOT INVOLVE TREE REMOVAL

MAP REFERENCES:

- 1) "TOPOGRAPHIC & LOCATIONS  
LLC 12/28/05.
- 2) A PLAN ENTITLED "LIMITED 1  
SUBDIVISION, SEAL COVE LA  
CUMBERLAND COUNTY, STATE  
LAND USE CONSULTANTS, AND
- 3) A PLAN ENTITLED: "AMENDE  
GREAT DIAMOND ISLAND, PC  
REVISION: OCTOBER 1, 1991, SI

1" = 400'

#230 051 0004 B

1986

