

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ION

Permit Number: 090344

This is to certify that DOYLE JAMES

has permission to Addition of 400sqft Deck, Ins Window and Door, Basement Level

AT 158 WEST SHORE DR GDI

083E A014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other is used-in. 2 HO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Mally 5/15/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0344	Issue Date:	CBL: 083E A014001
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Location of Construction: 158 WEST SHORE DR GDI	Owner Name: DOYLE JAMES	Owner Address: 158 WEST SHORE DR	Phone: 941-320-4641
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-1

Past Use: Single Family Home	Proposed Use: Single Family Home - Addition of 400sqft Deck, Install Window and Door at Basement Level	Permit Fee: \$90.00	Cost of Work: \$7,000.00	CEO District: 1	64,595 [#]
Proposed Project Description: Addition of 400sqft Deck, Install Window and Door at Basement Level		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: Jm 5/15/09		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____			

Permit Taken By: lmd	Date Applied For: 04/22/2009	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>within 250'</i> <input type="checkbox"/> Wetland <i>but 95' from HWY</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/6/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

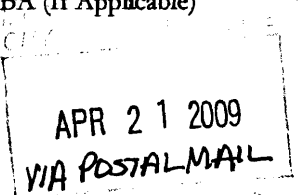
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>158 W. STONE DR. DIAMOND COVE.</u>		
Total Square Footage of Proposed Structure/Area <u>400 sq ft +/-</u>		Square Footage of Lot <u>40,000 sq ft +/-</u>
Tax Assessor's Chart, Block & Lot Chart# <u>83E, A14</u> Block# Lot# PARCEL ID <u>083EAD14001</u>	Applicant * must be owner, Lessee or Buyer * Name <u>JAMES DOYLE</u> Address <u>7707 HUNTSBURY DR</u> City, State & Zip <u>SARASOTA FL</u>	Telephone: <u>941-320-4641</u> <u>342311</u>
Lessee/DBA (If Applicable) 	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>7,000</u> C of O Fee: \$ <u> </u> Total Fee: \$ <u>7,000</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY - VACATION HOME</u> If vacant, what was the previous use? Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>YES</u> If yes, please name <u>DIAMOND COVE</u> Project description: <u>ADD APPROX 400 SQ FT ON DECK. REMOVE EXISTING LOPSIDIAL ON BASEMENT LEVEL & REPLACE W/ CEILING SHAKE. INSTALL WINDOW / DOOR IN BASEMENT LEVEL</u>		
Contractor's name: _____ Address: <u>SELF</u> City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>JOHN DOYLE</u> Telephone: <u>256-656-3818</u> Mailing address: <u>2630 E. RD 78 PISBATH AL. 35765</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 4/15/09

This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0344	Date Applied For: 04/22/2009	CBL: 083E A014001
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Location of Construction: 158 WEST SHORE DR GDI	Owner Name: DOYLE JAMES	Owner Address: 158 WEST SHORE DR	Phone: 941-320-4641
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Addition of 400sqft Deck, Install Window and Door at Basement Level	Proposed Project Description: Addition of 400sqft Deck, Install Window and Door at Basement Level
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/08/2009

Note:**Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 05/14/2009

Note:**Ok to Issue:**

- 1) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.

Comments:

5/4/2009-mes: within shoreland - there have been site plans submitted, but not showing the 75' setback from the HWM which is required. In my hold

5/8/2009-mes: received an e-mail showing survey that the deck is 95' from the HWM.



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details *DWS*
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams *N/A*
- Detail any new walls or permanent partitions *N/A*
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable) *N/A*
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) *STAN*
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003 *N/A*
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

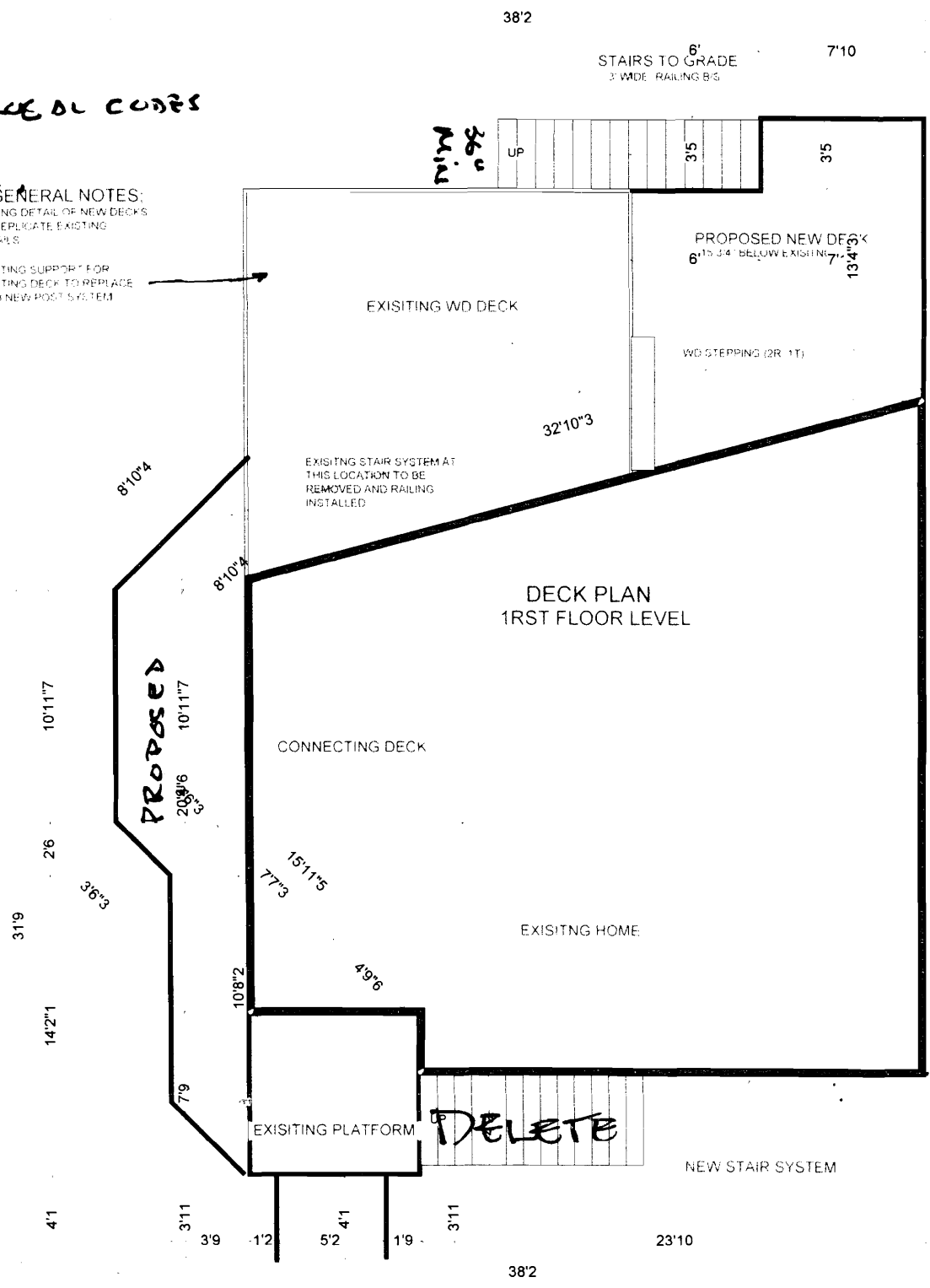
Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.

NOTES:

1. STAIRS -
TO CONFORM TO LOCAL CODES
HANDRAIL B/S.
BAWSTER 4" O.C.

GENERAL NOTES:
RAILING DETAIL OF NEW DECKS
TO REPLICATE EXISTING
DETAILS.

EXISTING SUPPORT FOR
EXISTING DECK TO REPLACE
WITH NEW POST SYSTEM

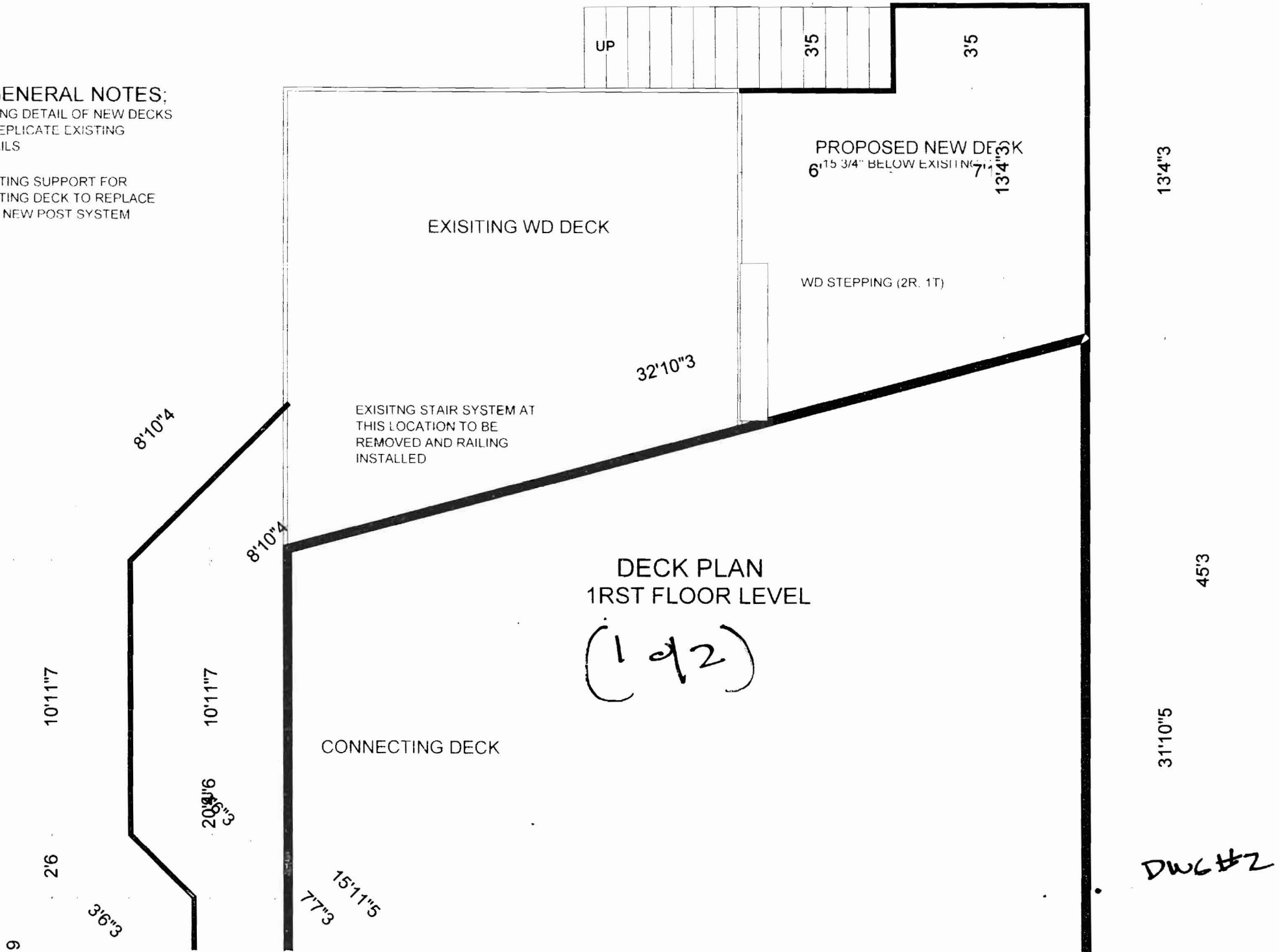


DECK PLANS
OVERVIEW

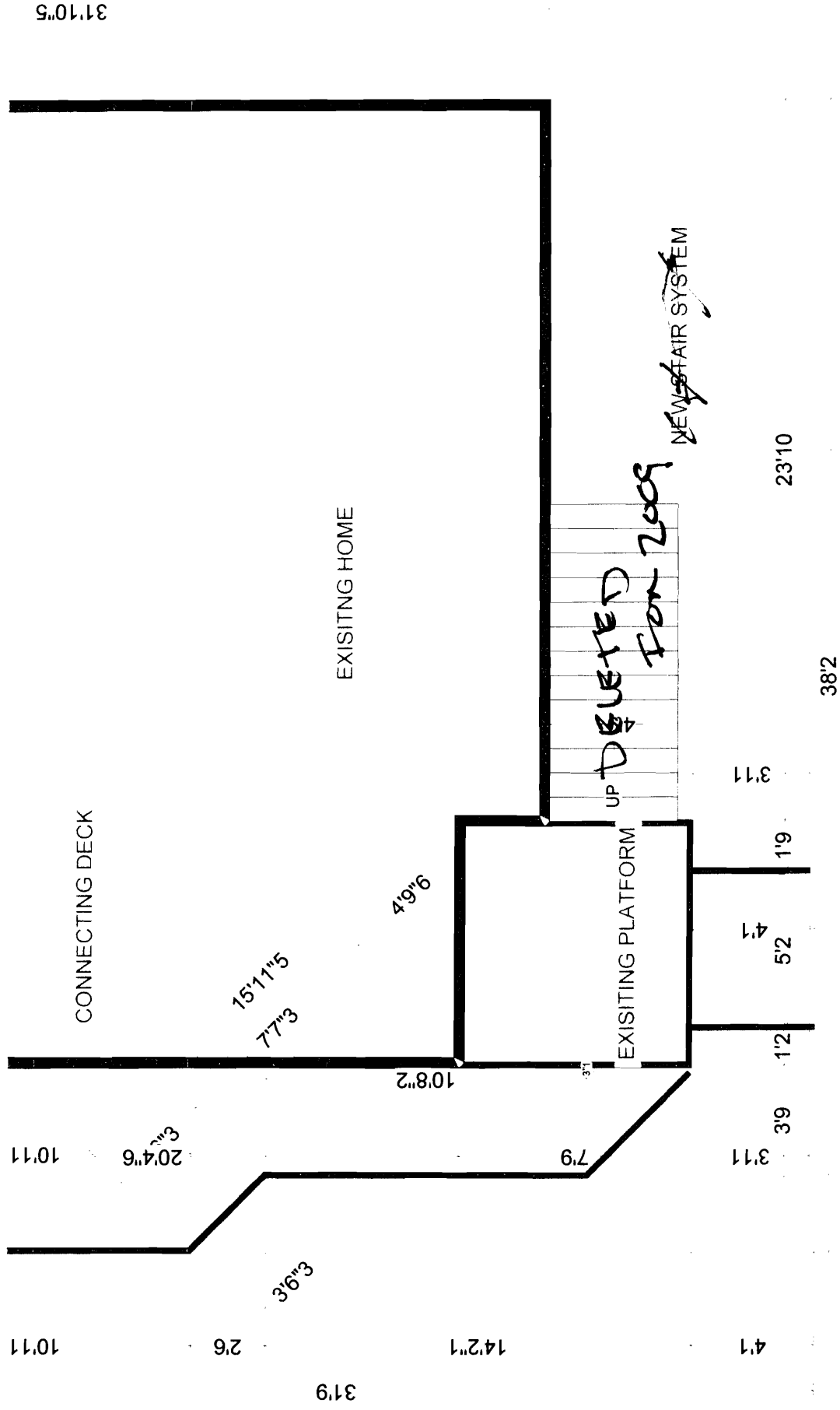
DWG # 1

GENERAL NOTES:
RAILING DETAIL OF NEW DECKS
TO REPLICATE EXISTING
DETAILS

EXISTING SUPPORT FOR
EXISTING DECK TO REPLACE
WITH NEW POST SYSTEM

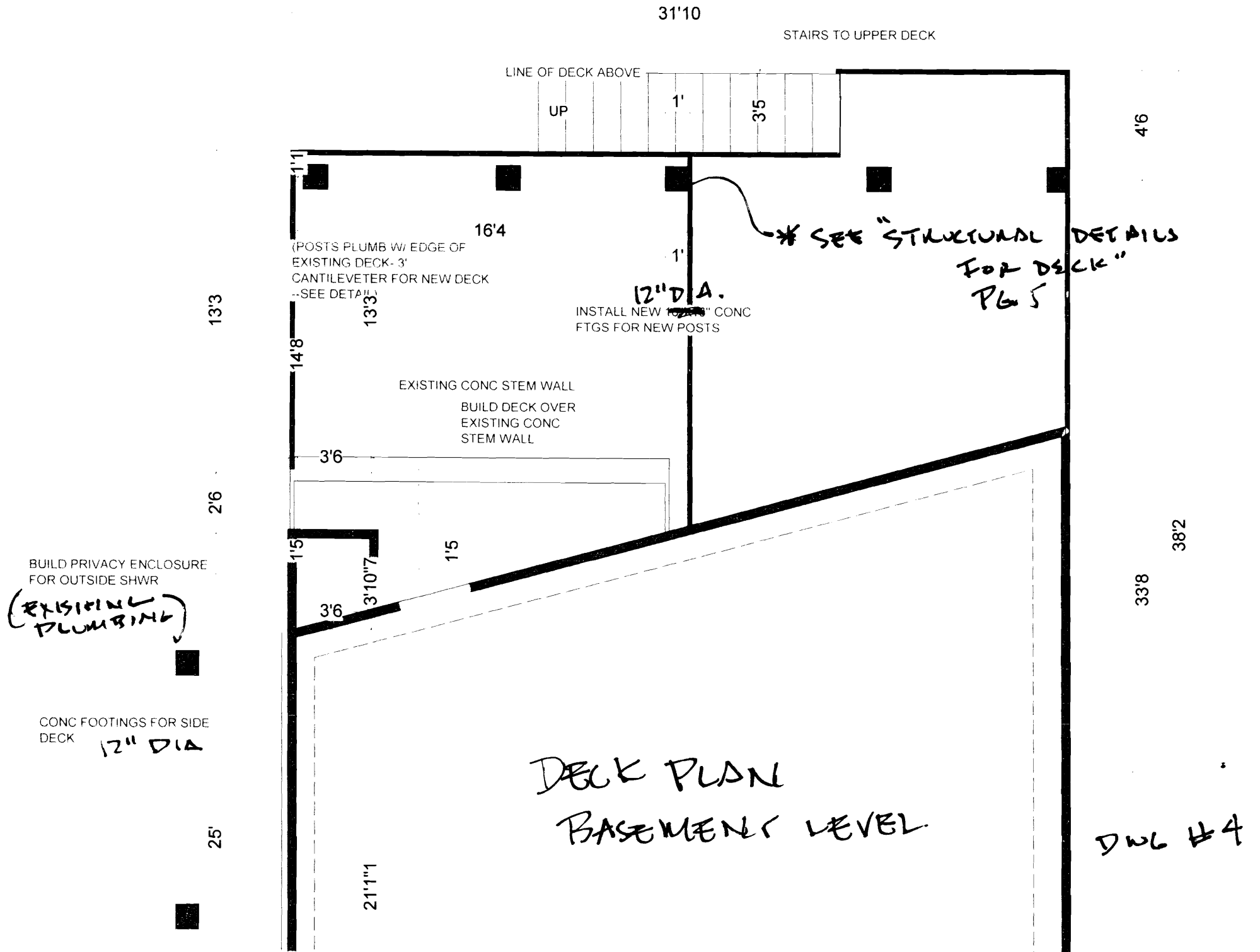


DWG #2



DWG #3

DECK PLAN
1st FLOOR LEVEL
(2 of 2)



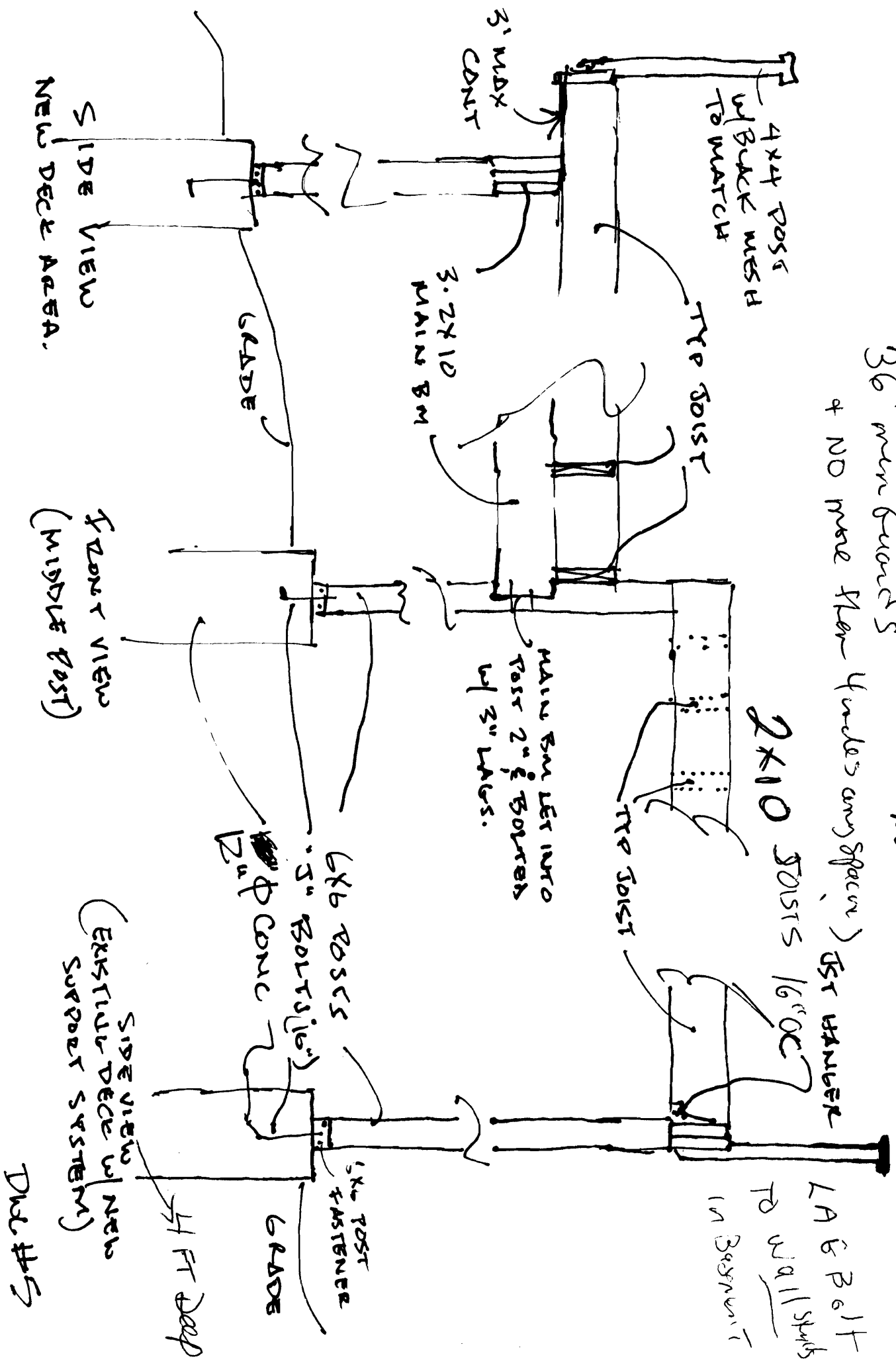
STRUCTURAL DETAILS FOR DECKS,

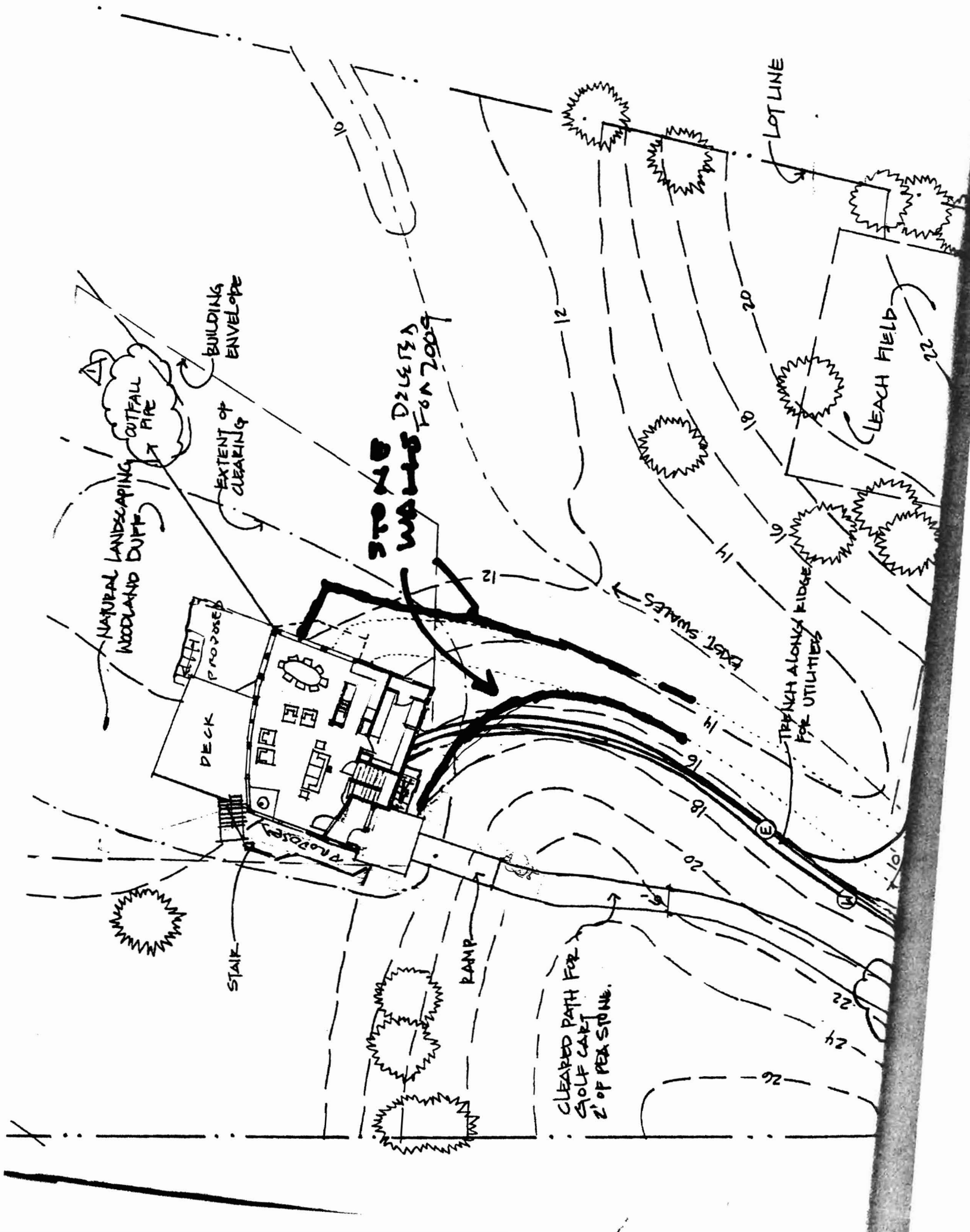
36" min Guards

+ NO more than 4 under any span (DST HANDBOOK)

NO new spans

LA & Bolt TO WALL studs IN Basement





NATURAL LANDSCAPING
WOODLAND DUPT.

CUTFALL
FIRE

BUILDING
ENVELOPE

EXTENT OF
CLEARING

STONE WALLS
DELETED
FOR 2009

DECK
PROPOSED

STAIR

RAMP

CLEARED PATH FOR
GOLF CART
2' OF PEA STONE.

EXPT SWALES

TRENCH ALONG RIDGE
FOR UTILITIES

LOT LINE

LEACH FIELD

22

20

18

16

14

12

12

18

20

22

24

26

10'

Lisa Danforth
Inspection Services
City of Portland, Me.

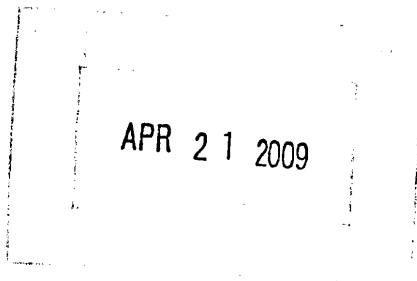
Ms Danforth,

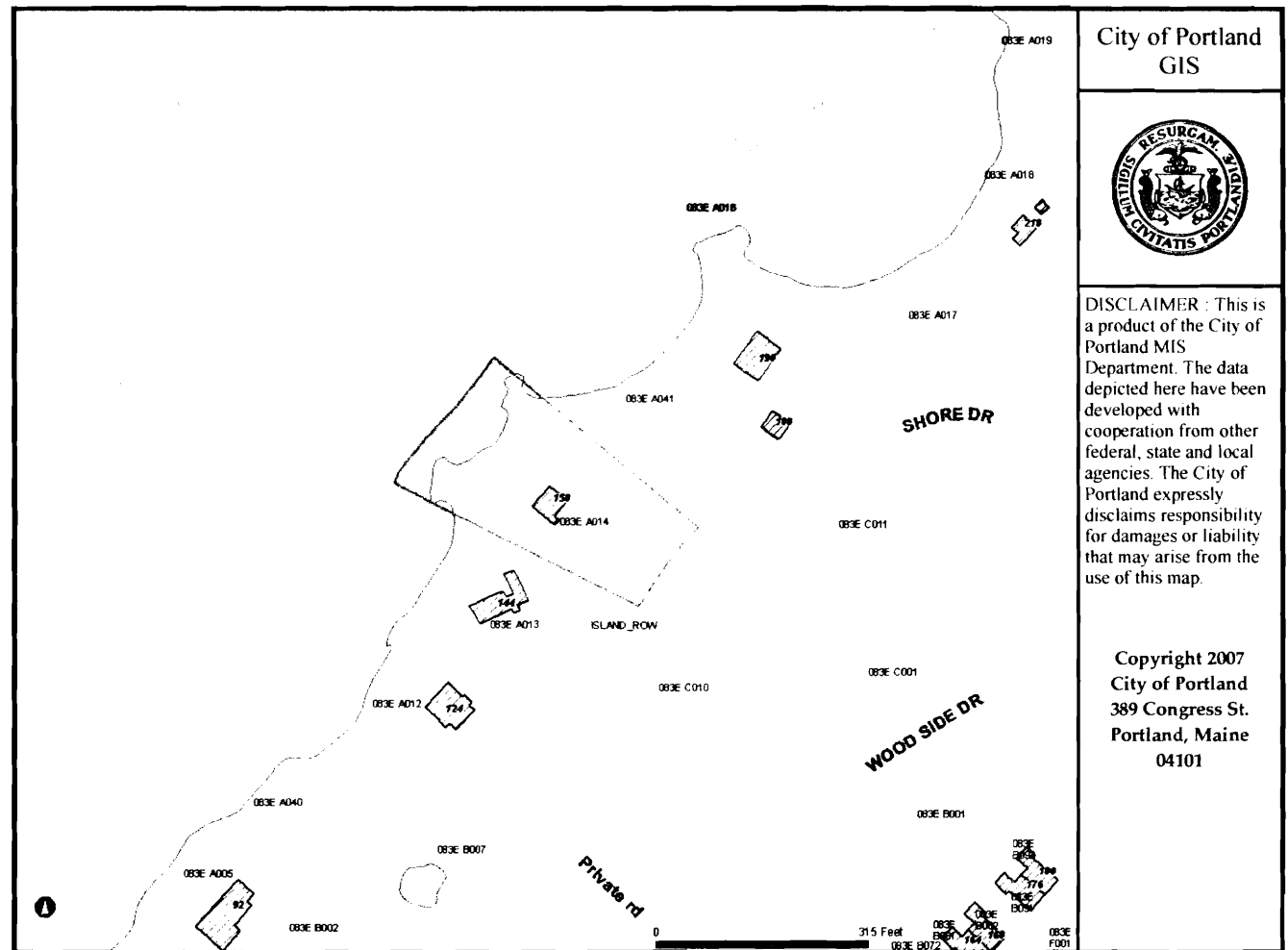
First let me thank you for your help in this matter. It is greatly appreciated. I have enclosed what I hope is the required documents for obtaining the permits we need for my brothers place. I have calculated the fee, hopefully correctly, for the scope of the work. I am donating my time so labor is not included in the costs, but I can give you a figure based on past experience if you need a complete cost.

If there is anything lacking from this packet please let me know and I will get it to you ASAP. We are hoping to get started May6 or so.

Again, thanks,

John Doyle





158 West Shore DR - GDI

083E-A-014

64,595 #

THIS IS NOT A BOUNDARY SURVEY

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MORTGAGE INSPECTION OF: DEED BOOK 12633 PAGE 184 COUNTY Cumberland
 PLAN BOOK 191 PAGE 143-145 LOT 14

ADDRESS: 158 West Shore Drive, Diamond Cove, Maine

Job Number: 648-36

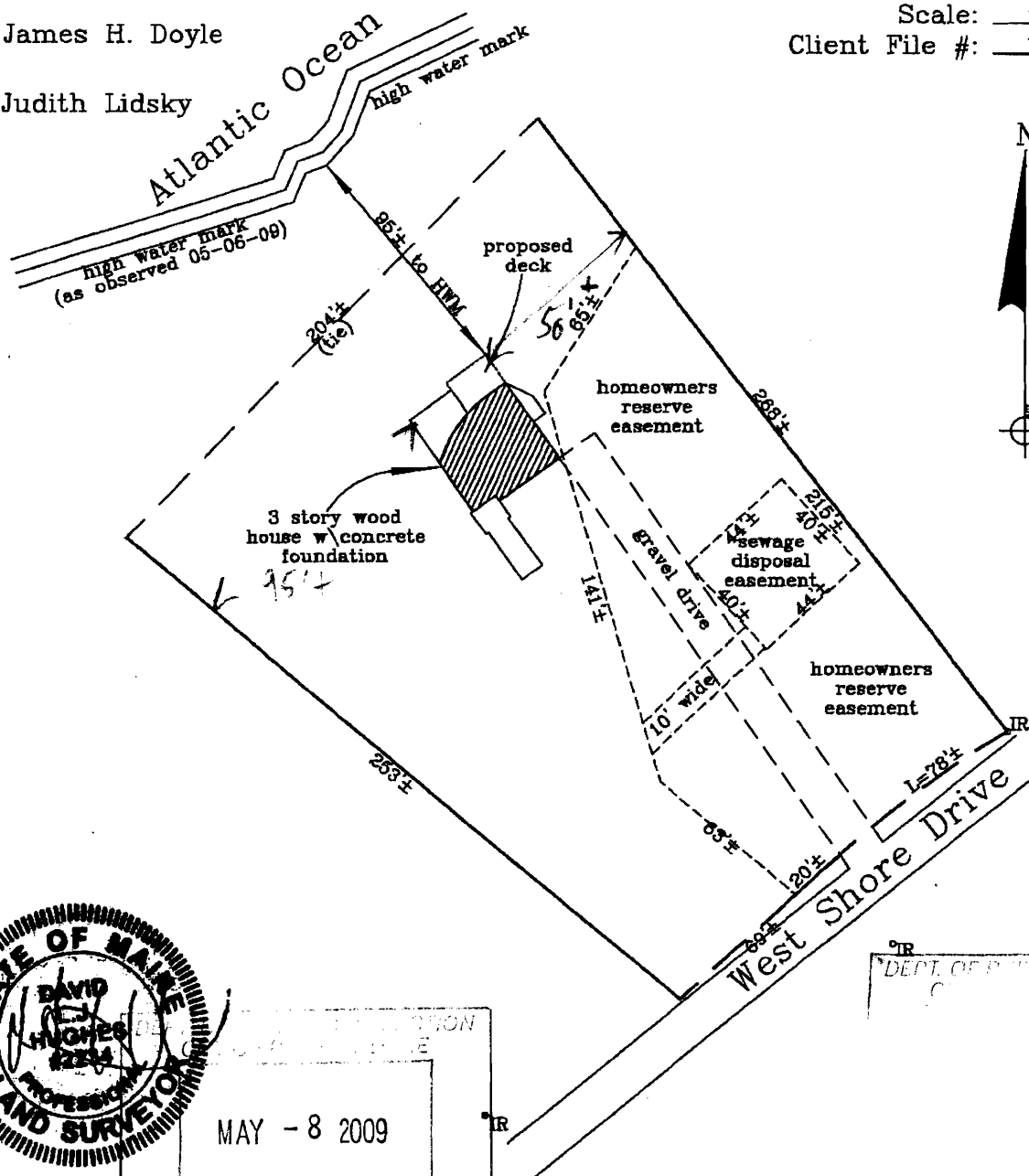
Inspection Date: 09-19-08

Scale: 1" = 60'

Client File #: LA-B5

Buyer: James H. Doyle

Seller: Judith Lidsky



I HEREBY CERTIFY TO: Therriault & Therriault, Bangor Savings

Bank, and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel 230051 0009E:

The structure does not fall within the special flood hazard zone.

The land does ~~NOT~~ fall within the special flood hazard zone.

A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

copyright

Livingston-Hughes

Professional Land Surveyors

88 Guinea Road

Kennebunkport, Maine 04046

207-967-9761 phone 207-967-4831 fax

www.livingstonhughes.com

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

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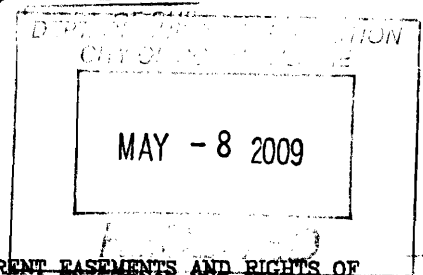
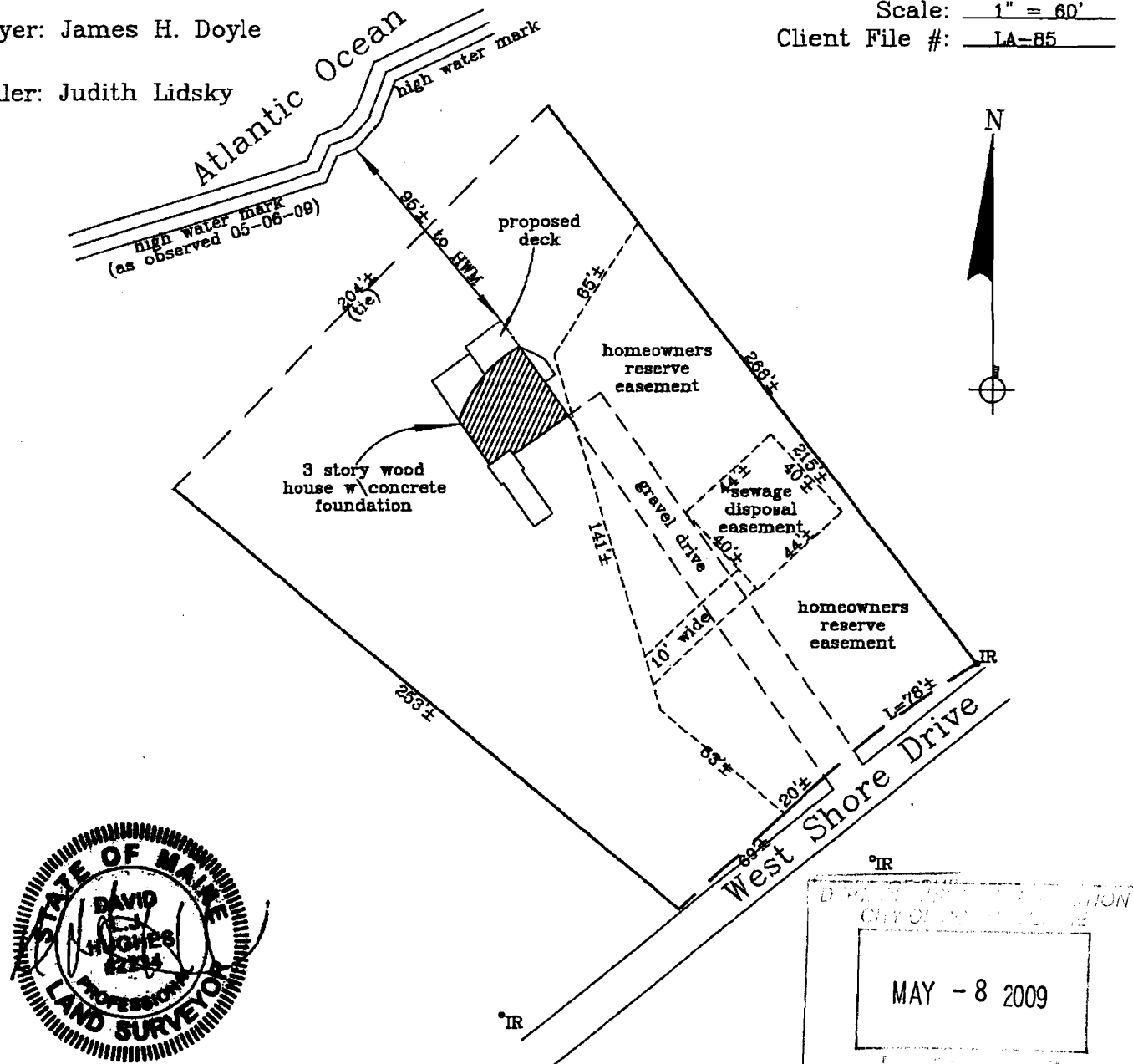
Inspection Date: 09-19-08

Scale: 1" = 60'

Client File #: LA-85

Buyer: James H. Doyle

Seller: Judith Lidsky



I HEREBY CERTIFY TO: Therriault & Therriault, Bangor Savings

Bank, and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

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The structure does not fall within the special flood hazard zone.

The land does ~~XXX~~ fall within the special flood hazard zone.

A wetlands study has not been performed.

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THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

From: john doyle <jrdoyle1053@hotmail.com>
To: <mes@portlandmaine.gov>
Date: 5/8/2009 8:08:10 AM
Subject: Doyle Survey

Marge,

I've attached a PDF file with the results of the survey we had done earlier this week. Please let me know if you require any more information.

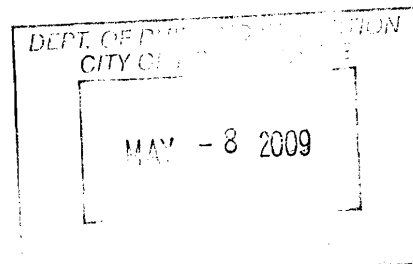
I can be reached at 256- 656 3818 or Diamond Cove landline 207 766 5223

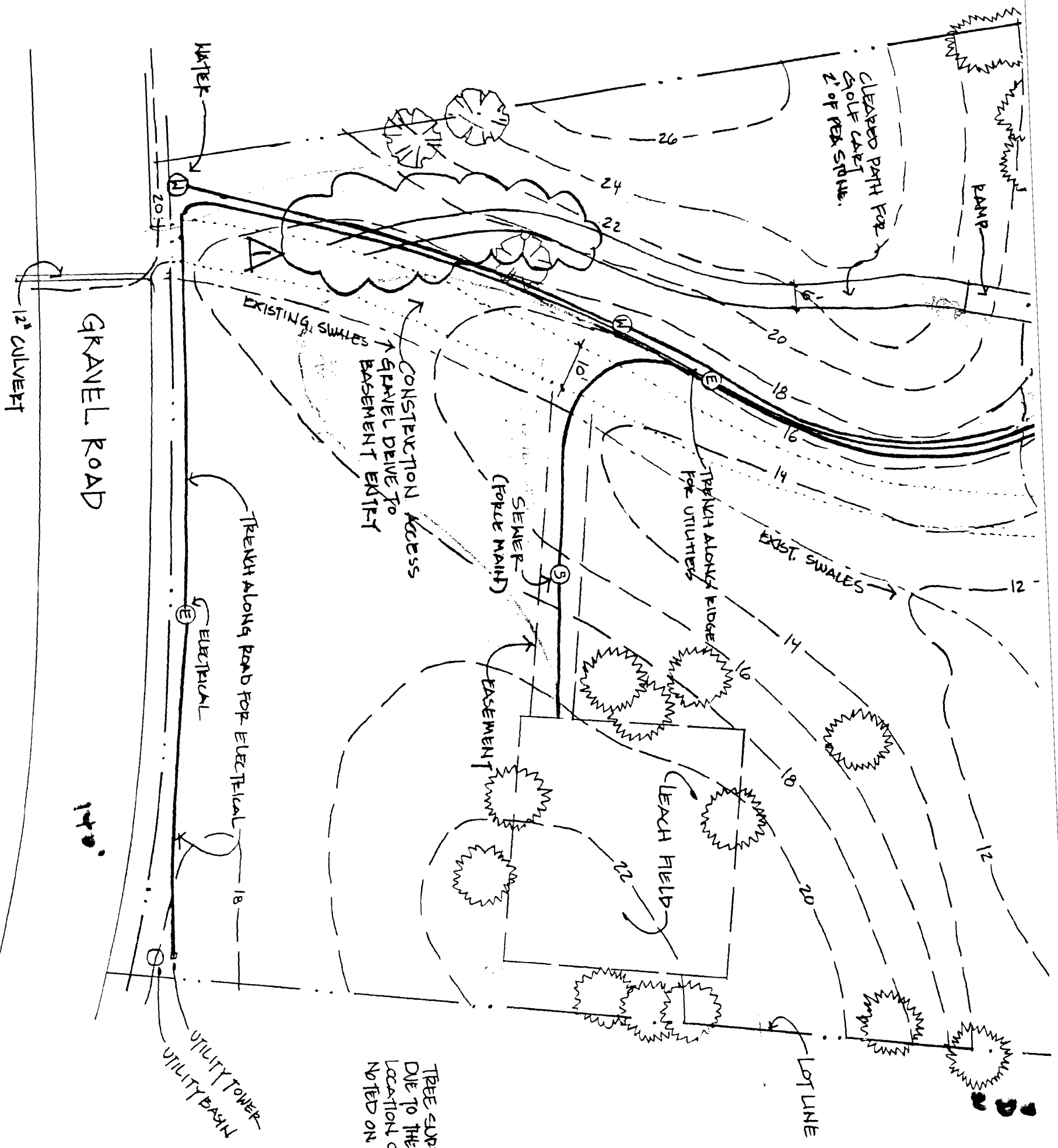
Thank you for your help in this matter.
John Doyle

Hotmail® has ever-growing storage! Don't worry about storage limits.

http://windowslive.com/Tutorial/Hotmail/Storage?ocid=TXT_TAGLM_WL_HM_Tutorial_Storage1_052009

CC: bro james <jim@jimdoyle.com>

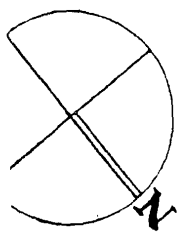




TREE SURVEY FOR LOT 14 WAS NOT CONDUCTED DUE TO THE HIGH DENSITY OF GROWTH. LOCATION OF HOUSE CLEARING HAS BEEN NOTED ON THIS PLAN.

DESK SET

For Construction

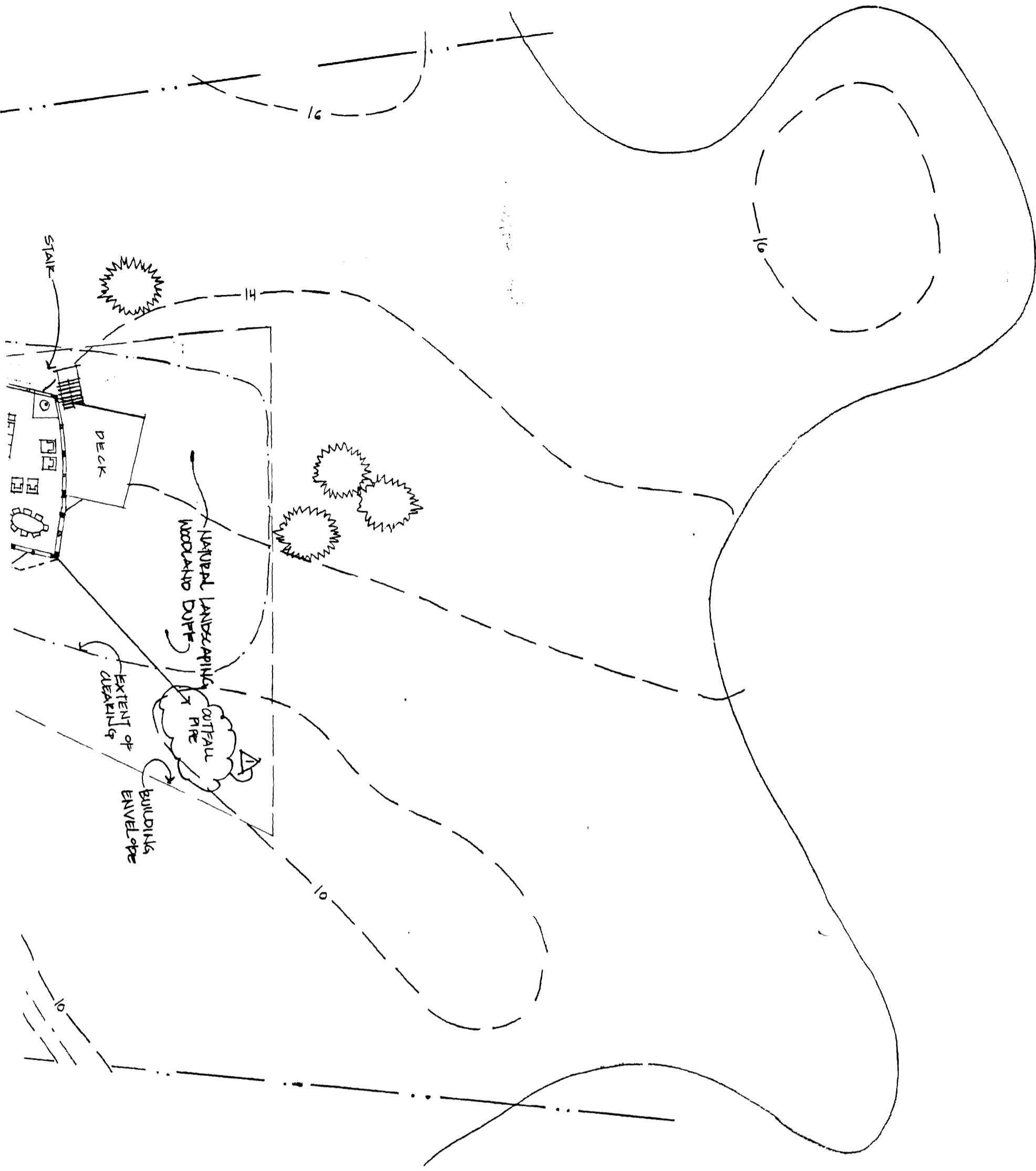


Sheet Name: Site Plan

Project Name

Lidsky
Great Diamond Isla

Drawn by: TEK



Dam Architecture and Design

66 West Street
Portland, Maine 04102

207.775.0443
Fax: 207.775.2892

Smoky Fitas

Van Dam & Renner

Architects