

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0120	Issue Date: MAR 25 2003	CBL: 083E A005001
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Location of Construction: 92 West Shore Dr - <i>Gettysburg Island</i>	Owner Name: Fitch, Ronald & Sandra	Owner Address: Diamond Avenue, CITY OF PORTLAND	Phone: 207-766-5886
Business Name:	Contractor Name: Owner	Contractor Address: Diamond Ave, GDI Portland	Phone: 2077665886
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <i>IR4</i>

Past Use: WW II Power Plant	Proposed Use: Single Family / Build 6,529 sq. Ft. Home <i>with</i> existing shell. (Prior permit #020650 06/13/02)	Permit Fee: \$1,248.00	Cost of Work: \$175,000.00	CEO District: 1
		FIRE DEPT: <i>N/A</i> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>5</i> <i>BOCA 1999</i>	

Proposed Project Description: *within*
Build 6,529 sq. Ft. Home *on* existing shell.

PERMIT ISSUED
MAR 25 2003

CITY OF PORTLAND

Signature: *[Signature]*

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: -02/19/2003	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Review <input checked="" type="checkbox"/> Shoreland <i>with</i> <i>Am CHST structure</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 9 Zone C,</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2002-0168</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>dl with conditions</i> Date: <i>3/11/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
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Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0120	Date Applied For: 02/19/2003	CBL: 083E A005001
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Business Name:	Contractor Name: Owner	Contractor Address: Diamond Ave, GDI Portland	Phone: (207) 766-5886
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Build 6,529 sq. Ft. Home on existing shell. (Prior permit #020650 06/13/02)	Proposed Project Description: Build 6,529 sq. Ft. Home on existing shell.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 03/11/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) It is understood that all work will be performed WITHIN the existing building shell. Any exterior expansions SHALL require a separate permit and SHALL meet all zoning and shoreland zoning requirements. There shall be no changes to the recently approved site plan/subdivision plan especially in relation to trees and undergrowth.</p> <p>2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</p> <p>3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 03/25/2003
Note: rec'd new plans - 03/25/2003 - discussed the following conditions w/ Scott Teas.	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) The lowest point of opening on egress windows must be 44" or less above the finished walking surface.</p> <p>2) Guardrails MUST be 36" minimum measured from the leading edge of the tread protecting all stairways.</p>			

Comments:
3/11/03-tm: minimal structural details submitted - called designer Scott Teas @ 775-6141 AND LEFT MESSAGE
3/18/03-tm: rec'd additional plans - need stamped plans based on the design - precast concrete being use, post and beam construction, partially hanging balcony from roof. Called Scott Teas and spoke w/him.
3/21/03-tm: Spoke w/ Scott - need to stamp plans and address catwalk width(3'), guard heights and egress windows.
3/25/03-tm: rec'd new plans - ok to issue.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8632~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspected procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- ✓ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ✓ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

✓ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

✓ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Andrea E. [Signature]
Signature of applicant/designee

Date

3/28/03

[Signature]
Signature of Inspections Official

Date

CBL: 083 E A 005 Building Permit #: 03 0120

Site Plan 2002 0168

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

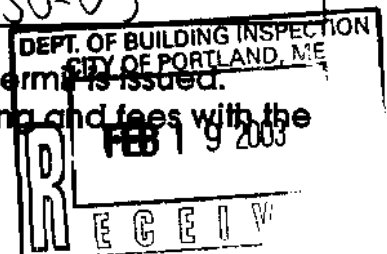
Location/Address of Construction: Lot 5, Great Diamond Island, Maine 04109		
Total Square Footage of Proposed Structure 6,529	Square Footage of Lot 47,881	
Tax Assessor's Chart, Block & Lot Chart# 083 Block# 5 Lot# 005 Diamond Cove, GDI EA 5	Owner: Ronald & Sandra Fitch	Telephone: 207-766-5886
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: same as Owner Diamond Avenue Great Diamond Isl. ME	Cost Of Work: \$175,000 Fee: \$ 1,248
Current use: Vacant / existing shell for		
If the location is currently vacant, what was prior use: Power Generation		
Approximately how long has it been vacant: 50 years		
Proposed use: Residential		
Project description: New residential construction renovating interior shell for SIF home (already an application had been processed)		
Contractor's name, address & telephone: Ronald Fitch, Diamond Avenue, GDI, ME 04109 207-766-5886		
Who should we contact when the permit is ready: Ronald Fitch		
Mailing address: Diamond Cove, Great Diamond Island, ME 04109		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-766-5886		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 1-30-03
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Applicant:

Date: 3/7/03

Address: 9

C-B-L: 003E-A-005

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing WWT Power Plant

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - to convert

Sewage Disposal - City

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Site plan recently revised to meet the existing building

Projections -

Width of Lot -

Height - Existing

Lot Area - 40,000^{sq} 47881

Lot Coverage/ Impervious Surface - Existing

has water

NO additions or enlargement

Area per Family - 40,000^{sq}

Off-street Parking - 2 Reg - Drive way showing 2 spaces

Loading Bays - N/A

? CALL TO JAG 3/7/03

Site Plan - ?

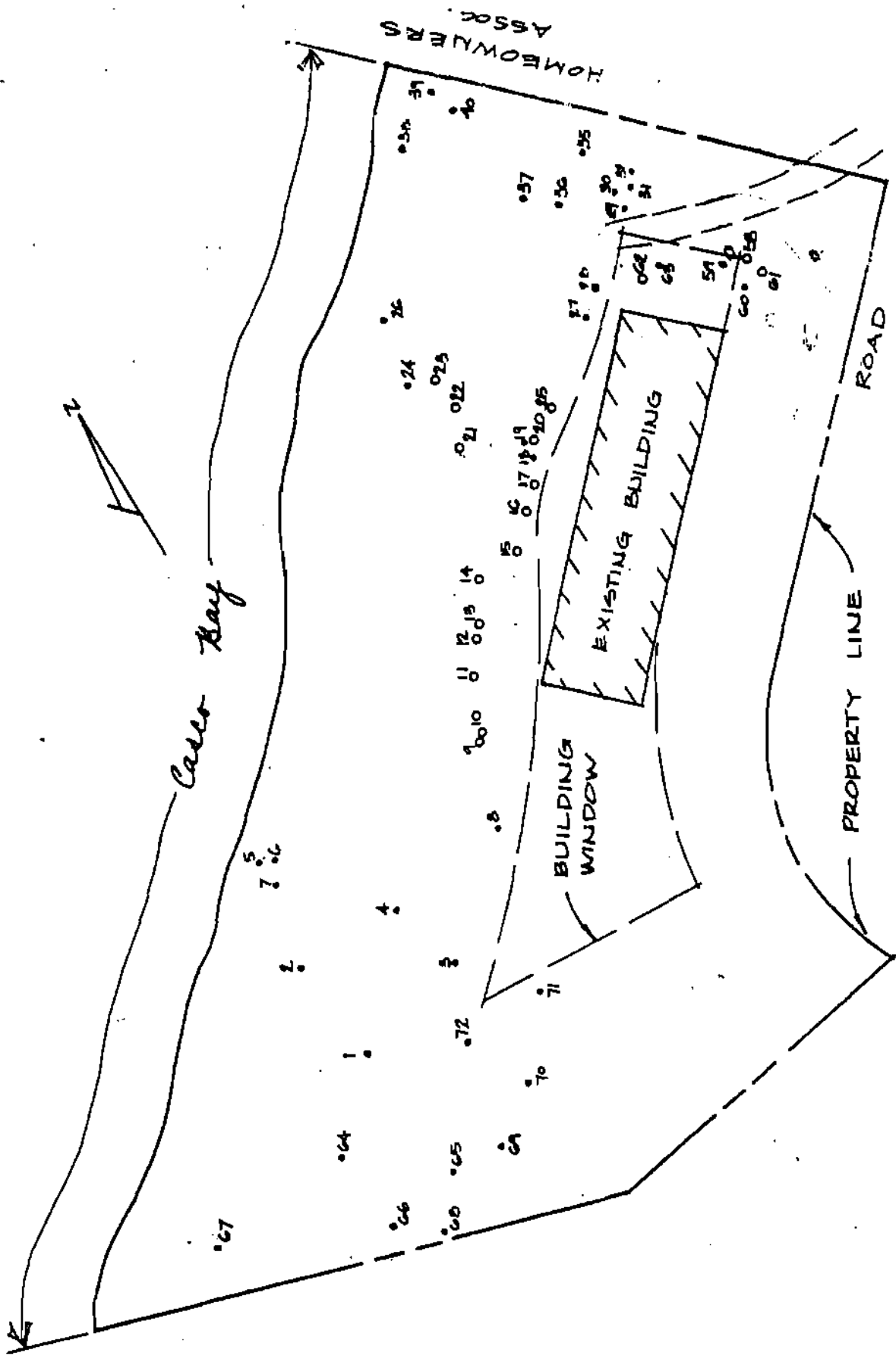
Shoreland Zoning/ Stream Protection - within 250^{ft}

- within 7' from top of bank

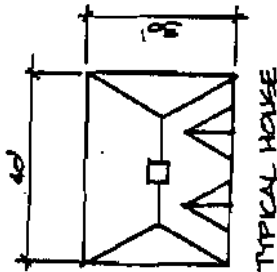
Flood Plains - Panel 9 - Zone C

- Existing bldg - All work is within the existing shell - NO

→ Note About shoreland zone & its requirements



LEGEND
 ○ 4" - 6" DBH
 ● 6" + DBH



LOT 5 - 1.119 AC. ±
 DIAMOND COVE - PHASE II
 SEPT 1988 11' 40' 4

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT BY RULE NOTIFICATION FORM

(For use with DEP Regulation, Chapter 305)

NAME
RECEIVED

RECEIVED DEP-SMRO

PLEASE TYPE OR PRINT IN BLACK INK ONLY (3 COPIES, PLEASE BEAR DOWN)

Applicant: <u>PORTLAND FIRE</u>		Name of Owner: <u>STATE OF ME</u>	
Mailing Address: <u>LOT 5 WEST SHORE DRIVE DIAMOND COVE</u>		Town/City: <u>PORTLAND</u>	
State: <u>ME</u>	Zip Code: <u>04101</u>	Daytime Telephone No: <u>207 766 5886</u> (Include area code)	
Name of Wetland, Water Body or Stream: <u>CASCO BAY</u>			
Detailed Directions to Site: <u>CASCO BAY BRIDGE TO DIAMOND COVE, LOT 5 IS LOCATED IN PHASE II OF DEVELOPMENT, WEST SHORE DRIVE</u>			
Project Location: (Town/City): <u>PORTLAND</u>	UTM Northing:	UTM Easting:	
Map:	Lot #:	County:	<u>CUMBERLAND</u>
Description of Project: <u>CONVERSION OF WWTP NAVAL HEATING PLANT TO RESIDENTIAL HOME - REMOVAL OF COAL REVEGETATING BARE AREAS AS SHOWN ON DRAWING</u>			

(CHECK ONE) This project: does does not involve work below mean low water. D.C. ALREADY APPROVED

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Regulation, Chapter 305. I have a copy of PBR Sections checked below. I have read and will comply with all of the standards.

- Sec. (2) Soil Disturbance
- Sec. (3) Intake Pipes
- Sec. (4) Replacement of Structures
- Sec. (5) REPEALED
- Sec. (6) Movement of Rocks or Vegetation
- Sec. (7) Outfall Pipes
- Sec. (8) Shoreline stabilization
- Sec. (9) Utility Crossing
- Sec. (10) Stream Crossing
- Sec. (11) State Transportation Facilities
- Sec. (12) Restoration of Natural Areas
- Sec. (13) F&W Creation/Enhance/Water Quality Improvement
- Sec. (14) Piers, Wharves & Pillings
- Sec. (15) Public Boat Ramps
- Sec. (16) Coastal Sand Dune Projects
- Sec. (17) Transfers/Permit Extension
- Sec. (18) Maintenance Dredging

I authorize staff of the Department of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that *this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.*

I have attached all of the following required submittals. NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:

- Attach a check for \$50 (non-refundable) made payable to: "Treasurer, State of Maine".
- Attach a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach photographs showing existing site conditions (unless not required under standards).

ENCLOSED PLOT PLAN & SITE SKETCH
Ann V. C. Tuttle 6/3/02

Keep the bottom copy as a record of permit. Send the form with attachments via certified mail to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. Work carried out in violation of any standard is subject to enforcement action.

AUGUSTA DEP
STATE HOUSE STATION 17
AUGUSTA, ME 04333-0017
(207)287-2111

PORTLAND DEP
312 CANCO ROAD
PORTLAND, ME 04103
(207)822-8300

BANGOR DEP
108 HOGAN ROAD
BANGOR, ME 04401
(207)941-4570

PRESQUE ISLE DEP
1235 CENTRAL DRIVE
PRESQUE ISLE, ME 04769
(207)764-0477

OFFICE USE ONLY	Ck.#	Date	Staff	Staff	
PBR #	FP		Acc. Date	Def. Date	After Photos

Transmittal Letter

Project: Fitch Residence

Project No.: 008

Date: 03/14/03

To: Tammy Munson
(Hand Delivered)

Fax No.:

If enclosures are not as noted, please inform us immediately.

We transmit:

- herewith under separate cover via UPS
 in accordance with your request _____

For your:

- approval distribution to parties information
 Review and Com record
 use Signature

The following:

- Drawings Shop Drawing Prints/Specificat Samples
 Specifications Shop Drawing Reproducibles Product Literature
 Change Order Slides

Copies	Date	Rev. No.	Description	Action
2	3.14.03	1	A-1, First Floor Plan	
2	3.14.03	1	A-2, Second Floor Plan	
2	3.14.03	1	A-3, Elevations	
2	3.14.03	1	A-4, Elevations	
2	3.14.03	1	A-5, Sections	

- Action Co A. Action indicated on item transmitted D. For signature and forwarding as noted below under Remarks
 B. No action required
 C. For signature and return to this office E. See Remarks below

Remarks:

Copies to:

TFH Architects, P. A.
 100 Commercial Street
 Portland Maine 04101
 Telephone 207-775-6141
 Fax 207-773-0194
 By: Chris Cavendish

File

x

Transmittal Letter

Project: Fitch Residence

Project No.: 008

Date: 03/24/03

To: Tammy Munson
(Hand Delivered)

Fax No.:

If enclosures are not as noted, please inform us immediately.

We transmit:

- herewith under separate cover via UPS
 in accordance with your request _____

For your:

- approval distribution to parties information
 Review and Comme record
 use Signature

The following:

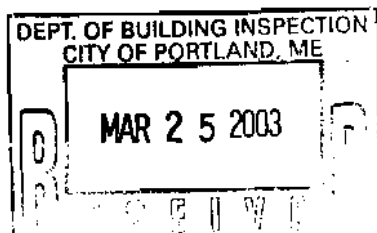
- Drawings Shop Drawing Prints/Specifications Samples
 Specifications Shop Drawing Reproducibles Product Literature
 Change Order Slides

Copies	Date	Rev. No.	Description	Action
1	3.24.03	2	A-1, First Floor Plan	
1	3.24.03	2	A-2, Second Floor Plan	
1	3.24.03	2	A-3, Elevations	
1	3.24.03	2	A-4, Elevations	
1	3.24.03	2	A-5, Sections	
1	3.24.03	2	(11x17) A-1, First Floor Plan	
1	3.24.03	2	(11x17) A-2, Second Floor Plan	
1	3.24.03	2	(11x17) A-3, Elevations	
1	3.24.03	2	(11x17) A-4, Elevations	
1	3.24.03	2	(11x17) A-5, Sections	

- Action Code: A. Action indicated on item transmitted D. For signature and forwarding as noted below under Remarks
 B. No action required E. See Remarks below
 C. For signature and return to this office

Remarks: _____

Copies to:



File

x

TFH Architects, P. A.
 100 Commercial Street
 Portland Maine 04101
 Telephone 207-775-6141
 Fax 207-773-0194
 By: Ryan Senator



TFH ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELEPHONE 207-775-6141 ARCHITECTURE AND PLANNING

TRANSMITTAL

Attached are drawings that TFH Architects is submitting on behalf of Mr. & Mrs. Fitch. We are assisting Mr. & Mrs. Fitch with the application, so please call us if you have any questions and or concerns.

Sincerely,

Kirk R. Henriksen 2/10/03

Kirk R. Henriksen

TFH Architects



30' DRAINAGE
& UTILITY EASEMENT

5



WEST

HOME
RESEF

C4

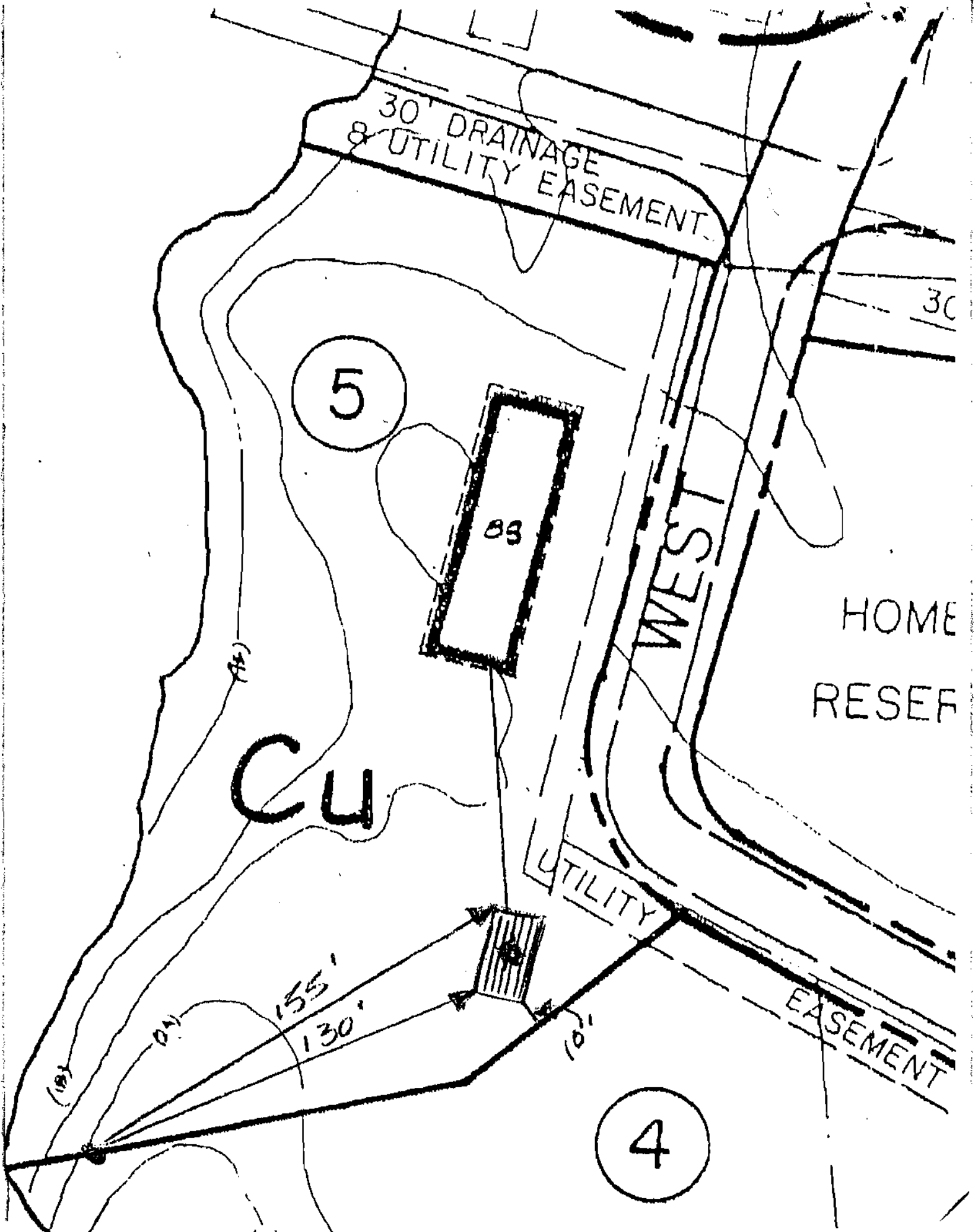
UTILITY

EASEMENT

135'
130'



4



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

2002-0168
Application I. D. Number
08/01/2002
Application Date
West Shore Drive Great Diamond Island
Project Name/Description

Androscoggin Savings Bank
Applicant
30 Lisbon St, Lewiston, ME 04243
Applicant's Mailing Address

*This was prior to the
change of use*

DRC Copy

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

92 - 92 West Shore Dr, Portland, Maine
Address of Proposed Site
083E A005001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) site plan is first

Proposed Building square Feet or # of Units 47,881 sq. ft. Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Plan \$80.00 Subdivision _____ Engineer Review \$250.00 Date 08/01/2002

DRC Approval Status:

Approved [Redacted] See Attached
 Denied [Redacted]
 Condition Compliance Jay Reynolds 10/10/2002 10/10/2002
signature date
Approval Expiration 10/10/2003 Extension to _____
 Additional Sheets Attached

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	_____
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2002-0188

Application I. D. Number

08/01/2002

Application Date

Androscoggin Savings Bank

Applicant

30 Lisbon St, Lewiston, ME 04243

Applicant's Mailing Address

West Shore Drive Great Diamond Island

Project Name/Description

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

92 - 92 West Shore Dr, Portland, Maine

Address of Proposed Site

083E A005001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 2 Your new street address is now 92 WEST SHORE DRIVE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 4 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2002-0188
Application I. D. Number
08/01/2002
Application Date
West Shore Drive Great Diamond Island
Project Name/Description

Androscoggin Savings Bank
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30 Lisbon St, Lewiston, ME 04243
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

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Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) site plan is first

Proposed Building square Feet or # of Units 47,661 sq. ft. Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 08/01/2002

Insp Approval Status:

- Reviewer _____
- Approved Approved w/Conditions See Attached Denied
- Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
- Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee is submitted.

- | | | | | |
|---|-------|-------|-------|---------------------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ | _____ | _____ | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | _____ | _____ | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | _____ | _____ | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | _____ | signature |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ | submitted date amount expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | _____ | signature |

8/14/02
per owner
Not really applying
for the re-use to a
single family AT this
time (not prepared with
drawings) just want
to see the site



Land Use Consultants, Inc.

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

July 31, 2002

1420.05

planners
engineers
landscape
architects

Mike Nugent, Building Inspector
Housing and Neighborhood Services Department
389 Congress Street
Portland, ME 04101

Ron & Sandy Fitch – Lot 5 Diamond Cove

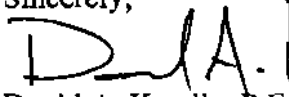
Dear Mike:

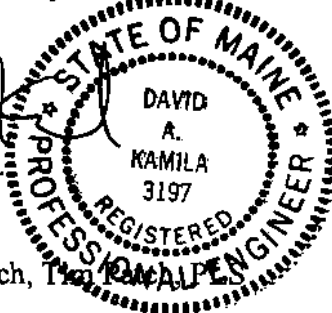
I am writing to you on behalf of my clients Ron and Sandy Fitch. They are in the process of renovating an old building which was part of the old Fort McKinley complex. Their lot is part of the approved subdivision plan of Diamond Cove Phase II Sheet 2 of 3 recorded in the Registry of Deeds in Plan Book 198 Page 389. I have previously prepared a Plumbing Permit Application (HHE-200) for a new subsurface disposal system on the lot to serve their new home. Dinosaur Enterprises Ltd. had filed for the permit to install the new disposal system but was stopped by your office recently. I have prepared the attached Site Plan (7 copies) of their lot, which shows the existing building, utilities, grading, drainage, disposal system, and driveway. The plan was surveyed by Survey & Geodetic Consultants Inc. and includes their seal and signature. I have also included a preliminary floor plan for the proposed renovations (7 copies) prepared by TFH Architects.

The Fitch's would like to proceed with their installation of the disposal system and it is our intent that this additional information will enable you to permit that work to proceed with the understanding that they will be submitting final plans for the building renovations in the near future.

I am available at your convenience to discuss this matter in more detail. Please feel free to call me with your questions and concerns.

Sincerely,


David A. Kamila, P.E.
President



Cc: Ron & Sandy Fitch, Inc.

Enclosures

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 3313
fax (207) 878 0201
www.landuse@gwi.net



CITY OF PORTLAND, MAINE

Department of Building Inspections

Feb 19 2003

Received from

Sandra Fitch

Location of Work

205#5 West Shore Drive, Dineen
Cove

Cost of Construction

\$ 1,500,000

Permit Fee

\$ 1,245.00

Building (IL)

Plumbing (IS)

Electrical (I2)

Site Plan (U2)

Other

CBL:

083 E A 005

Check #:

402

Total Collected \$

1,245.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

[Handwritten signature]



CITY OF PORTLAND, MAINE
Department of Building Inspections

FEB 00 2004

Received from: Sandra Ford

Location of Work: 92 Wood St. Dr.

Cost of Construction \$ _____

Permit Fee \$ ~~250.00~~ ^{\$} 111.00

Building (B) Plumbing (P) Electrical (E) Site Plan (S)

Other: lead

Call: 083 E Adams ^{\$} 111.00

Check #: 484

Total Collected: ~~250~~

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

[Handwritten Signature]

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

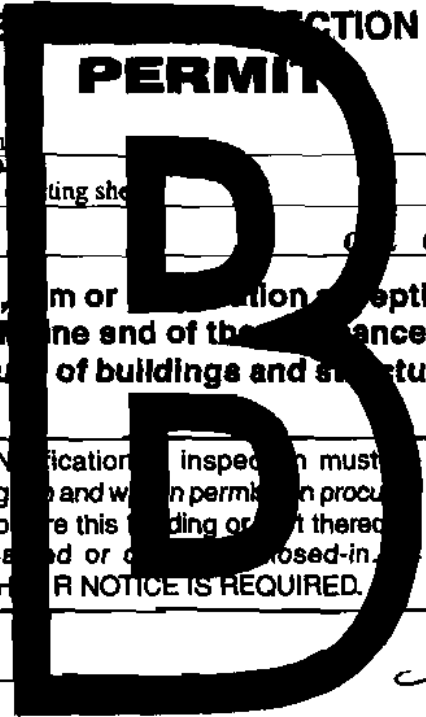
Please Read Application And Notes, If Any, Attached

CONSTRUCTION PERMIT

Permit Number: 030120

This is to certify that Fitch, Ronald & Sandra/Own
has permission to Build 6,529 sq. Ft. Home on lotting she
AT 92 West Shore Dr - Get O Island 083E A005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit in progress before this building or part thereof is occupied or closed-in.
HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

PERMIT ISSUED

MAR 25 2003

[Signature]
Director - Building & Inspection Services

City of Portland, Maine
Inspections Division
Inspection Schedule

Dist. #	Sch. Date:	ParcelNo:	Appl. Type	Schedule Type	Appl #:	Location
Fire Insp.	Contact:		Inspector	Comments		
1	10/18/2003	083E A005001	Subsurface Plumbing Marland Wing	Inspection Dana 671-3050- Great Diamond Island	2002-6008	92 WEST SHORE DR
		Androscoggin Savings Bank Androscoggin Savings Bank				
1	10/29/2003	083E A005001	Subsurface Plumbing Marland Wing	Inspection subsurface plumbing. Call Dana @671-3050 to let him know what boat you're on, and he'll pick you up at the dock. If it's pouring, they might not come out.	2002-6008	92 WEST SHORE DR
		Androscoggin Savings Bank Androscoggin Savings Bank				
1	02/25/2004	083E A005001	Building Permit Arthur Rowe	Inspection with hpapkee	03-0120	92 West Shore Dr
		Fitch, Ronald & Sandra Owner (207) 766-5888				
1	04/23/2004	083E A005001	Building Permit Arthur Rowe	Inspection 7:45 am boat	03-0120	92 West Shore Dr
		Fitch, Ronald & Sandra Owner (207) 766-5886				
4	08/31/2005	083E A005001	Complaint Jonathan Reed	Inspection Anonymous, permits still open for single family dwelling, no C of O issued and there are people living in the house.	6042	92 WEST SHORE DR
		FITCH RONALD G &				
1	07/10/2007	083E A005001	Building Permit Chris Hanson	Certificate of Occupancy/Final THIS IS ON GDI.....THE CO WAS NEVER ISSUED AND IT HAS BEEN OCCUPIED FOR YEARS.....SEE THE COMPLAINT MODULE.....NEED TO CALL THE OWNER TO SET UP AN INSPECTION THIS WEEK AND DETERMINE CODE COMPLIANCE, ALSO HAS A SEPTIC SYSTYEM...../JMB Called to sch' not ready for final will inspect for occupancy CSH	03-0120	92 WEST SHORE DR
		Fitch, Ronald & Sandra				
1	04/24/2008	063E A005001	Building Permit Jon Rioux	Inspection Ron 938-4339 Home permit 2003 need a final for C of O.	03-0120	92 WEST SHORE DR
		FITCH RONALD G &				

Total Listed: 7

Schedule Inspection

Switch To

Find

New

Print

Delete

Print Letter

Close

Complaint ID: 6042 Status: Closed Date: 08/30/2005 Time: 12:37 PM

CBL: 083E A005001 Street Address: 92 WEST SHORE DR District: 1

Description of Location: Inspector: Jonathan Reed

Category: Building

Complaint: Open permits for single family home converted from old power plant. Anonymous complainant came into the office to say that there are people living in the bldg. and to check to see if there was a C of O issued (which there is not)

Comments:

Owner: FITCH RONALD G &

SANDRA E FITCH JTS

Mail Addr: 92 WEST SHORE DR

GREAT DIAMOND ISLAND ME 04109

dmartin

08/30/2005

jr

01/17/2006

Schedule Inspection

Switch To

Find

New

Print

Delete

Print Letter

Close

Complaint ID: 906 Status: Open Date: 01/28/2003 Time: 3:11 PM

CBL: 083E A005001 Street Address: 92 WEST SHORE DR District: 1

Description of Location: Inspector: Kevin Carroll

Category: Building

Complaint: Complainant states that construction converting a bunker to a SFR is underway without a permit. No permit on file except for a roof system replacement.

Comments: please contact complainant after site visit. Owner Ronald Fitch is renting unit 13-A McKinley Court while working on the house.

Owner: ANDROSCOGGIN SAVINGS BANK

CUST OF RONALD G FITCH IRA

Mail Addr: 30 LISBON ST

LEWISTON ME 04243

kwd

01/28/2003

kwd

01/28/2003

Schedule Inspection

Switch To

Find

New

Print

Delete

Print Letter

Close

Complaint ID: 627 Status: Closed Date: 08/22/2002 Time: 2:41 PM

CBL: 083E A005001 Street Address: 92 WEST SHORE DR District: 1

Description of Location: interior and exterior of building Inspector: Arthur Rowe

Category: Building

Complaint: Permit # 02-0650 on 6/18/02 was issued to replace the roof system for future single family dwelling. The complainant says non-permitted work is being done in the interior of building including walls and floors, roof height has been exceeded, rafters have been used much higher than original, wall height was not reduced to compensate for increased height. Appears to

Comments: Complainant sent in written complaint addressed to Mike Nugent

Owner: ANDROSCOGGIN SAVINGS BANK

CUST OF RONALD G FITCH IRA

Main Addr: 30 LISBON ST

LEWISTON ME 04243

99

08/22/2002

axr

07/21/2003

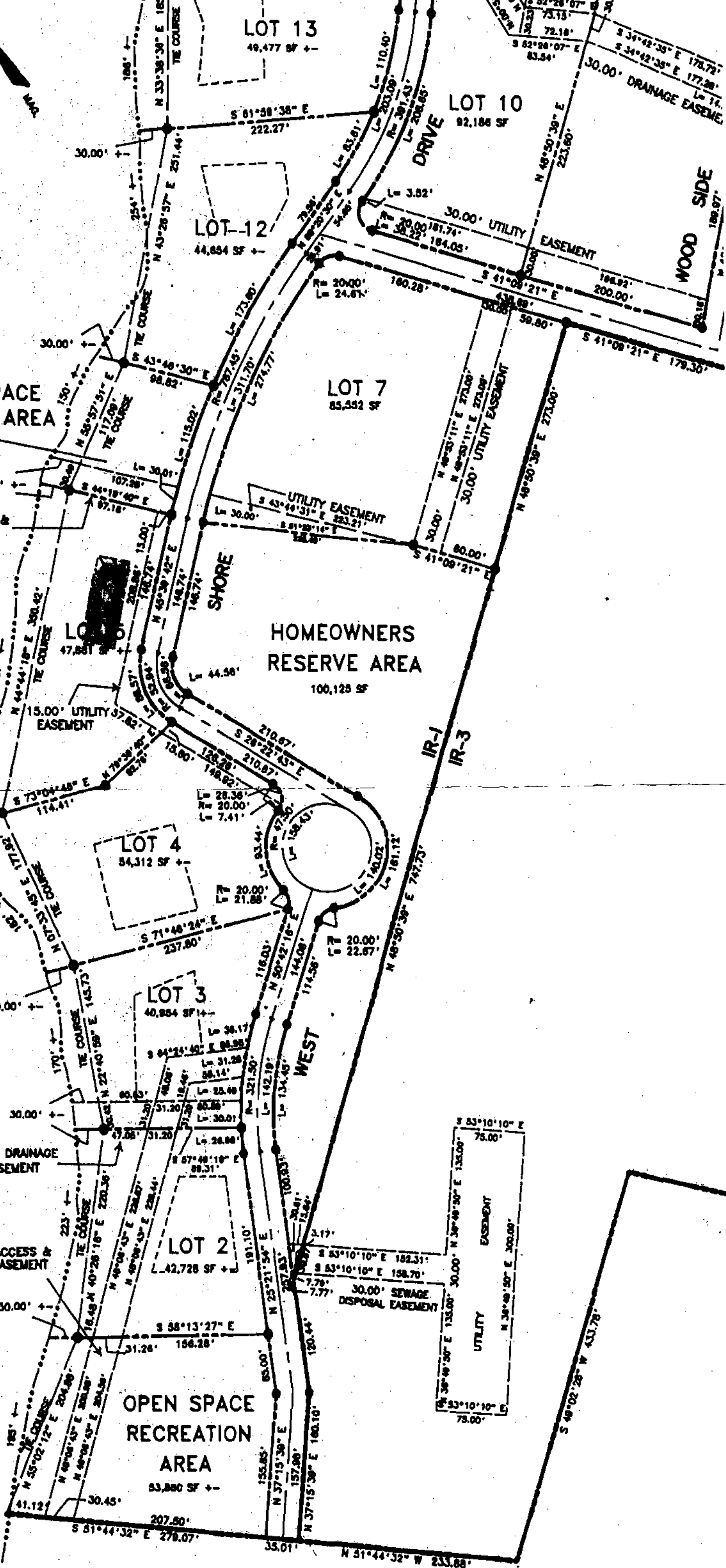


ATLANTIC OCEAN

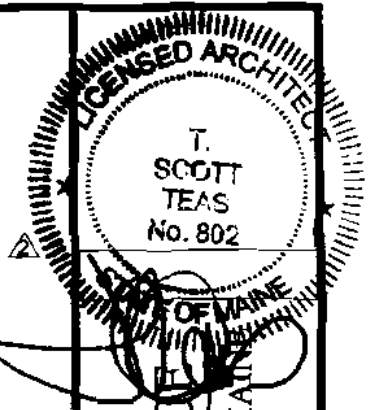
OPEN SPACE RECREATION AREA
19,554 SF +-
30.00' DRAINAGE & UTILITY EASEMENT

OPEN SPACE RECREATION AREA
53,880 SF +-
30.00' ACCESS & UTILITY EASEMENT
30.00' DRAINAGE EASEMENT

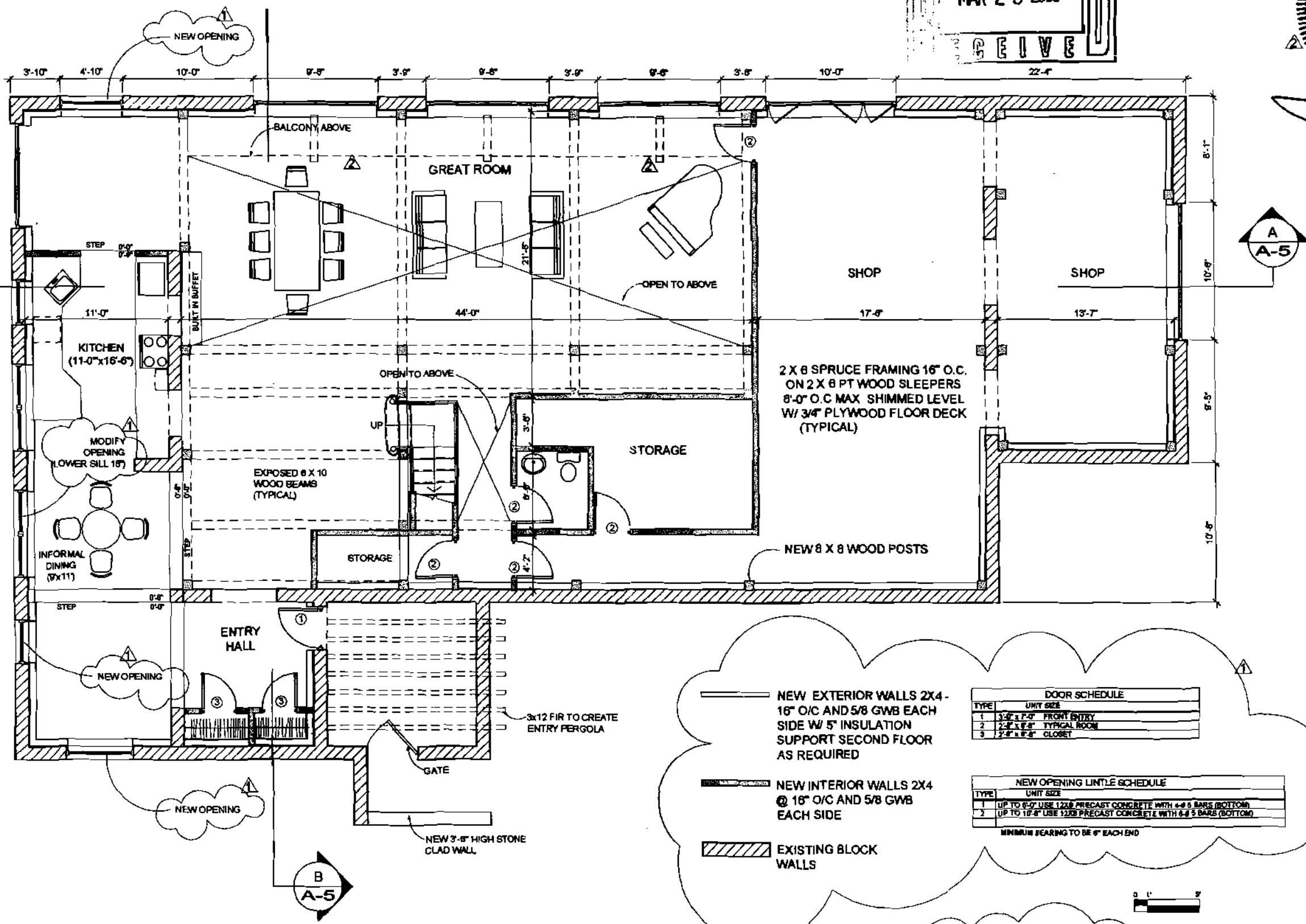
HOMEOWNERS RESERVE AREA
100,125 SF



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 25 2003
RECEIVED



FITCH RESIDENCE
GREAT DIAMOND ISLAND, MAINE



NEW EXTERIOR WALLS 2X4 - 16" O/C AND 5/8 GWB EACH SIDE W/ 5" INSULATION SUPPORT SECOND FLOOR AS REQUIRED

NEW INTERIOR WALLS 2X4 @ 16" O/C AND 5/8 GWB EACH SIDE

EXISTING BLOCK WALLS

DOOR SCHEDULE	
TYPE	UNIT SIZE
1	3'-0" x 7'-0" FRONT ENTRY
2	2'-0" x 6'-8" TYPICAL ROOM
3	2'-0" x 6'-8" CLOSET

NEW OPENING LINTLE SCHEDULE	
TYPE	UNIT SIZE
1	UP TO 6'-0" USE 12XB PRECAST CONCRETE WITH #4 S BARS (BOTTOM)
2	UP TO 10'-0" USE 12XB PRECAST CONCRETE WITH #4 S BARS (BOTTOM)

MINIMUM BEARING TO BE 6" EACH END

1 FIRST FLOOR PLAN
A-1 3/16" = 1'-0"



GENERAL NOTES.
• REVISION 1 - ADDITIONAL NOTATIONS

CONSULTANTS:

REVISIONS:
 ▲ REV 1: 3.14.03
 ▲ REV 03.24.03

DATE: 01/24/03

PROJECT No: 0008

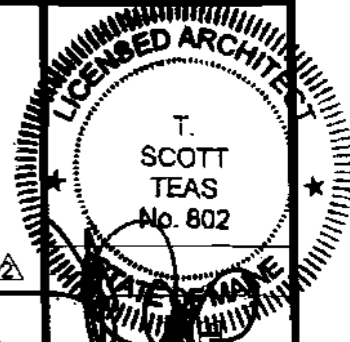
DRAWN BY:

CHECKED BY: TST

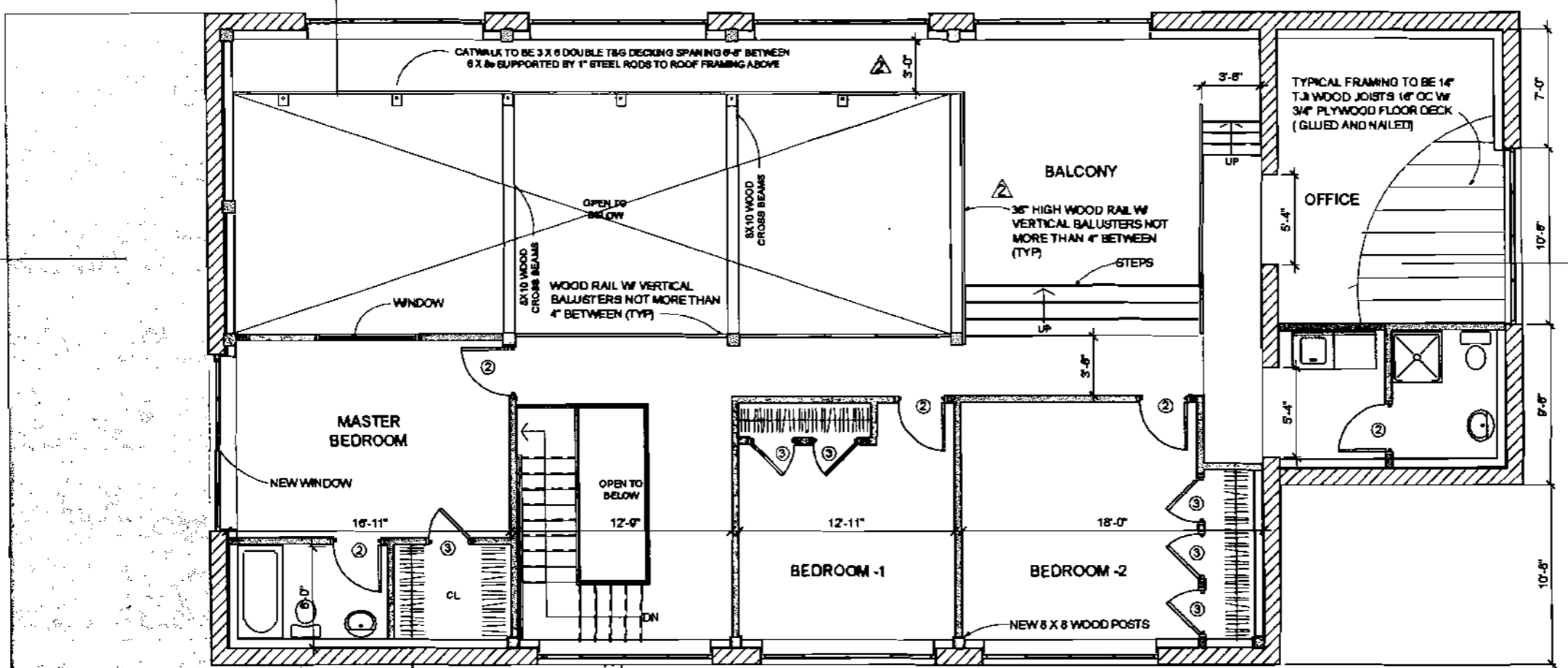
SCALE: AS SHOWN

SHEET TITLE:
FIRST FLOOR PLAN

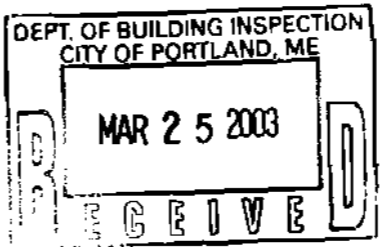
A-1



FITCH RESIDENCE
 GREAT DIAMOND ISLAND, MAINE



GENERAL NOTES.
 • REVISION 1 - ADDITIONAL NOTATIONS

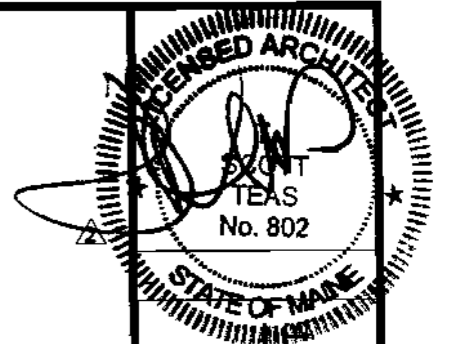


CONSULTANTS:	
REVISIONS:	
▲	REV 1: 3.14.03
▲	REV 03: 24.03
DATE:	01/24/03
PROJECT No.	0008
DRAWN BY:	
CHECKED BY:	TST
SCALE:	AS SHOWN
SHEET TITLE	
SEC. FLOOR PLAN	

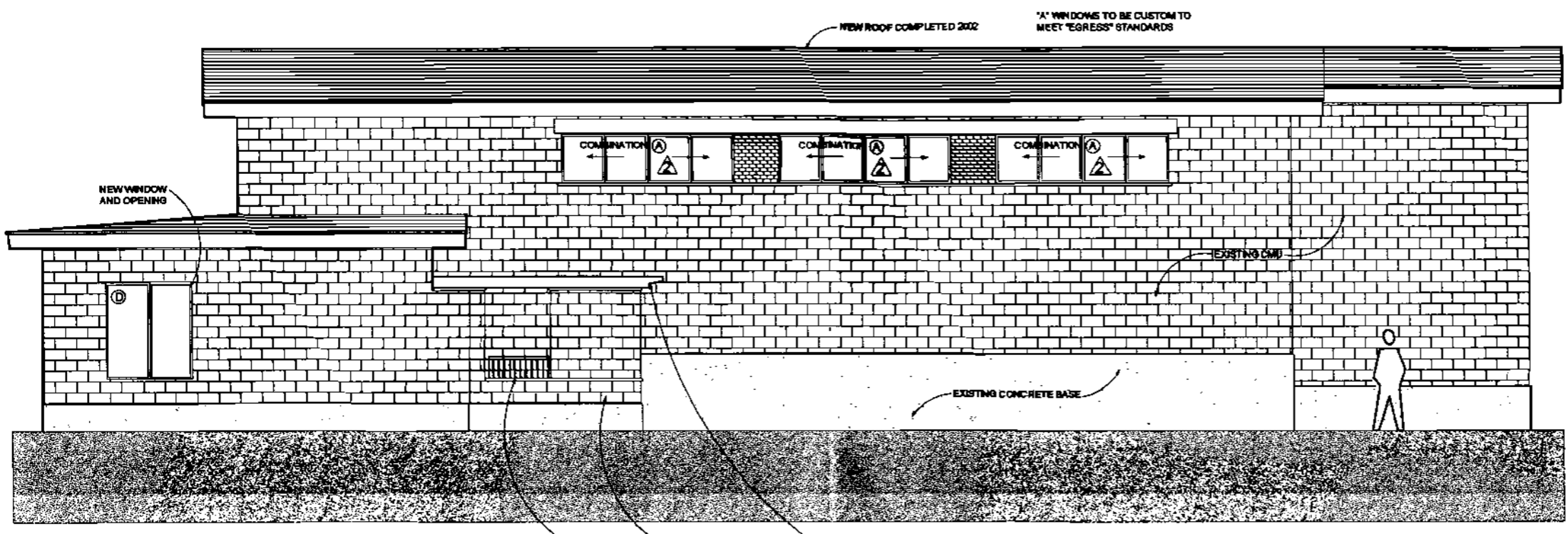
1 SECOND FLOOR PLAN
 A-2 3/16" = 1'-0"



A-2

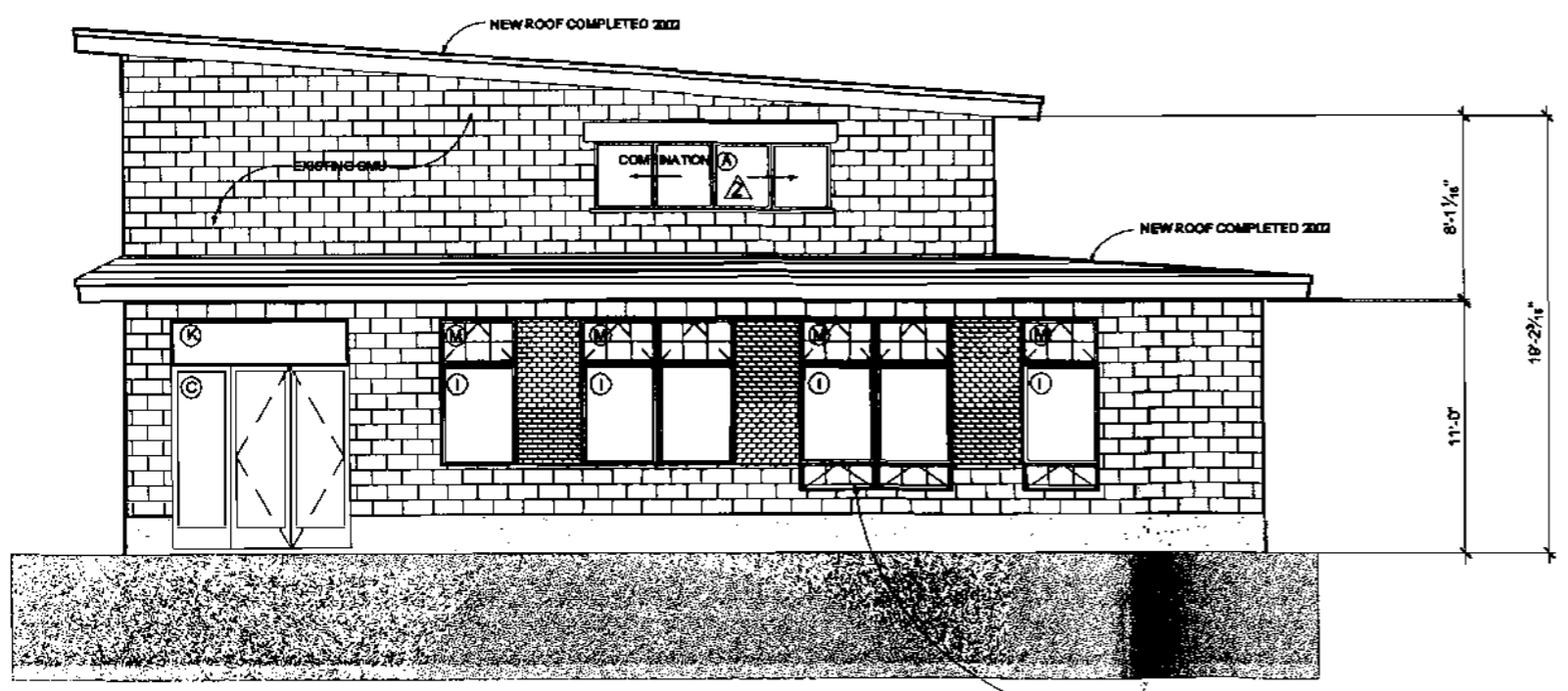


FITCH RESIDENCE
 GREAT DIAMOND ISLAND, MAINE



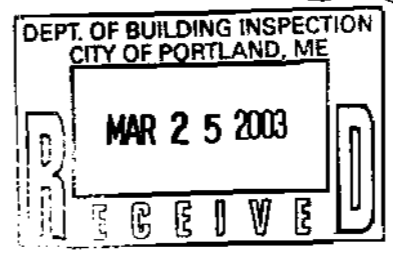
SOUTH ELEVATION
ALL WINDOWS TO BE REPLACED

NEW GATE LOWER WALL TO 30" & CAP W/ 2" STONE OPEN ROOF FRAMING OVER ENTRYWAY (PERGOLA)

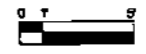


WEST ELEVATION
ALL WINDOWS TO BE REPLACED

GENERAL NOTES.
• REVISION 1 - ADDITIONAL NOTATIONS



WINDOW SCHEDULE	
TYPE	UNIT SIZE
A	2-11 3/4" x 10' 5 1/2" (MEETS EGRESS REQUIREMENTS)
B	2-11 1/4" x 10' 1/2"
C	2-10" x 7' 11 1/2"
D	NA
E	5' 11 7/8" x 8' 5 1/8"
F	9' 5 1/8" x 2'-0"
G	4-11 1/4" x 7' 11 1/2"
H	2'-0" x 8'-11 1/2"
I	4'-8 1/2" x 8'-3 1/2"
J	NA
K	2'-0 1/8" x 7' 11 1/8"
L	NA
M	2-3 5/8" x 8' 10 1/4"



CONSULTANTS:

REVISIONS:
 ▲ REV 1: 3.14.03
 ▲ REV 03: 24.03

DATE: 01/24/03

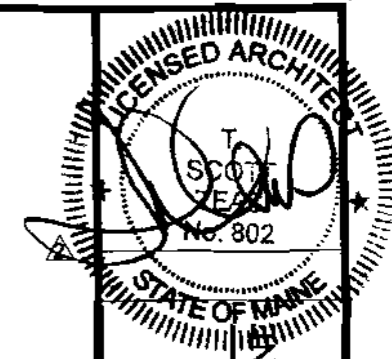
PROJECT No. 0008

DRAWN BY:

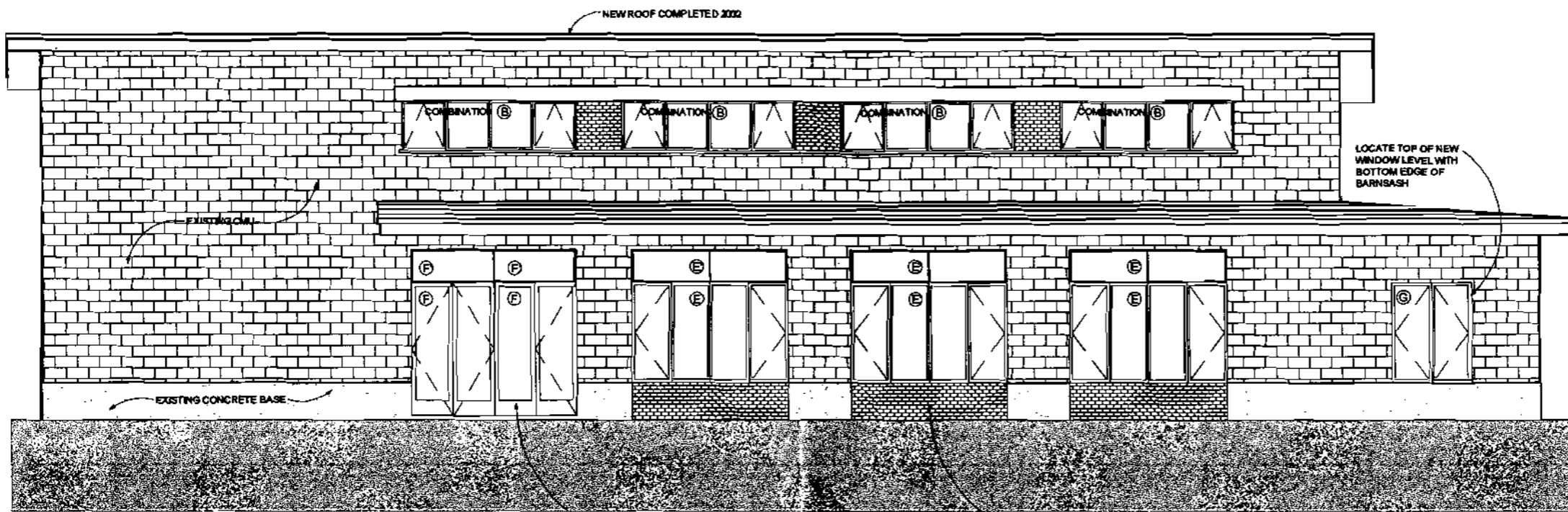
CHECKED BY: TGT

SCALE: 3/16" = 1'-0"

SHEET TITLE:
ELEVATIONS



FITCH RESIDENCE
 GREAT DIAMOND ISLAND, MAINE

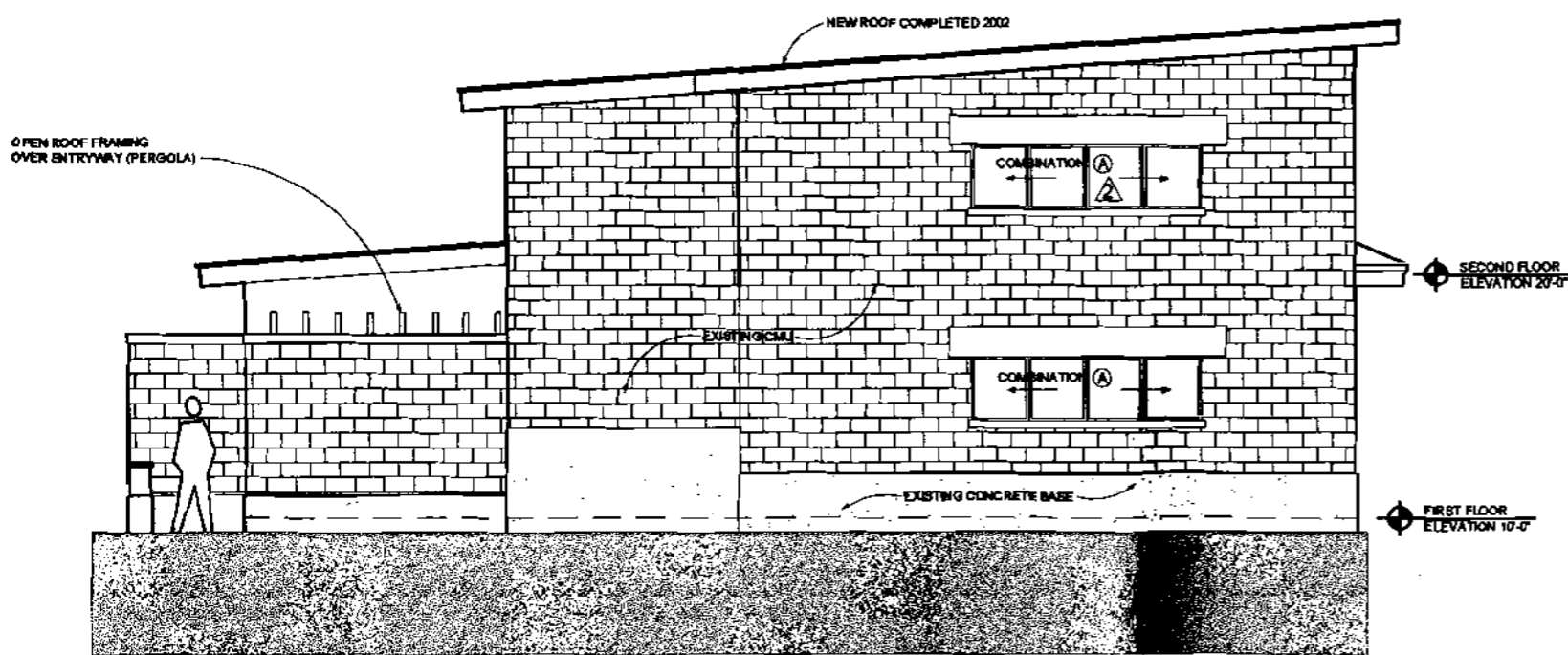


NORTH ELEVATION

ALL WINDOWS TO BE REPLACED

2 PATIO DOORS WITH BARN SASH OVER

NEW BRICK BASE BELOW NEW WINDOWS

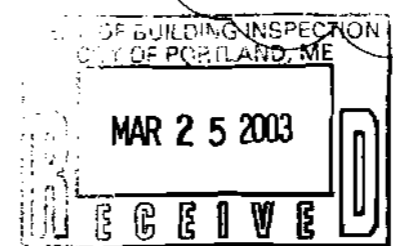


EAST ELEVATION

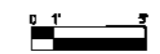
ALL WINDOWS TO BE REPLACED

GENERAL NOTES

• REVISION 1 - ADDITIONAL NOTATIONS



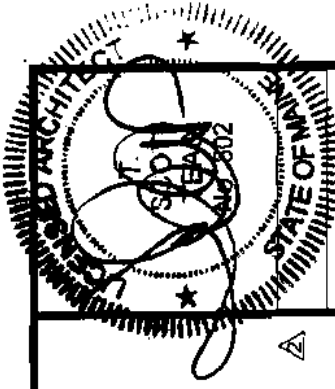
WINDOW SCHEDULE	
TYPE	UNIT SIZE
A	2'-11 3/8" x 10' 5 1/2" (MEETS EGRESS REQUIREMENTS)
B	2'-11 1/4" x 10' 1/2"
C	2' 1/8" x 7' 11 1/8"
D	N/A
E	5' 11 7/8" x 8' 5 1/8"
F	8' 5 1/8" x 2'-0"
G	4'-11 1/4" x 7' 11 1/2"
H	2'-0" x 8'-11 1/8"
I	4'-8 1/2" x 8'-3/8"
J	N/A
K	6'-9 5/8" x 4'-4 13/16"
L	N/A
M	2'-0 5/8" x 8' 10 1/4"



CONSULTANTS:

REVISIONS:
 ⚠ REV 1: 3.14.03
 ⚠ REV 03: 24.03
 DATE: 01/24/03
 PROJECT No: 0008
 DRAWN BY:
 CHECKED BY: TST
 SCALE: 3/16" = 1'-0"

SHEET TITLE:
ELEVATIONS



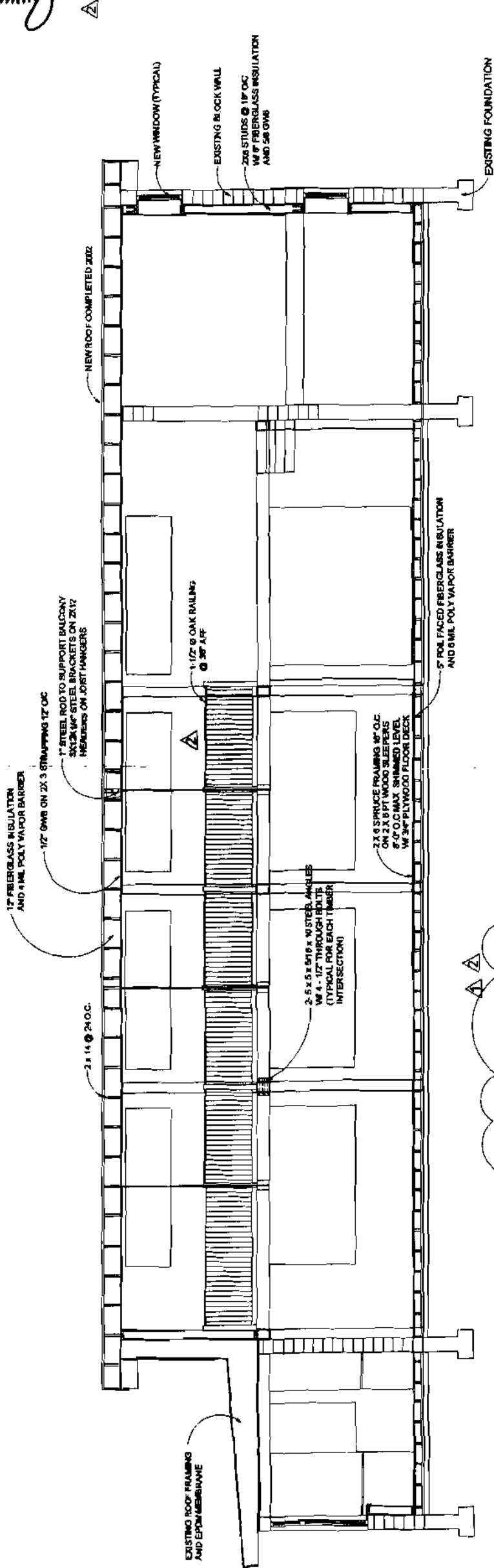
FITCH RESIDENCE

GREAT DIAMOND ISLAND, MAINE

CONSULTANTS:

REVISIONS:	REV 1: 3.14.03
	REV 03.14.03
DATE:	01/24/03
PROJECT NO.	0006
DRAWN BY:	TST
CHECKED BY:	AS SHOWN
SCALE:	AS SHOWN
SHEET TITLE:	SECTIONS

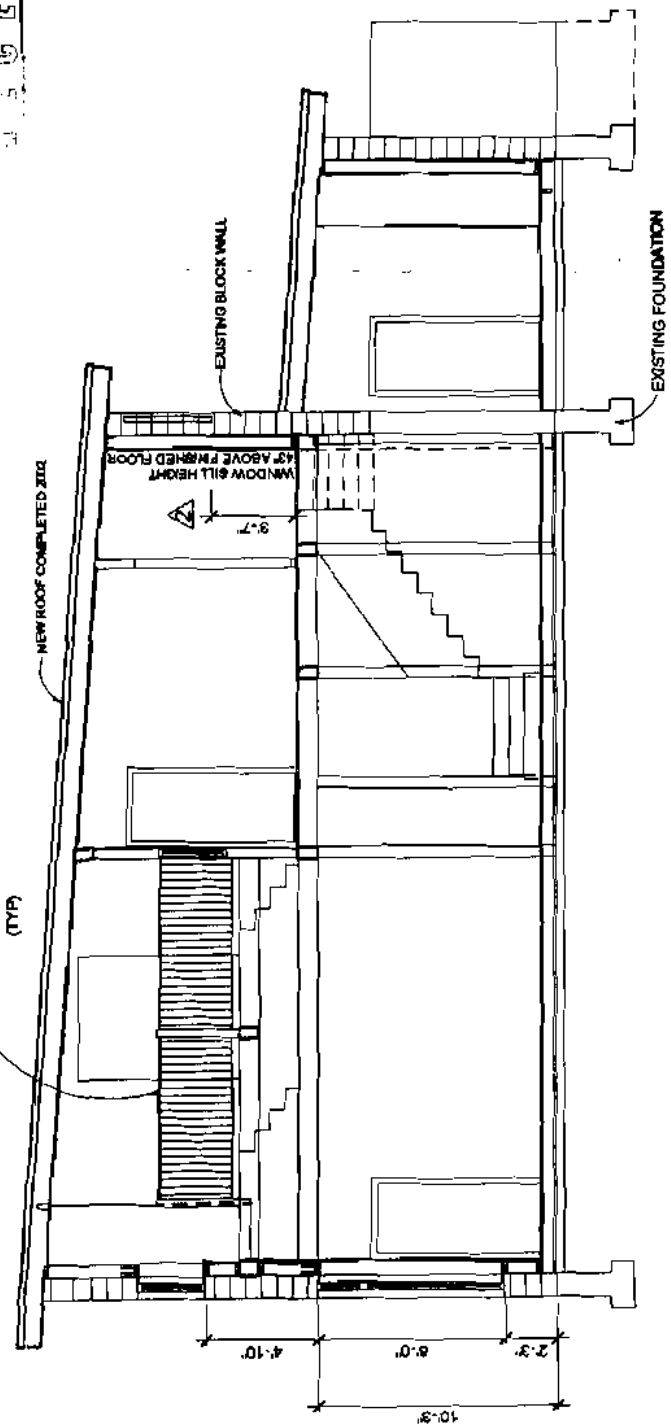
A-5



1 SECTION 'A'
A-5 3/16" = 1'-0"

ADDITIONAL NOTES

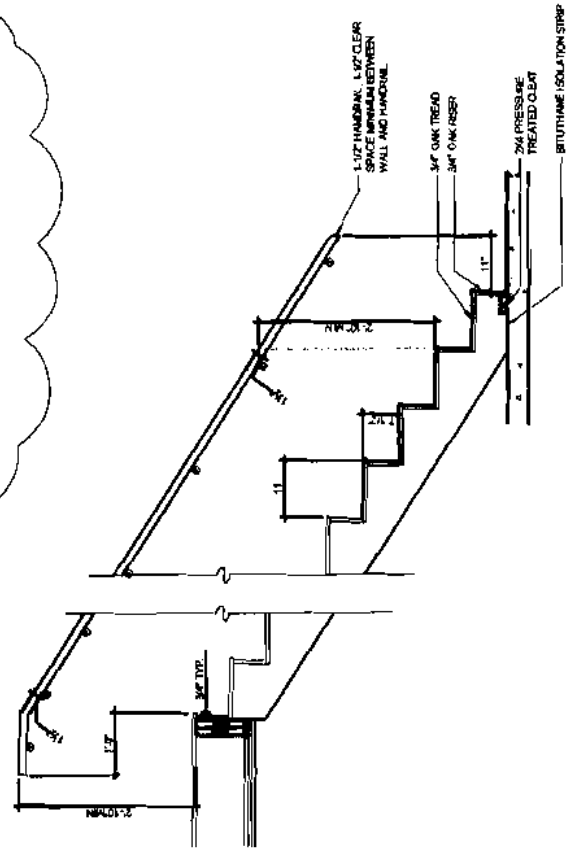
36" HIGH WOOD RAIL W/ VERTICAL BALUSTERS NOT MORE THAN 4" BETWEEN (TYP)



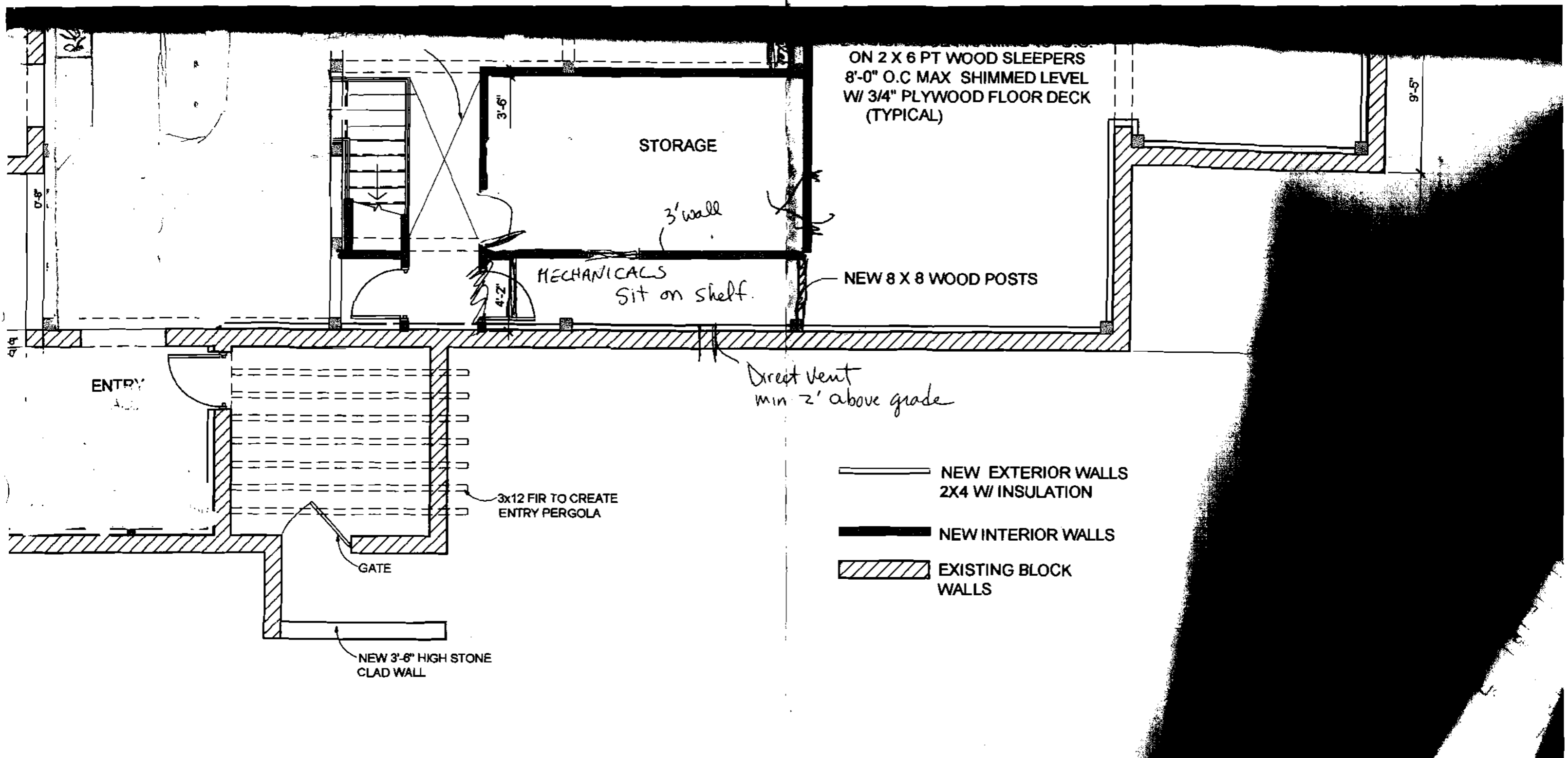
2 SECTION 'B'
A-5 3/16" = 1'-0"




GENERAL NOTES
- REVISION 1 - ADDITIONAL NOTATIONS

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 25 2003
RECEIVED



3 STAIR DETAIL
A-5 1/2" = 1'-0"



-  NEW EXTERIOR WALLS
2X4 W/ INSULATION
-  NEW INTERIOR WALLS
-  EXISTING BLOCK
WALLS

FLOOR PLAN











