

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

DEPARTMENT OF BUILDING INSPECTION

## PERMIT

Permit Number: 030120

This is to certify that Fitch, Ronald & Sandra/Own  
has permission to Build 6,529 sq. Ft. Home on <sup>with</sup> existing shed  
AT 92 West Shore Dr - Get O Island 083E A005001

provided that the person or persons, firm or organization accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_ **MAR 25 2003**  
Other \_\_\_\_\_  
Department Name

**PERMIT ISSUED**

*[Handwritten Signature]*  
Director - Building & Inspection Services

**CITY OF PORTLAND PENALTY FOR REMOVING THIS CARD**

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0120	Issue Date: MAR 25 2003	CBL: 083E A005001
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Location of Construction: 92 West Shore Dr - <i>GET Island</i>	Owner Name: Fitch, Ronald & Sandra	Owner Address: Diamond Avenue, <b>CITY OF PORTLAND</b>	Phone: 207-766-5886
Business Name:	Contractor Name: Owner	Contractor Address: Diamond Ave, GDI Portland	Phone: 2077665886
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <i>IR1</i>

Past Use: WW II Power Plant	Proposed Use: Single Family / Build 6,529 sq. Ft. Home <i>within</i> existing shell. (Prior permit #020650 06/13/02)	Permit Fee: \$1,248.00	Cost of Work: \$175,000.00	CEO District: 1
Proposed Project Description: <i>within</i> existing shell.		FIRE DEPT: <i>N/A</i> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>5</i> <i>BOCA 1999</i>	
		Signature:	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 02/19/2003	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland <i>All within Anctstg District</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 9 Zone C,</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2002-0168</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>3/11/03</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0120	<b>Date Applied For:</b> 02/19/2003	<b>CBL:</b> 083E A005001
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<b>Location of Construction:</b> 92 West Shore Dr	<b>Owner Name:</b> Fitch, Ronald & Sandra	<b>Owner Address:</b> Diamond Avenue, GDI	<b>Phone:</b> 207-766-5886
<b>Business Name:</b>	<b>Contractor Name:</b> Owner	<b>Contractor Address:</b> Diamond Ave, GDI Portland	<b>Phone:</b> (207) 766-5886
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family / Build 6,529 sq. Ft. Home on existing shell. (Prior permit #020650 06/13/02)	<b>Proposed Project Description:</b> Build 6,529 sq. Ft. Home on existing shell.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 03/11/2003**Note:**      **Ok to Issue:** 

- 1) It is understood that all work will be performed WITHIN the existing building shell. Any exterior expansions SHALL require a separate permit and SHALL meet all zoning and shoreland zoning requirements. There shall be no changes to the recently approved site plan/subdivision plan especially in relation to trees and undergrowth.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 03/25/2003**Note:** rec'd new plans - 03/25/2003 - discussed the followinf conditions w/ Scott Teas.      **Ok to Issue:** 

- 1) The lowest point of opening on egress windows must be 44" or less above the finished walking surface.
- 2) Guardrails MUST be 36" minimum measured from the leading edge of the tread protecting all stairways.

**Comments:**

3/11/03-tm: minimal structural details submitted - called designer Scott Teas @ 775-6141 AND LEFT MESSAGE

3/18/03-tm: rec'd additional plans - need stamped plans based on the design - precast concrete being use, post and beam construction, partially hanging balcony from roof. Called Scott Teas and spoke w/him.

3/21/03-tm: Spoke w/ Scott - need to stamp plans and address catwalk width(3'), guard heights and egress windows.

3/25/03-tm: rec'd new plans - ok to issue.



Prmt  12328 Constr Type  Num1

Permit Nbr  Location of Construction  Appl. Date   
Status  Permit Type  Issue Date   
CBL  Territory Nbr  Estimated Cost  Date Closed

Comment Date	Comment	Name	Follow Up Date	Completed
<input type="text" value="03/11/2003"/>	<input type="text" value="minimal structural details submitted - called designer Scott Teas @ 775-6141 AND LEFT MESSAGE"/>	<input type="text" value="itm"/>	<input type="text"/>	<input type="checkbox"/>
<input type="text" value="03/18/2003"/>	<input type="text" value="rec'd additional plans - need stamped plans based on the design - precast concrete being use, post and beam construction, partially hanging balcony from roof. Called Scott Teas and spoke w/him."/>	<input type="text" value="itm"/>	<input type="text"/>	<input type="checkbox"/>
<input type="text" value="03/21/2003"/>	<input type="text" value="Spoke w/ Scott - need to stamp plans and address catwalk width(3'), guard heights and egress windows."/>	<input type="text" value="itm"/>	<input type="text"/>	<input type="checkbox"/>
<input type="text" value="03/25/2003"/>	<input type="text" value="rec'd new plans - ok to issue."/>	<input type="text" value="itm"/>	<input type="text"/>	<input type="checkbox"/>

CreatedBy  CreateDate  ModBy  ModDate

Site Plan # 2002 0168

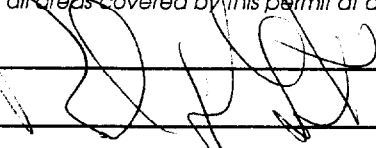
# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

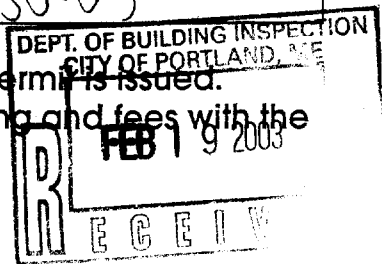
Location/Address of Construction: Lot 5, Great Diamond Island, Maine 04109		
Total Square Footage of Proposed Structure 6,529	Square Footage of Lot 47,881	
Tax Assessor's Chart, Block & Lot Chart# 003 Block# <del>EA</del> Lot# 005 Diamond Cove, GDI EA 5	Owner: Ronald & Sandra Fitch	Telephone: 207-766-5886
Lessee/Buyer's Name (if Applicable) N/A	Applicant name, address & telephone: same as Owner Diamond Avenue Great Diamond Isl. ME	Cost Of Work: \$ 175,000 Fee: \$ 1,248
Current use: Vacant / Existing Shell for		
If the location is currently vacant, what was prior use: Power Generation		
Approximately how long has it been vacant: 50 years		
Proposed use: Residential		
Project description: New residential construction renovating interior shell for SIF home (already an application had been processed)		
Contractor's name, address & telephone: Ronald Fitch, Diamond Avenue, GDI, ME 04109 207-766-5886		
Who should we contact when the permit is ready: Ronald Fitch		
Mailing address: Diamond Cove, Great Diamond Island, ME 04109		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-766-5886		

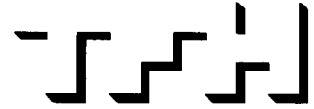
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 1-30-03
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





TFH ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELEPHONE 207-775-6141 ARCHITECTURE AND PLANNING

## TRANSMITTAL

Attached are drawings that TFH Architects is submitting on behalf of Mr. & Mrs. Fitch. We are assisting Mr. & Mrs. Fitch with the application, so please call us if you have any questions and or concerns.

Sincerely,

*Kirk R. Henriksen 2/18/03*

Kirk R. Henriksen  
TFH Architects

Applicant:

Date: 3/7/03

Address: 9

C-B-L: 083E-A-005

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing WWII Power Plant

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - to convert

Sevage Disposal - City

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Site plan recently revised to meet the existing building

Projections -

Width of Lot -

Height - Existing

Lot Area - 40,000<sup>sq</sup> 47881

Lot Coverage/ Impervious Surface - Existing NO additions or enlargements

Area per Family - 40,000<sup>sq</sup>

Off-street Parking - 2 req - Drive way showing 2 spaces

Loading Bays - N/A

? CALL TO JAY 3/7/03

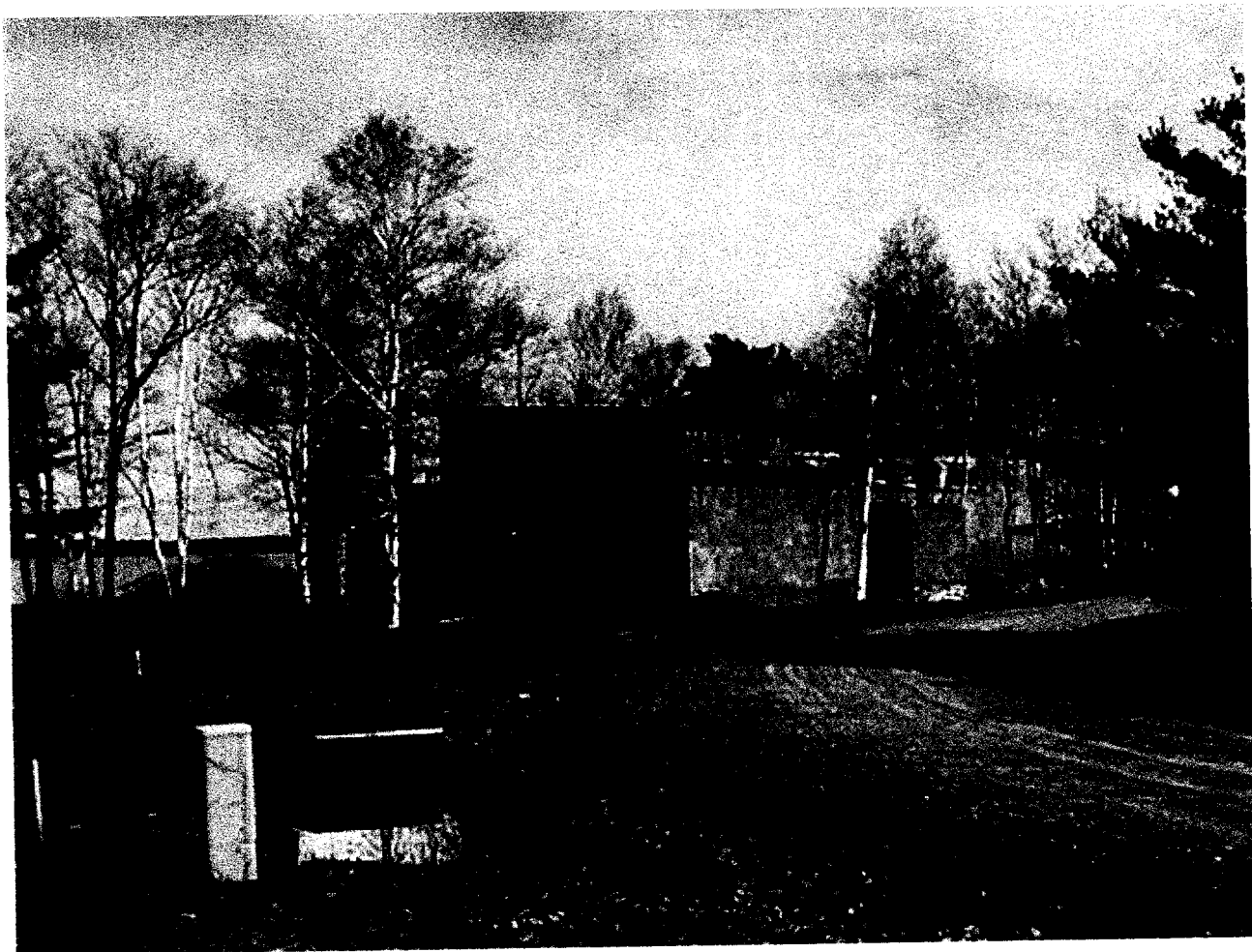
Site Plan - ?

Shoreland Zoning/ Stream Protection - within 250<sup>ft</sup>

Flood Plains - Panel 9 - Zone C

- within 7' from top of bank  
- Existing bldg -  
All work is within the existing shell -  
NO

→ Note About Shoreland Zone & its requirements





**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

*This was prior to the change of use*

2002-0168  
Application I. D. Number  
08/01/2002  
Application Date  
West Shore Drive Great Diamond Island  
Project Name/Description

Androscoggin Savings Bank  
Applicant  
30 Lisbon St, Lewiston, ME 04243  
Applicant's Mailing Address

92 - 92 West Shore Dr, Portland, Maine

Consultant/Agent

Address of Proposed Site

Agent Ph: Agent Fax:

083E A005001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **site plan is first**

47,881 sq. ft.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review
- Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification
- Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan \$50.00 Subdivision Engineer Review \$250.00 Date 08/04/2002

**DRC Approval Status:**

Approved *See Attached*  Denied *[Redacted]*  
Approval Expiration 10/10/2003 Extension to 10/10/2002  Additional Sheets Attached  
 Condition Compliance **Jay Reynolds** signature **10/10/2002** date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit Issue	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	date	Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2002-0168

Application I. D. Number

08/01/2002

Application Date

**Androscoggin Savings Bank**

Applicant

**30 Lisbon St, Lewiston, ME 04243**

Applicant's Mailing Address

**West Shore Drive Great Diamond Islan**

Project Name/Description

Consultant/Agent

**Agent Ph:**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**92 - 92 West Shore Dr, Portland, Maine**

Address of Proposed Site

**083E A005001**

Assessor's Reference: Chart-Block-Lot

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**Approval Conditions of DRC**

- 1 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 2 Your new street address is now 92 WEST SHORE DRIVE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 4 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		CBL:
Permit No: 02-0650	Issue Date: JUL 12 2002	083E A005001

Location of Construction: 92 West Shore Dr <i>Grt Island</i>		Owner Name: <i>Emald G Fitch</i> Androscoggin Savings Bank	Owner Address: <i>Diamond Cove, Grt Island</i> 30 Lisbon St	Phone: 207-766-5886
Business Name: n/a	Contractor Name: n/a SELF	Contractor Address: Portland		Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings		Zone: <i>IR-1</i>
Past Use: Vacant / Prior use WW II Power Plant	Proposed Use: Replace Roof System for Future Single Family Dwelling.	Permit Fee: \$233.00	Cost of Work: \$30,000.00	CEO District: 1
Proposed Project Description: RePlace Roof System - <i>only</i>		FIRE DEPT: <i>N/A</i> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>Vacant</i> Type: <i>5B</i> <i>BOCA 1999</i> Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 06/13/2002	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>within 250' but just over 75' from the</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>6/19/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2-0650

Zoning

Approved with Conditions

Marge Schmuckal

92 West Shore Drive, Great Diamond Island

06/18/2002

06/14/2002



Marge Schmuckal

06/18/2002

This permit is for the roof structure on the existing building only. A separate permit shall be required when any interior work is done to convert this vacant building to a single family home.

The roof over hang shall not be more than 2 feet.

The roof height shall not be raised to create a new story. The original building roof height shall be maintained.

06/13/2002

gg

06/18/2002

rnes

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 020650

This is to certify that Androscoggin Savings Bank SELF

has permission to RePlace Roof System

AT 92 West Shore Dr Great Island 083E A005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

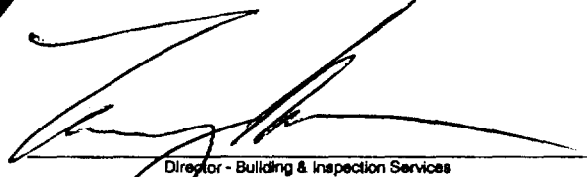
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Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. FOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

  
Director - Building & Inspection Services

### PENALTY FOR REMOVING THIS CARD

83E-A-005

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Diamond Cove Lot # 5</u>		
Total Square Footage of Proposed Structure <u>3000 ±</u>	Square Footage of Lot <u>47,881 ±</u>	
Tax Assessor's Chart, Block & Lot 005 Chart# <u>083</u> Block# <u>E</u> Lot# <u>A</u>	Owner: <u>Ronald G. Fitch</u>	Telephone: <u>766-5886</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Ronald G. Fitch</u> <u>Diamond Cove 670 Diamond Is</u> <u>07109 766-5886</u>	Cost Of Work: <u>\$30,000 -</u> Fee: <u>\$233.00</u>

Current use: VACANT

If the location is currently vacant, what was prior use: WW II Power Plant

Approximately how long has it been vacant: 57 Years

~~Small Family Dwelling~~ VACANT & STRUCTURE

Proposed Use:



83E-A-005

# All Purpose Building Permit Application

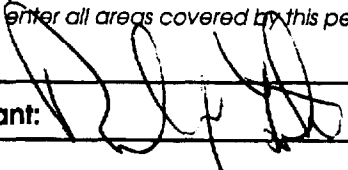
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Location/Address of Construction: <u>Diamond Cove Lot # 5</u>		
Total Square Footage of Proposed Structure <u>3000 ±</u>	Square Footage of Lot <u>47,881 ±</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>083</u> Block# <u>E</u> Lot# <u>A</u>	Owner: <u>Ronald G. Fitch</u>	Telephone: <u>766-5886</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Ronald G. Fitch</u> <u>Diamond Cove (PTO Diamond Is)</u> <u>21109</u> <u>766-5886</u>	Cost Of Work: <u>\$30,000 -</u> Fee: <u>\$233.00</u>
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: <u>WW II Power Plant</u>		
Approximately how long has it been vacant: <u>57 Years</u>		
Proposed use: <del>Subj Property</del> <u>VACANT STRUCTURE</u>		
Project description: <u>Replace Roof System on building</u>		
Contractor's name, address & telephone: <u>Owner</u>		
Who should we contact when the permit is ready: <u>Owner</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>766-5886</u>		

939-4339

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Signature of applicant: 	Date: <u>6</u>
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Single - 14" BCI 900s

Job Name - FITCH  
 Address -  
 City, State, Zip - PORTLAND, ME  
 Code Reports - NER 594, ICBO 5208

File Name: Fitch.bcc  
 Customer -  
 Specifier -  
 Designer -  
 Company: -  
 Misc: -

RAFTER



Standard Load - 60 PSF | 20 PSF | OC Spacing 16"

1-3/4"  
 B0  
 720 lbs L  
 243 lbs DL

1-3/4"  
 B1  
 720 lbs LL  
 243 lbs DL

Total Horizontal Length - 18-00-00

General Data

Version: US Imperial  
 Member Type: - Rafter  
 Number of Spans - 1  
 Left Cantilever - No  
 Right Cantilever - No  
 Slope 2/12  
 OC Spacing 16"  
 Repetitive Yes  
 Construction Type n/a  
 Live Load 60 PSF  
 Dead Load 20 PSF  
 Part Load 0 PSF  
 Duration 115

Load Summary

ID	Description	Load Type	Ref.	Start	End	Live	Dead	OC S	Dur.
S	Standard	Unf.Area Load	Left	00-00-00	18-00-00	60 PSF	20 PSF	16"	115

Controls Summary

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	4335 ft-lbs	36.3%	@ 115%	2	1 - Internal
End Reaction	963 lbs	57.8%	@ 115%	2	1 - Left
Total Deflection	L/645 (0.339")	27.9%		2	1
Live Deflection	L/863 (0.254")	55.6%		2	1
Max. Defl.	0.339" (Limit: 1")	33.9%		2	1
Span/Depth	15.4				1

Bearing Supports

Name	Type	Dim. (L x W)	Value	% Allowed	Case	Material
B0	Wall/Plate	1-3/4" x 3-1/2"	963 lbs	37.0%	2	Spruce-Pine-Fir
B1	Wall/Plate	1-3/4" x 3-1/2"	963 lbs	37.0%	2	Spruce-Pine-Fir

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

NOTES:

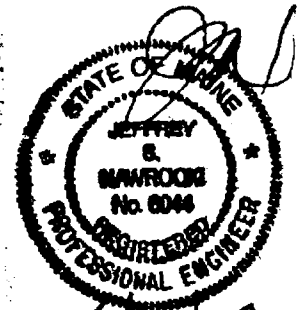
Design meets Code minimum (L/180) Total load deflection criteria.  
 Design meets User specified (L/480) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.

Disclaimer:

The supplier acknowledges that it has requested JSN Associates, Inc. to review a pre-engineered building product identified as above for the span and loading conditions shown on this calculation sheet. The supplier further acknowledges that JSN Associates, Inc. will not engineer, design, manufacture or erect said item and is not responsible in any way for defects or deficiencies. Therefore, the supplier waves all claims against JSN Associates, Inc. arising in any way from any defects, deficiencies, errors or omissions in the load determination, design, fabrication or erection of said item.

Note:

Adequate design of supporting structure must be provided by others.





BOISE CASCADE - BC CALC™ 2001a DESIGN REPORT - US

Tuesday, June 11, 2002 14:57



Single - 5 1/4" x 16" V-L DF 3080

Job Name - FITCH
Address -
City, State, Zip - GREAT DIAMOND ISLAND, ME
Code Reports - ICBO 5683, NER 442

Customer -
Specifier -
Designer - WOOD STRUCTURES, INC.
Company - WOOD STRUCTURES, INC.
Misc -

File Name: Fitch2.boc

ROOF BEAM



7182 lbs LL
3614 lbs D

7182 lbs LL
3614 lbs DL

Total Horizontal Length - 18-00-00

General Data

Version: US Imperial
Member Type: - Roof Beam
Number of Spans: - 1
Left Cantilever: - No
Right Cantilever: - No
Slope: 0/12
Tributary: 19-00-00
Repetitive: n/a
Construction Type: n/a
Live Load: 42 PSF
Dead Load: 20 PSF
Part Load: 0 PSF
Duration: 115

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

Load Summary

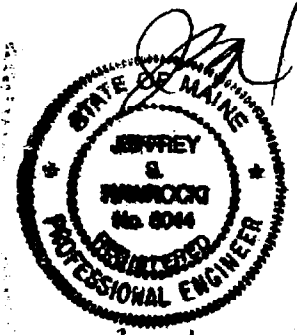
Table with columns: ID, Description, Load Type, Ref, Start, End, Live, Dead, Trib., Dur. Row 1: S Standard, Unf. Area Load, Left, 00-00-00, 18-00-00, 42 PSF, 20 PSF, 19-00-00, 115.

Controls Summary

Table with columns: Control Type, Value, % Allowable, Duration, Loadcase, Span Location. Rows include Moment (48563 ft-lbs, 75.9%), End Shear (9197 lbs, 50.1%), Total Deflection (L/273, 65.9%), Live Deflection (L/410, 56.4%), Max. Defl. (0.791", 79.1%), Span/Depth (13.5).

NOTES:

Design meets Code minimum (L/180) Total load deflection criteria.
Design meets Code minimum (L/240) Live load deflection criteria.
Design meets arbitrary (1") Maximum load deflection criteria.
Minimum bearing length for B0 is 2-1/4".
Minimum bearing length for B1 is 2-1/4".
Member Slope = 0, consider drainage.



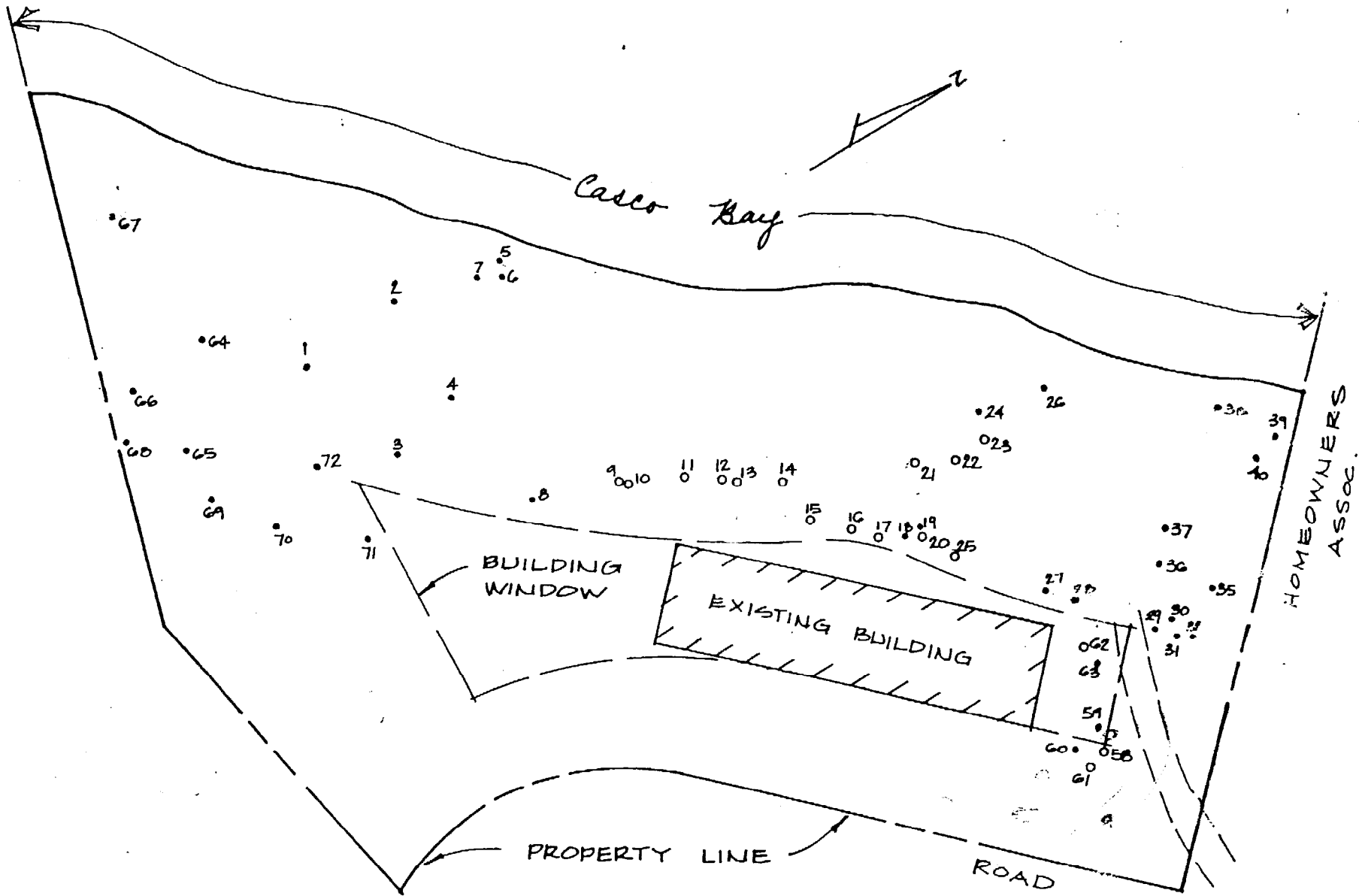
6/12/02

Disclaimer:

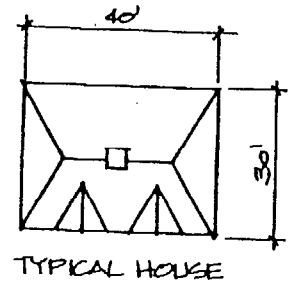
The supplier acknowledges that it has requested JSN Associates, Inc. to review a pre-engineered building product identified as above for the span and loading conditions shown on this calculation sheet. The supplier further acknowledges that JSN Associates, Inc. will not engineer, design, manufacture or erect said item and is not responsible in any way for defects or deficiencies. Therefore, the supplier waives all claims against JSN Associates, Inc. arising in any way from any defects, deficiencies, errors or omissions in the load determination, design, fabrication or erection of said item.

Notes:

Adequate design of supporting structure must be provided by others



LEGEND  
 ○ 4"-6" DBH  
 ● 6" + DBH



LOT 5 - 1.119 Ac. ±  
 DIAMOND COVE - PHASE II  
 SEPT 1988 11/12/14

30' DRAINAGE & UTILITY EASEMENT

5



83

WEST

HOM  
RESEI

CU

UTILITY

EASEMENT

(A)

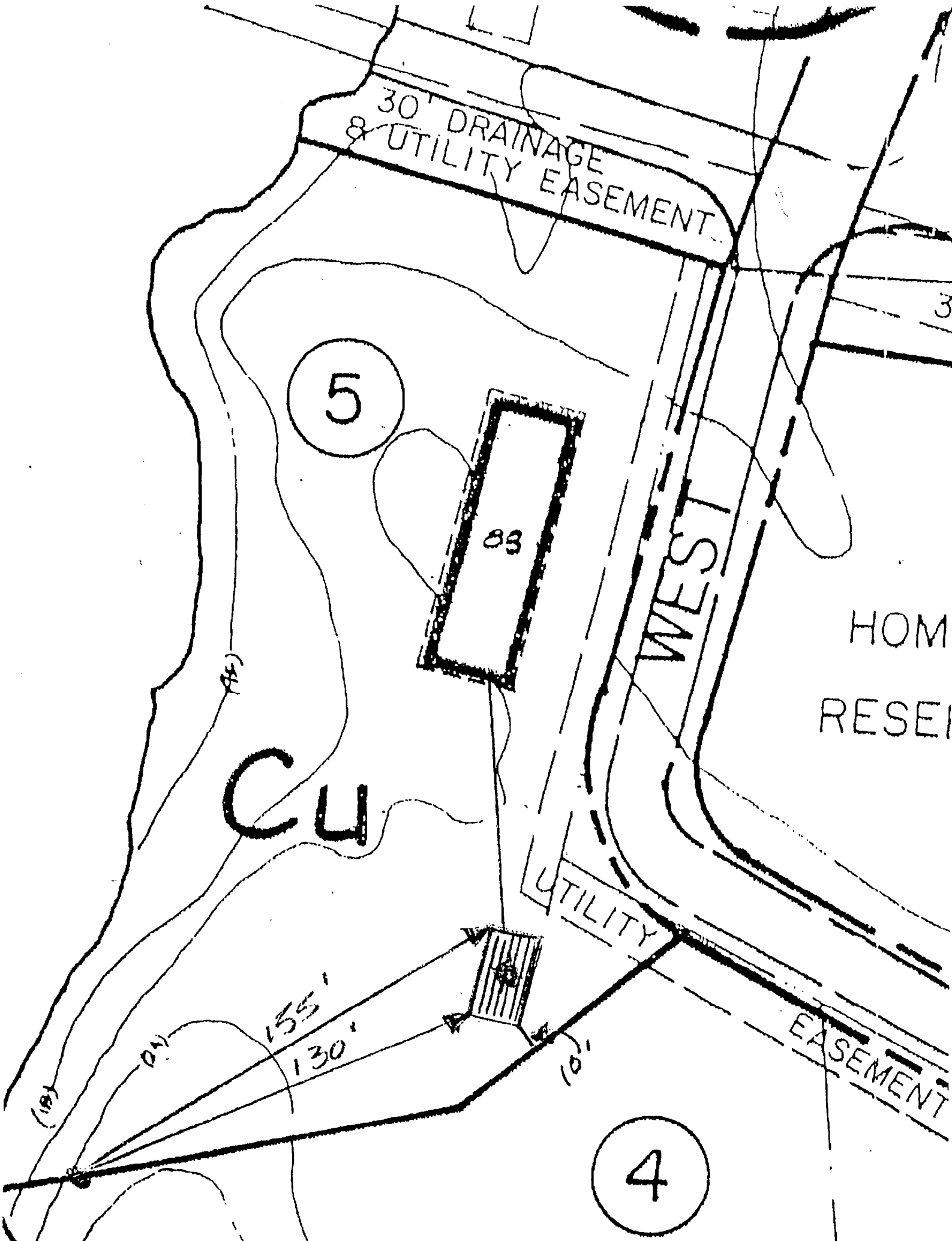
(A)

155'

130'

10'

4



NTIC

OCEAN

OPEN SPACE  
RECREATION AREA

19,554 SF +-  
750.00'

30.00' DRAINAGE &  
UTILITY EASEMENT

15.00' UTILITY  
EASEMENT

SHORE

HOMEO  
RESERV

100.12

LOT-12

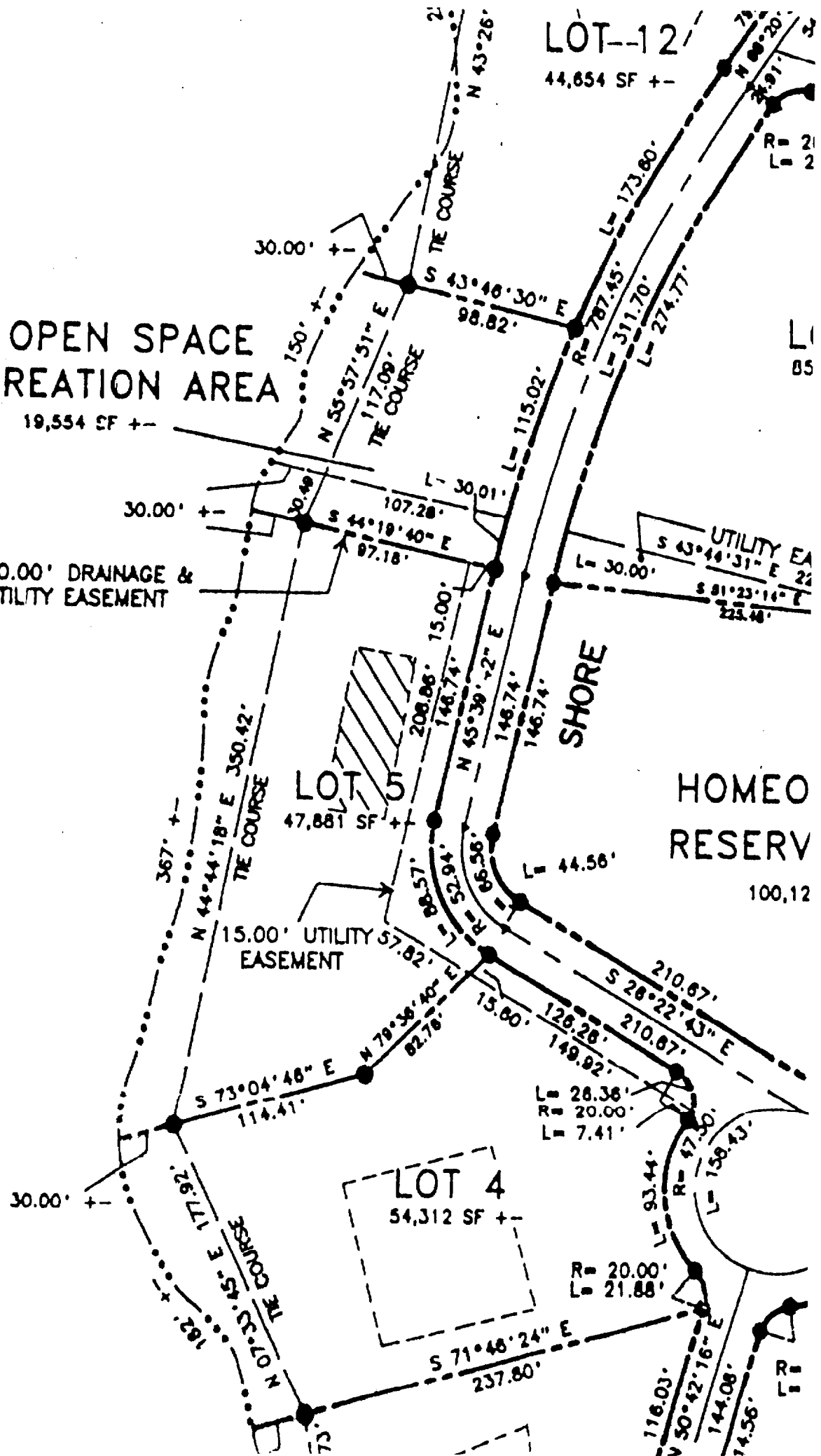
44,854 SF +-  
R=21  
L=2

LOT 5

47,881 SF +-  
R=21  
L=2

LOT 4

54,312 SF +-  
R=20.00'  
L=21.88'



DEPARTMENT OF ENVIRONMENTAL PROTECTION  
PERMIT BY RULE NOTIFICATION FORM

(For use with DEP Regulation, Chapter 305)

RECEIVED DEP-5MRO

PLEASE TYPE OR PRINT IN BLACK INK ONLY (3 COPIES, PLEASE BEAR DOWN)

Applicant: <b>POINTE SANDRA FERRI</b>		Name of Owner: <b>STATE</b>	
Mailing Address: <b>LOT 5 WEST SHORE DRIVE DIAMOND COVE</b>		Town/City: <b>PORTLAND</b>	
State: <b>ME</b>	Zip Code: <b>04104</b>	Daytime Telephone No: <b>207 766 5386</b>	
Name of Wetland, Water Body or Stream: <b>CASCO BAY</b>			
Detailed Directions to Site: <b>CASCO BAY LINES TO DIAMOND COVE, LOT 5 IS LOCATED IN PHASE II OF DEVELOPMENT, WEST SHORE DRIVE</b>			
Project Location: (Town/City): <b>PORTLAND</b>	UTM Northing:	UTM Easting:	
Map #:	Lot #:	County: <b>CUMBERLAND</b>	
Description of Project: <b>CONVERSION OF WWII NAVAL HEATING PLANT TO RESIDENTIAL HOME - REMOVAL OF COAL REVEGETATING BARE AREAS AS SHOWN ON DRAWINGS</b>			
Part of a larger project?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

(CHECK ONE) This project: does  does not  involve work below mean low water. **D.C. ALREADY APPROVED**

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Regulation, Chapter 305. I have a copy of PBR Sections checked below. I have read and will comply with all of the standards.

- Sec. (2) Soil Disturbance
- Sec. (3) Intake Pipes
- Sec. (4) Replacement of Structures
- Sec. (5) REPEALED
- Sec. (6) Movement of Rocks or Vegetation
- Sec. (7) Outfall Pipes
- Sec. (8) Shoreline stabilization
- Sec. (9) Utility Crossing
- Sec. (10) Stream Crossing
- Sec. (11) State Transportation Facilities
- Sec. (12) Restoration of Natural Areas
- Sec. (13) F&W Creation/Enhance/Water Quality Improvement
- Sec. (14) Piers, Wharves & Pillings
- Sec. (15) Public Boat Ramps
- Sec. (16) Coastal Sand Dune Projects
- Sec. (17) Transfers/Permit Extension
- Sec. (18) Maintenance Dredging

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that **this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.**

I have attached all of the following required submittals. **NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:**

- Attach** a check for \$50 (non-refundable) made payable to: "Treasurer, State of Maine".
- Attach** a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach** photographs showing existing site conditions (unless not required under standards).

Signature of Applicant: <b>[Handwritten Signature]</b>	Date: <b>6/3/02</b>
--	---------------------

**Keep the bottom copy as a record of permit.** Send the form with attachments via certified mail to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. Work carried out in violation of any standard is subject to enforcement action.

- AUGUSTA DEP  
STATE HOUSE STATION 17  
AUGUSTA, ME 04333-0017  
(207)287-2111
- PORTLAND DEP  
312 CANCO ROAD  
PORTLAND, ME 04103  
(207)822-6300
- BANGOR DEP  
106 HOGAN ROAD  
BANGOR, ME 04401  
(207)941-4570
- PRESQUE ISLE DEP  
1235 CENTRAL DRIVE  
PRESQUE ISLE, ME 04769  
(207)764-0477

OFFICE USE ONLY	Ck.#	Date	Staff	Staff	After Photos
PBR #	FP		Acc. Date	Def. Date	

**BOISE CASCADE - BC CALC™ 2001a DESIGN REPORT - US**

Tuesday, June 11, 2002 13:17

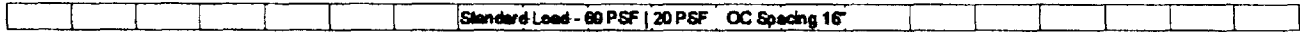


**Single - 14" BCI 900s**

Job Name - FITCH  
 Address -  
 City, State, Zip - PORTLAND, ME  
 Code Reports - NER 594, ICBO 5208

File Name: Fitch.bcc  
 Customer -  
 Specifier -  
 Designer - WOOD STRUCTURES, INC.  
 Company - WOOD STRUCTURES, INC.  
 Misc: -

RAFTER



720 lbs L  
 243 lbs DL

720 lbs L  
 243 lbs DL

Total Horizontal Length - 18-00-00

**General Data**

Version: US Imperial  
 Member Type: - Rafter  
 Number of Spans - 1  
 Left Cantilever - No  
 Right Cantilever - No  
 Slope 2/12  
 OC Spacing 16"  
 Repetitive Yes  
 Construction Type n/a  
 Live Load 60 PSF  
 Dead Load 20 PSF  
 Part Load 0 PSF  
 Duration 115

**Load Summary**

ID	Description	Load Type	Ref.	Start	End	Live	Dead	OCS	Dur.
S	Standard	Unf. Area Load	Left	00-00-00	18-00-00	60 PSF	20 PSF	16"	115

**Controls Summary**

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	4335 ft-lbs	36.3%	@ 115%	2	1 - Internal
End Reaction	963 lbs	57.8%	@ 115%	2	1 - Left
Total Deflection	L/645 (0.339")	27.9%		2	1
Live Deflection	L/863 (0.254")	55.6%		2	1
Max. Defl.	0.339" (Limit: 1")	33.9%		2	1
Span/Depth	15.4				1

**NOTES:**

Design meets Code minimum (L/180) Total load deflection criteria.  
 Design meets User specified (L/480) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.  
 Minimum bearing length for B0 is 1-3/4".  
 Minimum bearing length for B1 is 1-3/4".

**Disclosure**

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

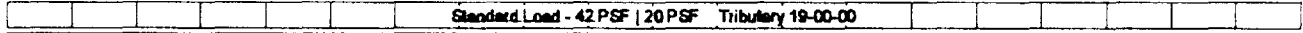


**Single - 5 1/4" x 16" V-L DF 3080**

Job Name - FITCH  
 Address -  
 City, State, Zip - GREAT DIAMOND ISLAND, ME  
 Code Reports - ICBO 5663, NER 442

File Name: Fitch2.bcc  
 Customer -  
 Specifier -  
 Designer - WOOD STRUCTURES, INC.  
 Company: - WOOD STRUCTURES, INC.  
 Misc: -

ROOF BEAM



7182 lbs LL  
 3614 lbs D

7182 lbs LL  
 3614 lbs DL

Total Horizontal Length - 18-00-00

**General Data**

Version: US Imperial  
 Member Type: - Roof Beam  
 Number of Spans: - 1  
 Left Cantilever: - No  
 Right Cantilever: - No  
 Slope: 0/12  
 Tributary: 19-00-00  
 Repetitive: n/a  
 Construction Type: n/a  
 Live Load: 42 PSF  
 Dead Load: 20 PSF  
 Part Load: 0 PSF  
 Duration: 115

**Disclosure**

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

**Load Summary**

ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
S	Standard	Unf.Area Load	Left	00-00-00	18-00-00	42 PSF	20 PSF	19-00-00	115

**Controls Summary**

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	48583 ft-lbs	75.9%	@ 115%	2	1 - Internal
End Shear	9197 lbs	50.1%	@ 115%	2	1 - Left
Total Deflection	L/273 (0.791")	65.9%		2	1
Live Deflection	L/410 (0.526")	58.4%		2	1
Max. Defl.	0.791" (Limit: 1")	79.1%		2	1
Span/Depth	13.5				1

**NOTES:**

Design meets Code minimum (L/180) Total load deflection criteria.  
 Design meets Code minimum (L/240) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.  
 Minimum bearing length for B0 is 2-1/4".  
 Minimum bearing length for B1 is 2-1/4".  
 Member Slope = 0, consider drainage.



Project No.: 1-000152.00

Type of Survey: Limited Ex. Cond.

Invoice # 1-000152.00-1

Job Name: Lot 5 Diamond Cove

Date: June 6, 2002

Location: Great Diamond Island

Page No. 1 of 1

Location: Portland, Maine

Sandy Fitch  
Lot 5, West Shore Drive  
Great Diamond Island  
Portland, Maine

Professional Surveying Engineering Services performed from 06/03/02 – 06/06/02, as per our professional service contract dated: May 31, 2002.

~~LABOR~~

Professional Land Surveying Services

~~Expenses:~~

~~Total Current Charges~~

~~Due Upon Receipt~~

PER PHONE CALL on  
6/12/02, with  
TIM PATCH of SGC,  
"BASED ON FIRMAR,  
COMMUNITY PANEL  
# 2300510009B, eff date  
July 17, 1986, panel 9 of 17  
the building is in zone C,  
which is defined as  
an area of minimal  
flooding."  
letter from  
SGC furnished  
upon request

12 Westbrook Common, 2nd Floor • Westbrook, Maine • 04092

Phone: 207-856-0006 • Fax: 207-856-0007 • E-Mail: sgc@sgcinc.net



**BOISE CASCADE - BC CALC™ 2001a DESIGN REPORT - US**

Wednesday, July 03, 2002 12:14



**Single - 14" BCI 900s**

Job Name -  
 Address - LOT 5 DIAMOND COVE  
 City, State, Zip - PORTLAND, ME  
 Code Reports - NER 594, ICBO 5208

Customer - HILLSIDE LBR  
 Specifier -  
 Designer - MICHELLE  
 Company - WSI  
 Misc: -

File Name: Untitled

12

Standard Load - 50 PSF   20 PSF				OC Spacing 16"			
667 lbs L							667 lbs LL
268 lbs D							268 lbs DL
Total Horizontal Length - 20-00-00							

**General Data**

Version: US Imperial  
 Member Type: - Rafter  
 Number of Spans: - 1  
 Left Cantilever: - No  
 Right Cantilever: - No  
 Slope: 1/12  
 OC Spacing: 16"  
 Repetitive: Yes  
 Construction Type: n/a  
 Live Load: 50 PSF  
 Dead Load: 20 PSF  
 Part Load: 0 PSF  
 Duration: 115

**Disclosure**

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

**Load Summary**

ID	Description	Load Type	Ref.	Start	End	Live	Dead	OC'S	Dur.
S	Standard	Unf.Area Load	Left	00-00-00	20-00-00	50 PSF	20 PSF	16"	115

**Controls Summary**

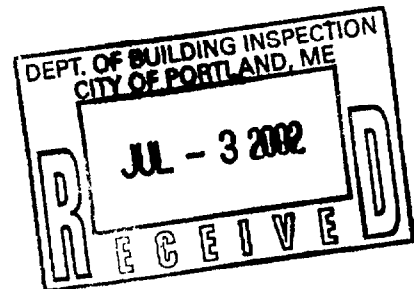
Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	4871 ft-lbs	39.1%	@ 115%	2	1 - Internal
End Reaction	934 lbs	56.0%	@ 115%	2	1 - Left
Total Deflection	L/560 (0.43")	32.1%		2	1
Live Deflection	L/784 (0.307")	30.6%		2	1
Max. Defl.	0.43" (Limit: 1")	43.0%		2	1
Span/Depth	17.1				1

**Bearing Supports**

Name	Type	Dim. (L x W)	Value	% Allowed	Case	Material
B0	Wall/Plate	2-1/2" x 3-1/2"	934 lbs	25.1%	2	Spruce-Pine-Fir
B1	Wall/Plate	2-1/2" x 3-1/2"	934 lbs	25.1%	2	Spruce-Pine-Fir

**NOTES:**

Design meets Code minimum (L/180) Total load deflection criteria.  
 Design meets Code minimum (L/240) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.



**BOISE CASCADE - BC CALC™ 2001a DESIGN REPORT - US**

Tuesday, July 02, 2002 16:36



**Single - 5 1/4" x 16" V-L DF 3080**

Job Name -  
 Address -  
 City, State, Zip -  
 Code Reports - ICBO 5663, NER 442

File Name: Untitled  
 Customer -  
 Specifier -  
 Designer - MICHELLE  
 Company: - WSI  
 Misc: -



Standard Load - 50 PSF   15 PSF Tributary 18-04-00	
3-1/2" B0 8250 lbs L 2669 lbs D	3-1/2" B1 8250 lbs LL 2669 lbs DL
Total Horizontal Length - 18-00-00	

**General Data**  
 Version: US Imperial  
 Member Type: - Roof Beam  
 Number of Spans - 1  
 Left Cantilever - No  
 Right Cantilever - No  
 Slope 0/12  
 Tributary 18-04-00  
 Repetitive n/a  
 Construction Type n/a  
 Live Load 50 PSF  
 Dead Load 15 PSF  
 Part Load 0 PSF  
 Duration 115

**Load Summary**

ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
S	Standard	Unf.Area Load	Left	00-00-00	18-00-00	50 PSF	15 PSF	18-04-00	115

**Controls Summary**

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	49137 ft-lbs	76.7%	@ 115%	2	1 - Internal
End Shear	9302 lbs	50.7%	@ 115%	2	1 - Left
Total Deflection	L/270 (0.8")	66.6%		2	1
Live Deflection	L/357 (0.604")	67.1%		2	1
Max. Defl	0.8" (Limit: 1")	80.0%		2	1
Span/Depth	13.5				1

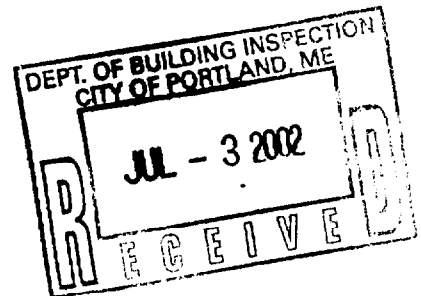
**Bearing Supports**

Name	Type	Dim. (L x W)	Value	% Allowed	Case	Material
B0	Wall/Plate	3-1/2" x 5-1/4"	10919 lbs	139.8%	2	Spruce-Pine-Fir
B1	Wall/Plate	3-1/2" x 5-1/4"	10919 lbs	139.8%	2	Spruce-Pine-Fir

**Disclosure**  
 The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

**CAUTIONS:**  
 Bearing B0 cannot support a load of 10919 lbs.  
 Bearing B1 cannot support a load of 10919 lbs.

**NOTES:**  
 Design meets Code minimum (L/180) Total load deflection criteria.  
 Design meets Code minimum (L/240) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.  
 Member Slope = 0, consider drainage.



Post-It® Fax Note	7671	Date	7/3	# of Pages	2
To	TARMY MUNSON		From	Michelle	
Co./Dept	City of Portland		Co.	WSI	
Phone #		Phone #			

# Transmittal Letter

Project: Fitch Residence

Project No.: 008

Date: 03/14/03

To: Tammy Munson  
(Hand Delivered)

Fax No.:

If enclosures are not as noted, please inform us immediately.

We transmit:

- herewith       under separate cover via UPS  
 in accordance with your request \_\_\_\_\_

For your:

- approval       distribution to parties       information  
 Review and Com       record  
 use       Signature

The following:

- Drawings       Shop Drawing Prints/Specificat       Samples  
 Specifications       Shop Drawing Reproducibles       Product Literature  
 Change Order       Slides

Copies	Date	Rev. No.	Description	Action
2	3.14.03	1	A-1, First Floor Plan	
2	3.14.03	1	A-2, Second Floor Plan	
2	3.14.03	1	A-3, Elevations	
2	3.14.03	1	A-4, Elevations	
2	3.14.03	1	A-5, Sections	

- Action Co A. Action indicated on item transmitted      D. For signature and forwarding as noted below under Remarks  
 B. No action required  
 C. For signature and return to this office      E. See Remarks below

Remarks:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Copies to:

**TFH Architects, P. A.**  
 100 Commercial Street  
 Portland Maine 04101  
 Telephone 207-775-6141  
 Fax 207-773-0194  
 By: Chris Cavendish

File

x

# Transmittal Letter

Project: Fitch Residence

Project No.: 008

Date: 03/24/03

To: Tammy Munson  
(Hand Delivered)

Fax No.:

If enclosures are not as noted, please  
inform us immediately.

We transmit:

- herewith                       under separate cover via UPS  
 in accordance with your request \_\_\_\_\_

For your:

- approval                       distribution to parties                       information  
 Review and Comment                       record  
 use                       Signature

The following:

- Drawings                       Shop Drawing Prints/Specifications                       Samples  
 Specifications                       Shop Drawing Reproducibles                       Product Literature  
 Change Order                       Slides

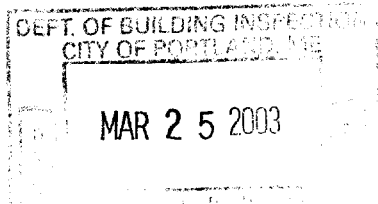
Copies	Date	Rev. No.	Description	Action
1	3.24.03	2	A-1, First Floor Plan	
1	3.24.03	2	A-2, Second Floor Plan	
1	3.24.03	2	A-3, Elevations	
1	3.24.03	2	A-4, Elevations	
1	3.24.03	2	A-5, Sections	
1	3.24.03	2	(11x17) A-1, First Floor Plan	
1	3.24.03	2	(11x17) A-2, Second Floor Plan	
1	3.24.03	2	(11x17) A-3, Elevations	
1	3.24.03	2	(11x17) A-4, Elevations	
1	3.24.03	2	(11x17) A-5, Sections	

- Action Code: A. Action indicated on item transmitted                      D. For signature and forwarding as noted below under Remarks  
B. No action required                      E. See Remarks below  
C. For signature and return to this office

Remarks:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Copies to:

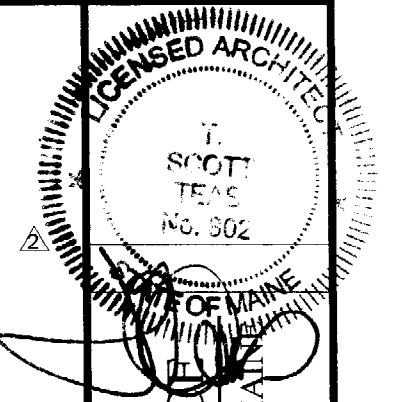


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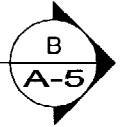
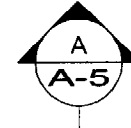
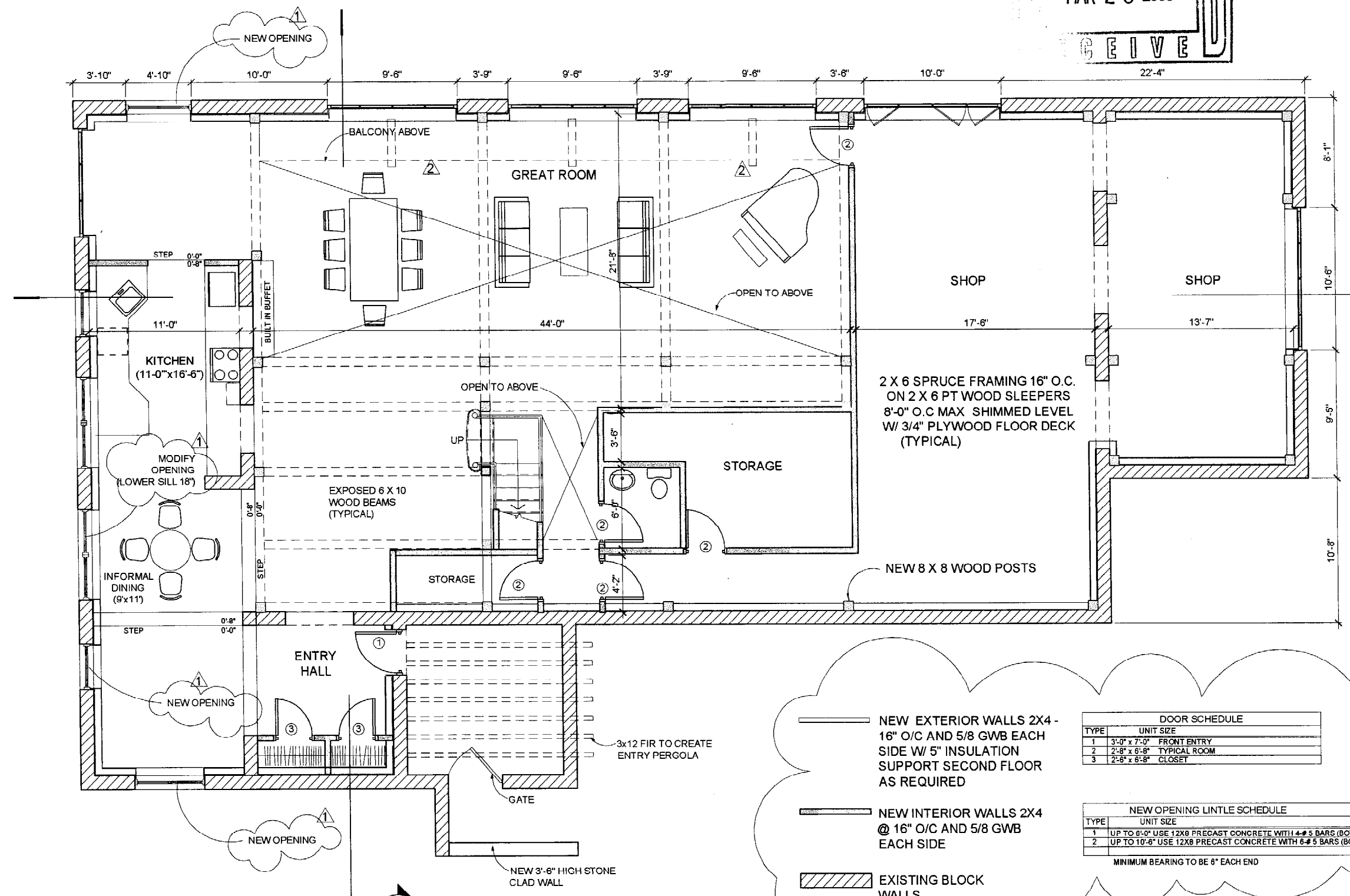
x

**TFH Architects, P. A.**  
100 Commercial Street  
Portland Maine 04101  
Telephone 207-775-6141  
Fax 207-773-0194  
By: Ryan Senator

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAR 25 2003  
RECEIVED



FITCH RESIDENCE  
GREAT DIAMOND ISLAND, MAINE



NEW EXTERIOR WALLS 2X4 - 16" O/C AND 5/8 GWB EACH SIDE W/ 5" INSULATION SUPPORT SECOND FLOOR AS REQUIRED

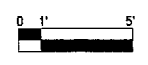
NEW INTERIOR WALLS 2X4 @ 16" O/C AND 5/8 GWB EACH SIDE

EXISTING BLOCK WALLS

DOOR SCHEDULE	
TYPE	UNIT SIZE
1	3'-0" x 7'-0" FRONT ENTRY
2	2'-8" x 6'-8" TYPICAL ROOM
3	2'-8" x 6'-8" CLOSET

NEW OPENING LINTLE SCHEDULE	
TYPE	UNIT SIZE
1	UP TO 8'-0" USE 12X8 PRECAST CONCRETE WITH 4-# 5 BARS (BOTTOM)
2	UP TO 10'-6" USE 12X8 PRECAST CONCRETE WITH 6-# 5 BARS (BOTTOM)

MINIMUM BEARING TO BE 6" EACH END



GENERAL NOTES.  
• REVISION 1 - ADDITIONAL NOTATIONS

CONSULTANTS:

REVISIONS:  
 ▲ REV 1: 3.14.03  
 ▲ REV 03.24.03

DATE: 01/24/03

PROJECT No: 0008

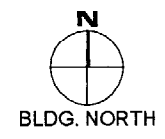
DRAWN BY:

CHECKED BY: TST

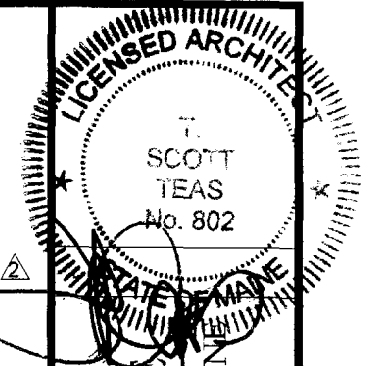
SCALE: AS SHOWN

SHEET TITLE:  
FIRST FLOOR PLAN

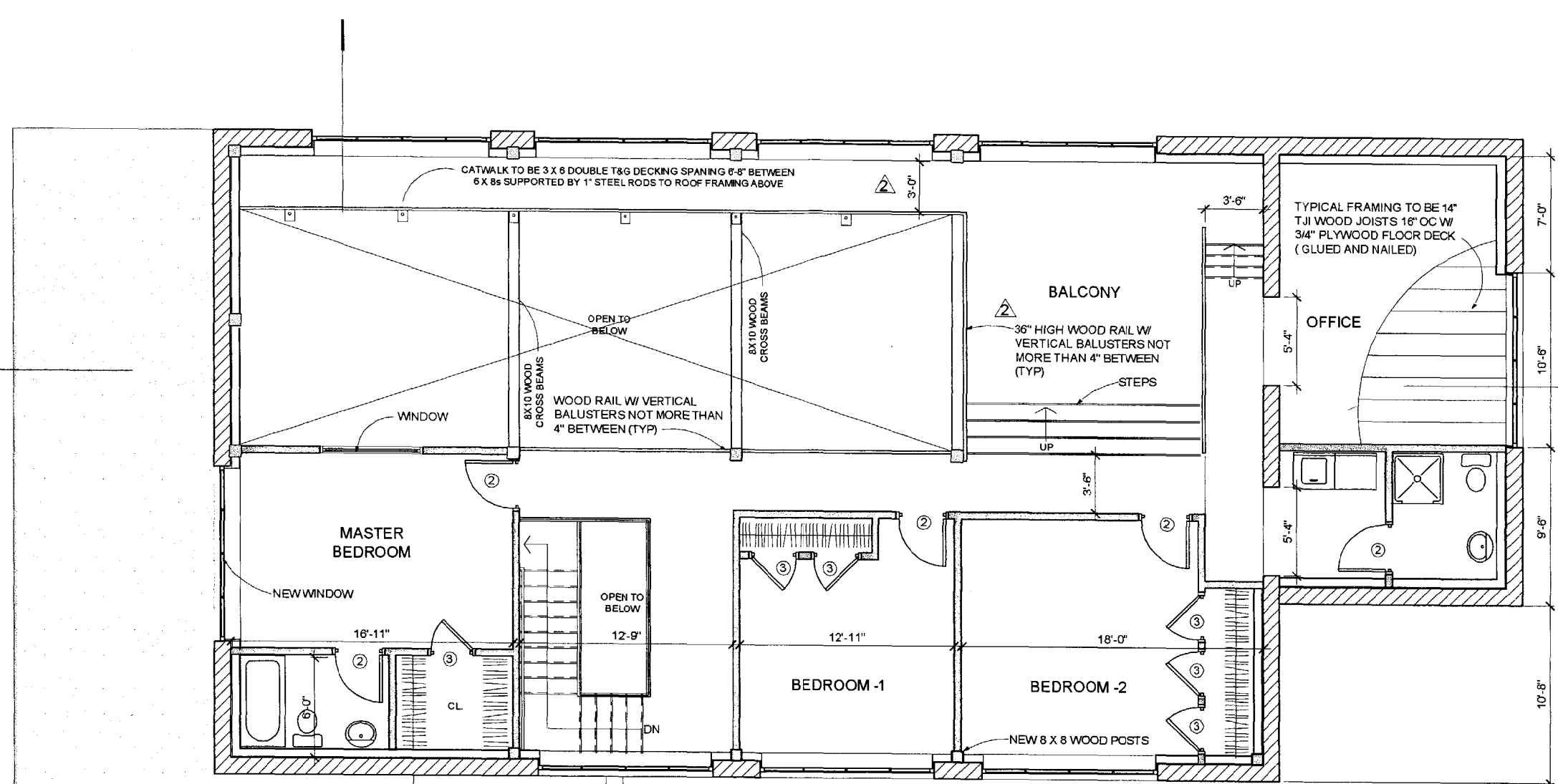
1 FIRST FLOOR PLAN  
A-1 3/16" = 1'-0"



A-1

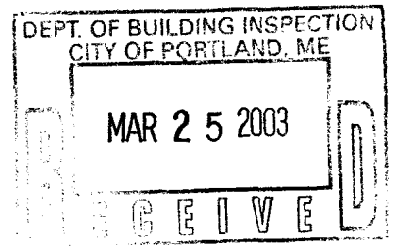


FITCH RESIDENCE  
GREAT DIAMOND ISLAND, MAINE



NEW ROOF BELOW  
(INSTALLED 2002)

**GENERAL NOTES.**  
• REVISION 1 - ADDITIONAL NOTATIONS

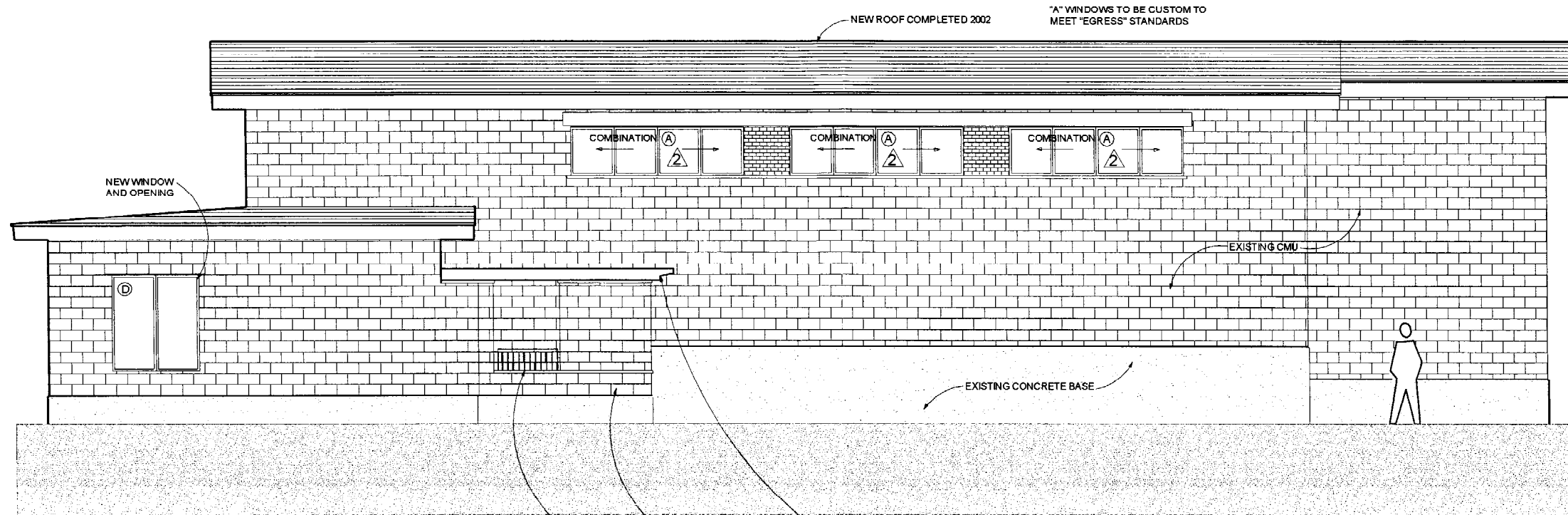
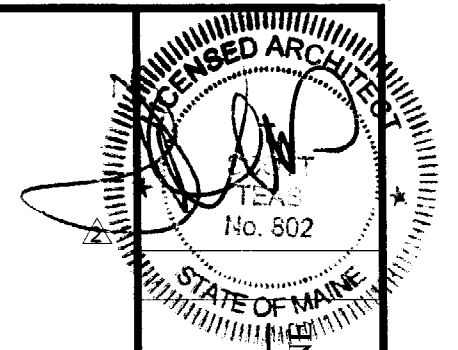


1 SECOND FLOOR PLAN  
A-2 3/16" = 1'-0"



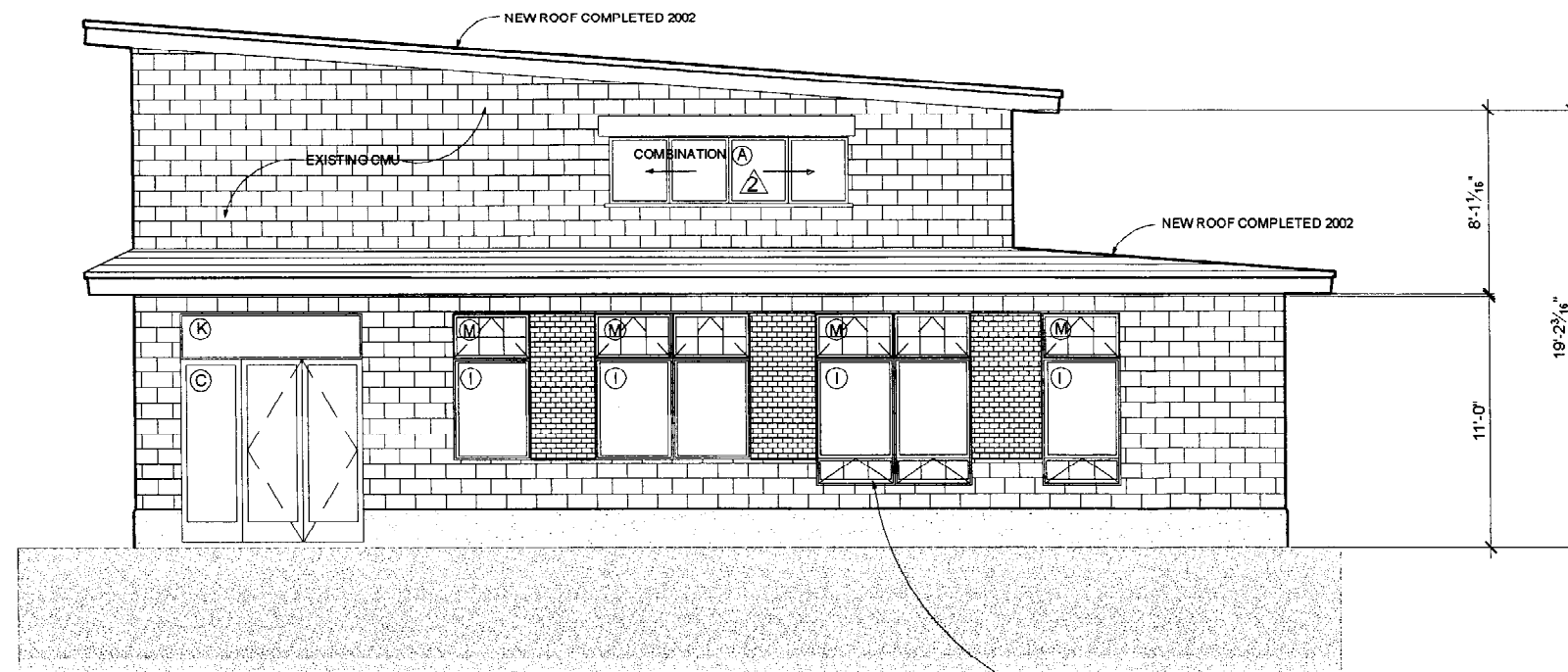
CONSULTANTS:	
REVISIONS:	
▲ REV 1: 3.14.03	
▲ REV 03: 24.03	
DATE:	01/24/03
PROJECT No.	0008
DRAWN BY:	
CHECKED BY:	TST
SCALE	AS SHOWN
SHEET TITLE	SEC. FLOOR PLAN

A-2



**SOUTH ELEVATION**  
ALL WINDOWS TO BE REPLACED

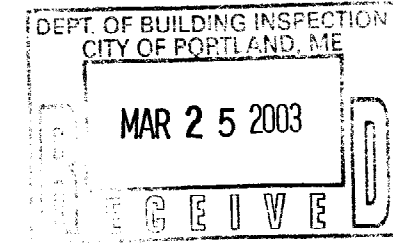
NEW GATE LOWER WALL TO 36" & CAP W/ 2" STONE OPEN ROOF FRAMING OVER ENTRYWAY (PERGOLA)



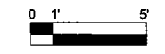
**WEST ELEVATION**  
ALL WINDOWS TO BE REPLACED

MODIFY MASONRY OPENINGS TO ALLOW FOR NEW WINDOWS AS NECESSARY

**GENERAL NOTES.**  
• REVISION 1 - ADDITIONAL NOTATIONS



WINDOW SCHEDULE	
TYPE	UNIT SIZE
A	2'-11 3/8" x 10' 6 1/2" (MEETS EGRESS REQUIREMENTS)
B	2'-11 1/4" x 10' 1/2"
C	2' 1/8" x 7' 11 1/8"
D	N/A
E	5' 11 7/8" x 9' 5 1/8"
E'	9' 5 1/8" x 2'-0"
F	4' 11 1/4" x 7' 11 1/2"
F'	2'-0" x 9' 11 1/4"
G	4'-8 1/2" x 6'-3/8"
H	N/A
I	6'-9 5/8" x 4'-4 13/16"
J	N/A
K	2'-0 1/8" x 7' 11 1/8"
L	N/A
M	2'-0 5/8" x 6' 10 1/4"



CONSULTANTS:

REVISIONS:  
 ▲ REV 1: 3.14.03  
 ▲ REV03:24.03

DATE: 01/24/03

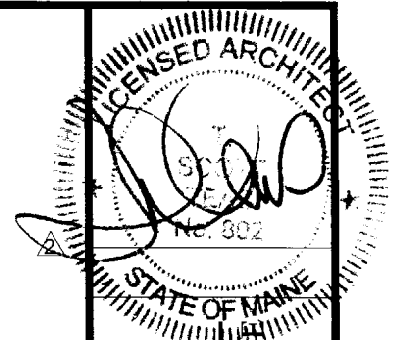
PROJECT No. 0008

DRAWN BY:

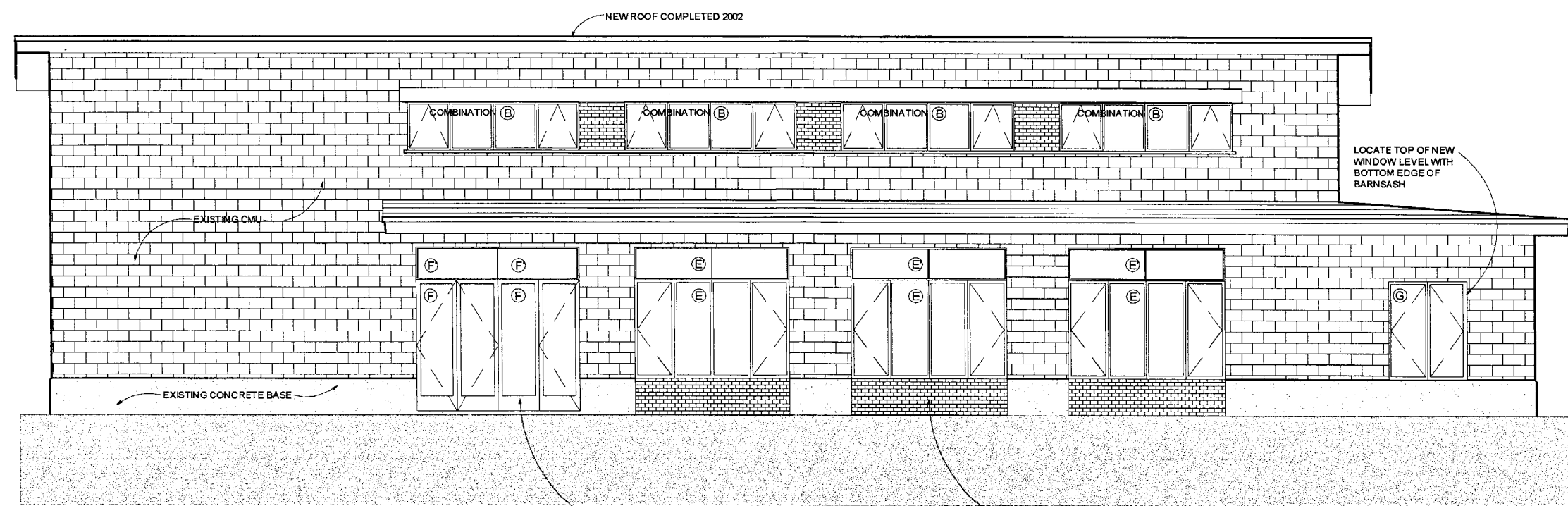
CHECKED BY: TST

SCALE: 3/16 = 1'-0"

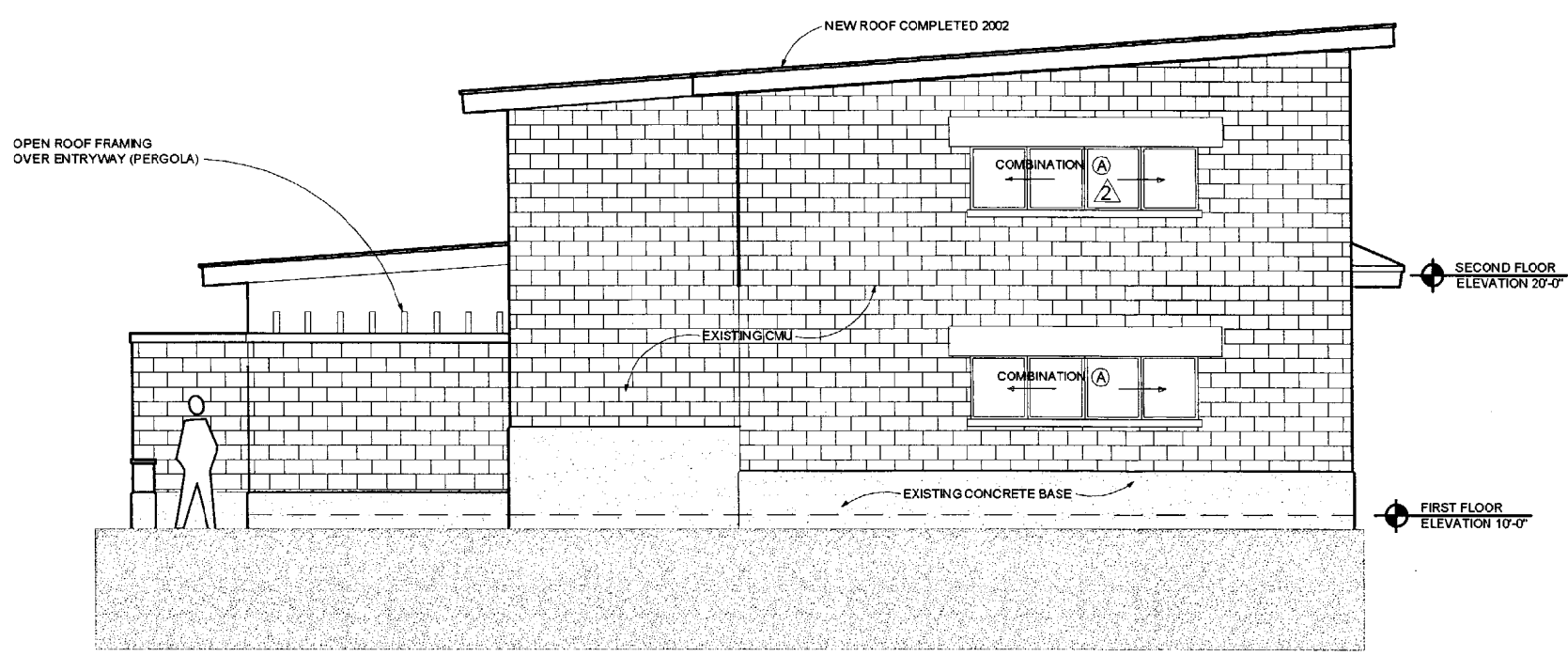
SHEET TITLE:  
ELEVATIONS



**FITCH RESIDENCE**  
 GREAT DIAMOND ISLAND, MAINE



**NORTH ELEVATION**  
ALL WINDOWS TO BE REPLACED

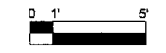


**EAST ELEVATION**  
ALL WINDOWS TO BE REPLACED

**GENERAL NOTES.**  
 • REVISION 1 - ADDITIONAL NOTATIONS

MAR 25 2003

WINDOW SCHEDULE	
TYPE	UNIT SIZE
A	2'-11 3/8" x 10' 5 1/2" (MEETS EGRESS REQUIREMENTS)
B	2'-11 1/4" x 10' 1/2"
C	2'-1 1/8" x 7'-11 1/8"
D	N/A
E	5'-11 7/8" x 9'-5 1/8"
E'	9'-5 1/8" x 2'-0"
F	4'-11 1/4" x 7'-11 1/2"
F'	2'-0" x 9'-11 1/4"
G	4'-8 1/2" x 6'-3/8"
H	N/A
I	6'-9 5/8" x 4'-4 13/16"
J	N/A
K	2'-0 1/8" x 7'-11 1/8"
L	N/A
M	2'-0 5/8" x 6'-10 1/4"



CONSULTANTS:

REVISIONS:  
 ▲ REV 1: 3.14.03  
 ▲ REV 03:24.03

DATE: 01/24/03

PROJECT No. 0008

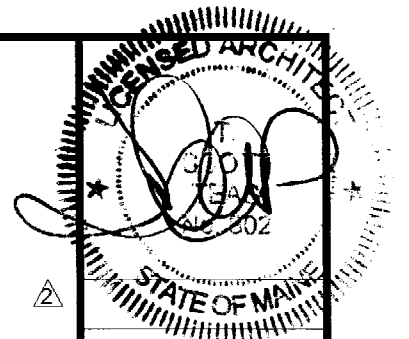
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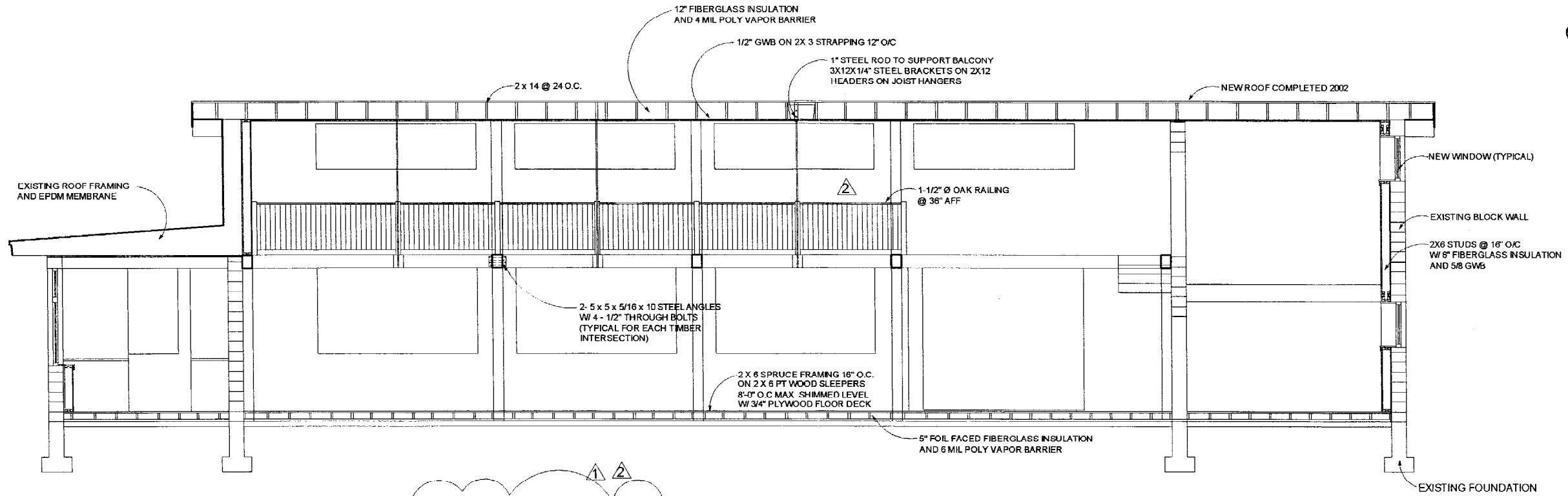
SCALE: 3/16" = 1'-0"

SHEET TITLE:  
 ELEVATIONS



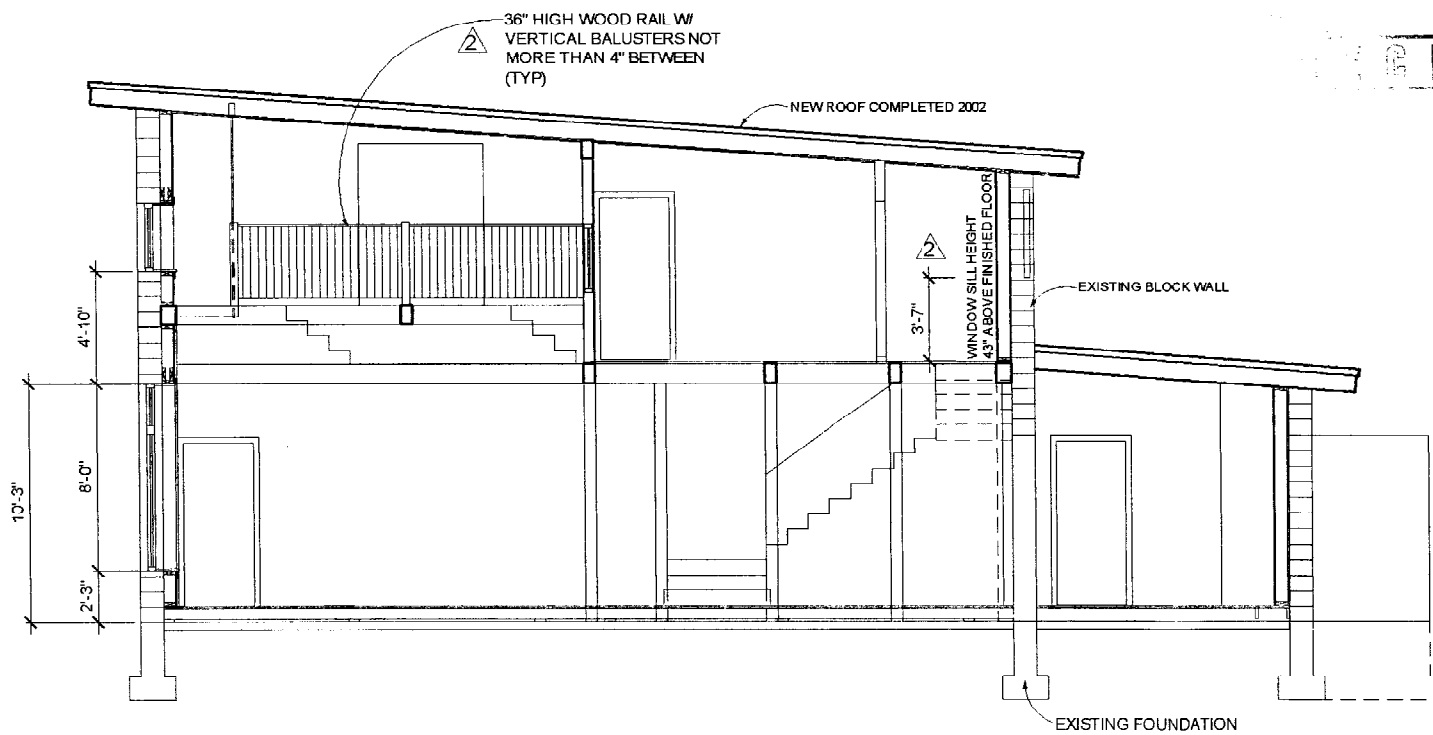
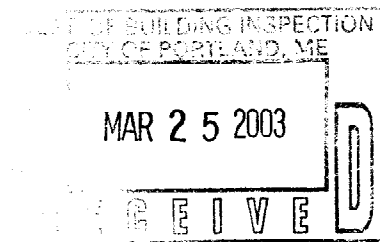


**FITCH RESIDENCE**  
GREAT DIAMOND ISLAND, MAINE

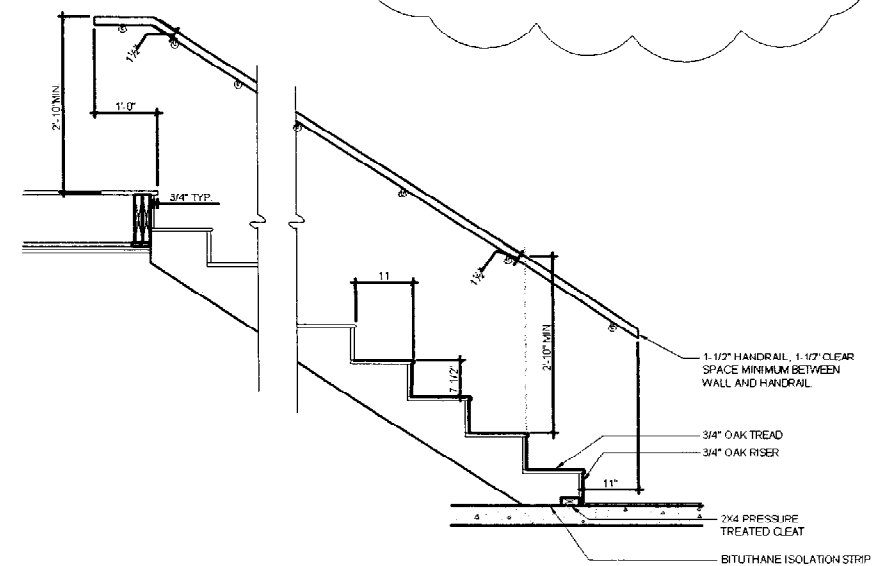


**1 SECTION 'A'**  
A-5 3/16" = 1'-0"

ADDITIONAL NOTES



**2 SECTION 'B'**  
A-5 3/16" = 1'-0"



**3 STAIR DETAIL**  
A-5 1/2" = 1'-0"

**GENERAL NOTES.**  
- REVISION 1 - ADDITIONAL NOTATIONS

CONSULTANTS:

REVISIONS:	
▲ REV 1: 3.14.03	
▲ REV 03.14.03	
DATE:	01/24/03
PROJECT No.	0008
DRAWN BY:	
CHECKED BY:	TST
SCALE:	AS SHOWN
SHEET TITLE:	SECTIONS