

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



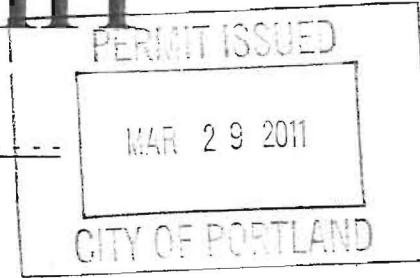
CITY OF PORTLAND BUILDING PERMIT

This is to certify that ANTHONY & JUDY SAVASTANO

Located At 60 NANCY

Job ID: 2011-03-586-SF

CBL: 083 - C - C - 001 - 001 - - - -



has permission to install a new 16' octagon gazebo
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

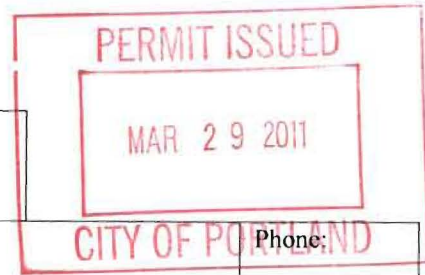
[Signature] 3/25/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CAR

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716



Job No: 2011-03-586-SF	Date Applied: 3/14/2011	CBL: 083 - C - C - 001 - - - - -	
Location of Construction: 60 NANCY LANE, G.D.I.	<i>Anthony & Judy SAVASTANO</i>	Owner Address: 2983 HOLIDAY CT MORGAN HILL, CA - CALIFORNIA 95037	Phone: 766-2839
Business Name:	Contractor Name: Amish Country Gazebo	Contractor Address: 340 Hosteter Rd., Manheim, PA 17545	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: I-B
Past Use: Single family	Proposed Use: Single family build a 16' octagon gazebo	Cost of Work: 17000.00 <i>fee 3190</i>	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>U/R-3</i> Type: <i>SB</i> <i>IRC-2009</i> Signature: <i>JMB</i> <i>3/28/11</i>
Proposed Project Description: 60 Nancy Lane Great Diamond Island - build a 16' octagon gazebo		Pedestrian Activities District (P.A.D.)	

Permit Taken By: GG	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>located in I-B Zone - structure 30' from high water.</i> <input type="checkbox"/> Wetlands <input checked="" type="checkbox"/> Flood Zone <i>panel 9 - A4 zone</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>NA</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>ok with conditions</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	CERTIFICATION <i>3/24/11</i>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHON

✓ Tapes &



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>60 NANCY LANE, GREAT DIAMOND ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>212 SF +/-</u>	Square Footage of Lot <u>6 ACRES +/-</u>	Number of Stories <u>NA</u> <u>GAZEBO</u>
Tax Assessor's Chart, Block & Lot Chart# <u>083</u> Block# <u>CC</u> Lot# <u>001</u> 088	Applicant * must be owner, Lessee or Buyer* Name <u>ANTHONY & JUDY SAVASTANO</u> Address <u>60 NANCY LANE</u> City, State & Zip <u>PORTLAND, ME 04112</u>	Telephone: <u>207-766-2839</u> Cell: <u>408-710-7080</u>
Lessee/DBA (If Applicable) <u>NA</u>	Owner's Mailing Address Name <u>ANTHONY & JUDY SAVASTANO</u> Address <u>PO BOX 7957</u> City, State & Zip <u>PORTLAND, ME 04112</u>	Cost Of Work: \$ <u>17,000.00</u> C of O Fee: \$ <u>NA</u> Total Fee: \$ <u>190.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: <u>GAZEBO - OUTSIDE SITTING AREA</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>NA</u> Project description: <u>NA 16' OCTAGON GAZEBO</u>		
Contractor's name: <u>AMISH COUNTRY GAZEBO</u> Address: <u>340 APOSTLETTER ROAD</u> City, State & Zip <u>MANHEIM, PA 17545</u> Who should we contact when the permit is ready: <u>JUDY SAVASTANO</u> Mailing address: <u>PO BOX 7957, PORTLAND, ME 04112</u>		

RECEIVED
MAR 11 2011
Dept. of Building Inspections
City of Portland Maine
LEON
LIZ @
Telephone: 800-700-1777
Telephone: 408-710-7080 cell
207-766-2839 HOME

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 02-09-2011

This is not a permit you may not commence ANY work until the permit is issued

Job Summary Report
Job ID: 2011-03-586-SF

Report generated on Mar 14, 2011 12:32:00 PM

Job Type:	New Single Family	Job Description:	60 Nancy Lane Great Diamond Island	Job Year:	2011
Building Job Status Code:	In Review	Pin Value:	866	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	17,000	Square Footage:			
Related Parties:	ANTHONY SAVASTANO		<i>Property Owner</i>		
	- Amish Country gazebo Amish Country Gazebo		<i>GENERAL CONTRACTOR</i>		

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 12322

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
S06085	083 C C 001 001		U				-70.200695	43.672597

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				60 NANCY LANE

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE	<i>I-B zone.</i>				DISTRICT 1	GREAT DIAMOND ISLAND

Structure Details

Structure: 16' Octagon Gazebo

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0			60 NANCY LANE

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property Value

Permit #: 20111841

Permit Data

sayle

Job Summary Report
Job ID: 2011-03-586-SF

Report generated on Mar 14, 2011 12:32:00 PM

Page 2

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
12322	16' Octagon Gazebo	Initialized	new 16' octagon gazebo			

Inspection Details						
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$190.00							

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Footings/Setbacks
2. Final at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[City](#) [Home](#) [Departments](#) [City Council](#) [E-Services](#) [Calendar](#) [Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)



Best viewed at 800x600, with Internet Explorer

CBL 083C C001001
Land Use Type SINGLE FAMILY
Property Location 60 NANCY LN
Owner Information SAVASTANO ANTHONY & JUDY-MARIE JTS
 2983 HOLIDAY COURT
 MORGAN HILL CA 95037
Book and Page
Legal Description 83C-C-1
 NANCY LN 60
 GREAT DIAMOND ISLAND
 255200 SF
Acres 5.859

Current Assessed Valuation:

TAX ACCT NO.	12322	OWNER OF RECORD AS OF APRIL 2010
		SAVASTANO ANTHONY & JUDY-MARIE JTS
LAND VALUE	\$409,600.00	2983 HOLIDAY COURT
BUILDING VALUE	\$298,900.00	MORGAN HILL CA 95037
NET TAXABLE - REAL ESTATE	\$708,500.00	
TAX AMOUNT	\$12,696.32	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Card 1 of 1

Year Built 1900
Style/Structure Type OLD STYLE
Stories 1.5
Bedrooms 3
Full Baths 3
Total Rooms 7
Attic NONE
Basement CRAWL
Square Feet 2700

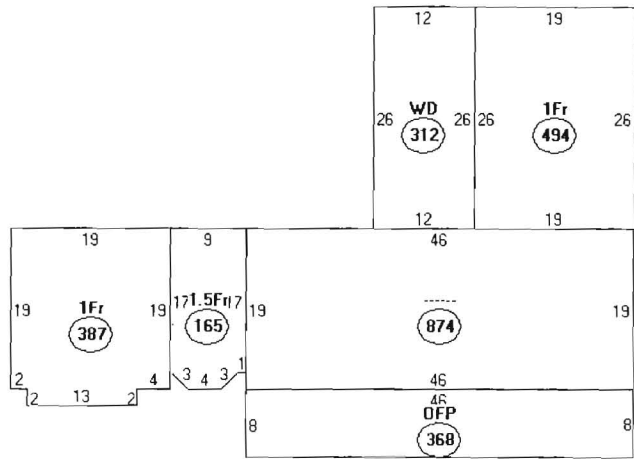
[View Sketch](#) [View Map](#) [View Picture](#)



Sales Information:

Sale Date	Type	Price	Book/Page
4/16/1985	LAND + BUILDING	\$115,000.00	6733/20

[New Search!](#)



- Descriptor/Area**
- A: 874 sqft
 - B: 1Fr 494 sqft
 - C: OFP 368 sqft
 - D: 1.5Fr 165 sqft
 - E: 1Fr 387 sqft
 - F: WD 312 sqft

2600



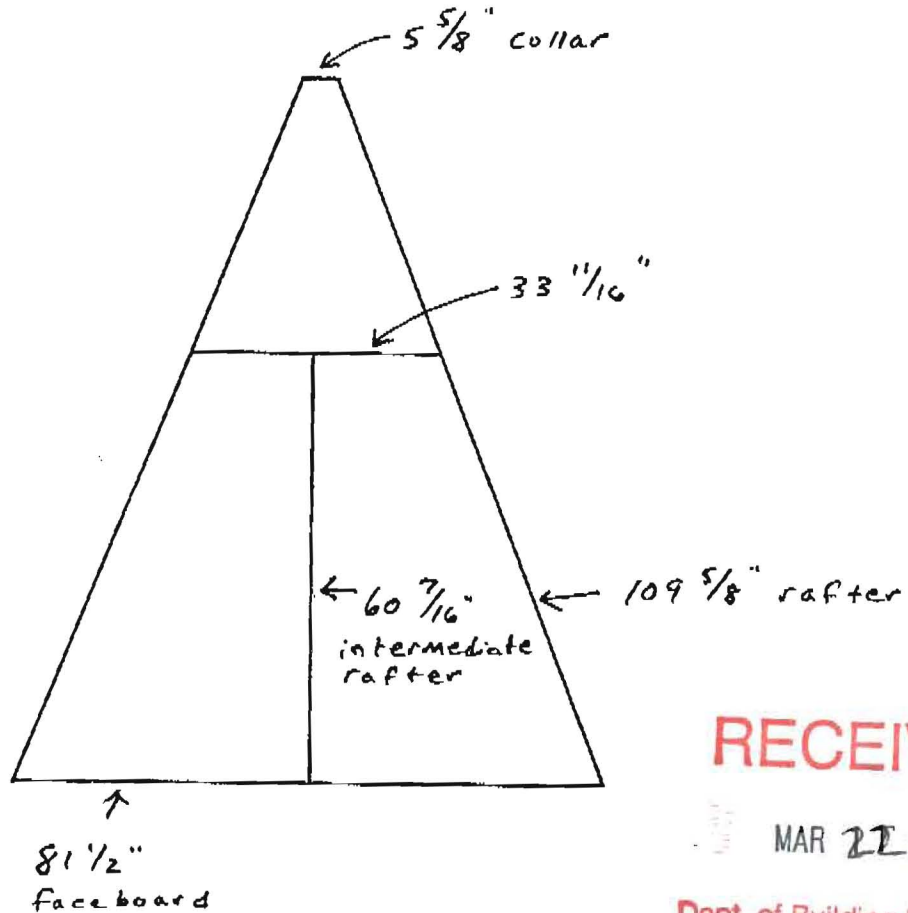
(1 pg fax)

3/22/11

To: Jeanie Bourke

From: Leon Beiter

Re: Dimensions for 16' gazebo roof panel
(All material = 2x6)



RECEIVED

MAR 22 2011

Dept. of Building Inspections
City of Portland Maine

1-800-700-1777

www.AmishGazebos.com

16' - Octagonal Majestic Gazebos for:

Amish Country Gazebos
340 Hostetter Rd.
Manheim, PA 17545



340 Hostetter Rd.
Manheim, PA 17545

Drawing Index

- Page 1 - Floor Framing Plan, Roof Framing Plan
- Page 2 - Cross Section
- Page 3 - Details
- Page 4 - Details

GENERAL NOTES
All notes do not necessarily apply due to different requirements on each project. This plan is intended to reflect only the structural design of the building. The contractor shall review all applicable local, state, and federal building codes prior to the start of construction to ensure building conformances. Amish Country Gazebos is not responsible for information pertaining to this project if not shown on drawings or listed below. Reference to the plans shall be approved by engineer of record.

PERMITS/REGULATIONS

1. Covering Codes
Including, not limited to: 2008 California BC
A. Use Group Classification U
B. Type of Construction 5-40
C. Other
2. Allowances
A. Foot 0 pd
B. Floor 0 pd
C. Other 0 pd
3. Unit Loads
A. Foot (lbs) also note #53 40 pd
B. Floor 332 pd
C. Other 174 pd
4. Trusses
A. Top Chord Lbs 10/8 pd
B. Top Chord Dead 10/8 pd
C. Bottom Chord Lbs 10/8 pd
D. Bottom Chord Dead 10/8 pd
E. Snow Loads 42 pd
A. Ground Snow (Pg) 42 pd
B. Flat Roof Snow (Pg) 36 pd
C. Snow Exposure Factor (Ce) 10
D. Snow Load Importance Factor (I) 10
E. Unbalanced Snow 1
1. Weathered roof 0 pd
2. Unweathered roof 0/24 pd
6. Wind Loads
A. Basic Wind Speed (V) 110 mph
B. Wind Load Importance Factor (I) 10
C. Wind Exposure Category C

ABBREVIATIONS:

brn.	beam	ml.	millimeter
concr.	concrete	mb.	million
ca.	centerline	mb.	million
ca.	dimension	ml	not to scale
estd.	existing	on	on center
fl.	floor	pcd	pounds per cubic foot
ft.	foot/level	pl.	plywood
ft.	foot/level	psf	pounds per square foot
ft.	foot/level	psf	pounds per square inch
ga.	gauge	req'd.	required
hdt.	hardware	SYP	Southern Yellow Pine
hdt.	hardware	as	as specified
hdt.	hardware	st.	steel
hdt.	hardware	thk.	thick
hdt.	hardware	typ.	typical
hdt.	hardware	w/	with
hdt.	hardware	mfr.	manufacturer

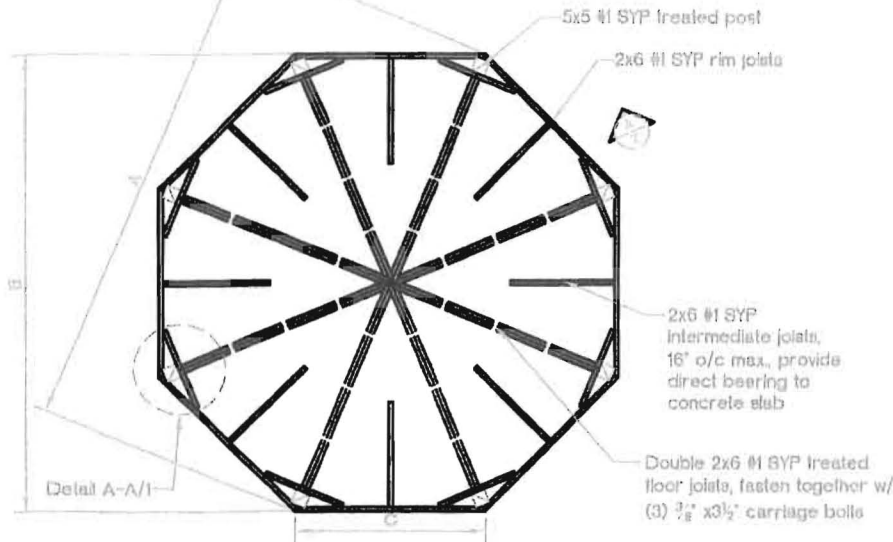
WOOD

1. General Requirements
A. Structural wood members and connections shall be of sufficient size or capacity to carry all design loads without exceeding the allowable design values specified in The National Design Specification for Wood Construction (NDS), 1987 edition, and the Supplement by the American Forest and Paper Association (AF&PA).
B. Wood members used for load supporting purposes shall have the grade mark of a lumber grading agency certified by the American Lumber Standards Committee.
2. Dimension Lumber
A. All lumber species, graded visually or mechanically, shall comply with the NDS by AF&PA, and the American Softwood Lumber Standard (PS 20-94) by the U.S. Department of Commerce.
B. The minimum grade and species for post, beams, headers, and other primary structural members shall be #2 Southern Pine, unless specified otherwise.
C. Lumber used for secondary framing shall be #2 Spruce-Fir-Ts (SFT) or better.
D. Post frame headers shall be two-span continuous beams with all multiple ply headers overlapping so that the bolt joints for each ply do not occur at the same point.
E. Mechanically laminated columns shall conform with AISI/AIAE Sp 559.
3. Pressure Preservative Treatment (PPT)
A. Pressure treatment to be performed according to the American Wood Preserver's Association (AWPA) standards.
B. Pressure treated members shall have the inspection mark of an agency accredited by the American Lumber Standards Committee.
C. Preservative: Wolmanized L¹.
D. Lignum vitaeborne treatment relation shall be 0.4 pd for members above ground, and 0.6 pd for members in contact with earth.
E. Treated incised items and the following:
1. Wood members exposed to weather or insect infestation.
2. Wood members in direct contact with earth or concrete.
3. Wood members exposed to high moisture content (95% for dimension lumber, 100% for glued laminated timber).
4. Wood members less than 12 inches above grade.
F. Field treat newly exposed wood where cutting, drilling or notching pressure treated lumber.
G. Metal connectors used in treated wood shall be hot-dip galvanized as per ASTM A153-01a.
4. Connections shall be designed and constructed according to the NDS by AF&PA and shall conform to the following:
A. The minimum connection shall be two 12 penny nails, or as detailed on the drawings.
B. Other connections as per standard construction practices.

Majestic Style Roof Specifications and Dimensions

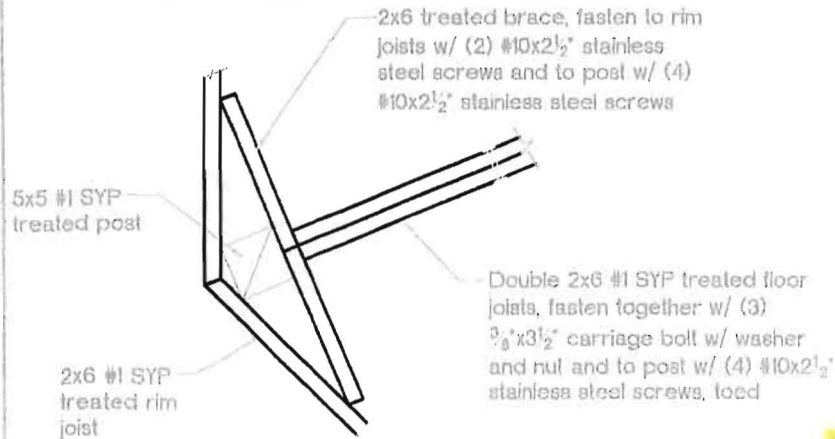
Size	A	B	C	D	E	F	G	H	J
16'	207 1/8"	102"	79 1/8"	178 1/8"	154 1/8"	95"	42 1/2"	6 1/2"	105 1/8"
18'	233 9/16"	216"	89 1/2"	185 1/2"	161 1/2"	95"	42 1/2"	6 1/2"	119 3/4"
20'	259 1/4"	240"	99 1/4"	191 1/4"	167 1/4"	95"	42 1/2"	6 1/2"	133 1/4"

FLOOR FRAMING PLAN & ROOF FRAMING PLAN



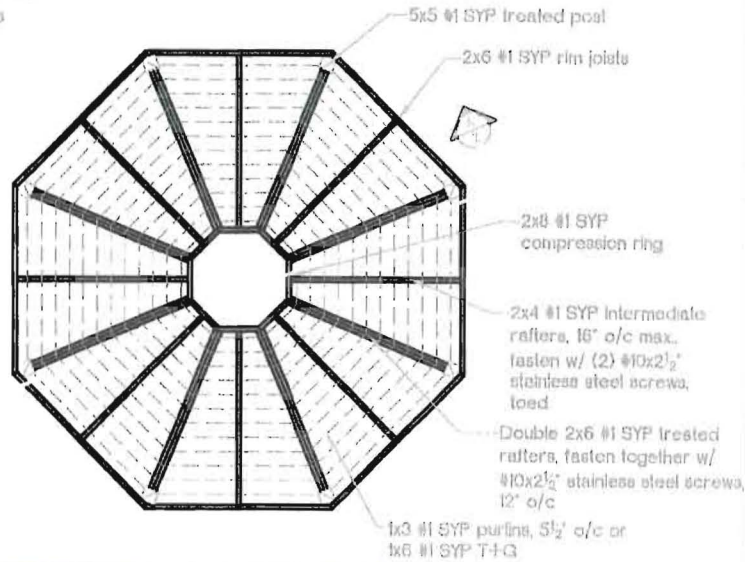
Floor Framing Plan

NTS



Detail A-A/1

Scale 1" = 1'-0"



Roof Framing Plan

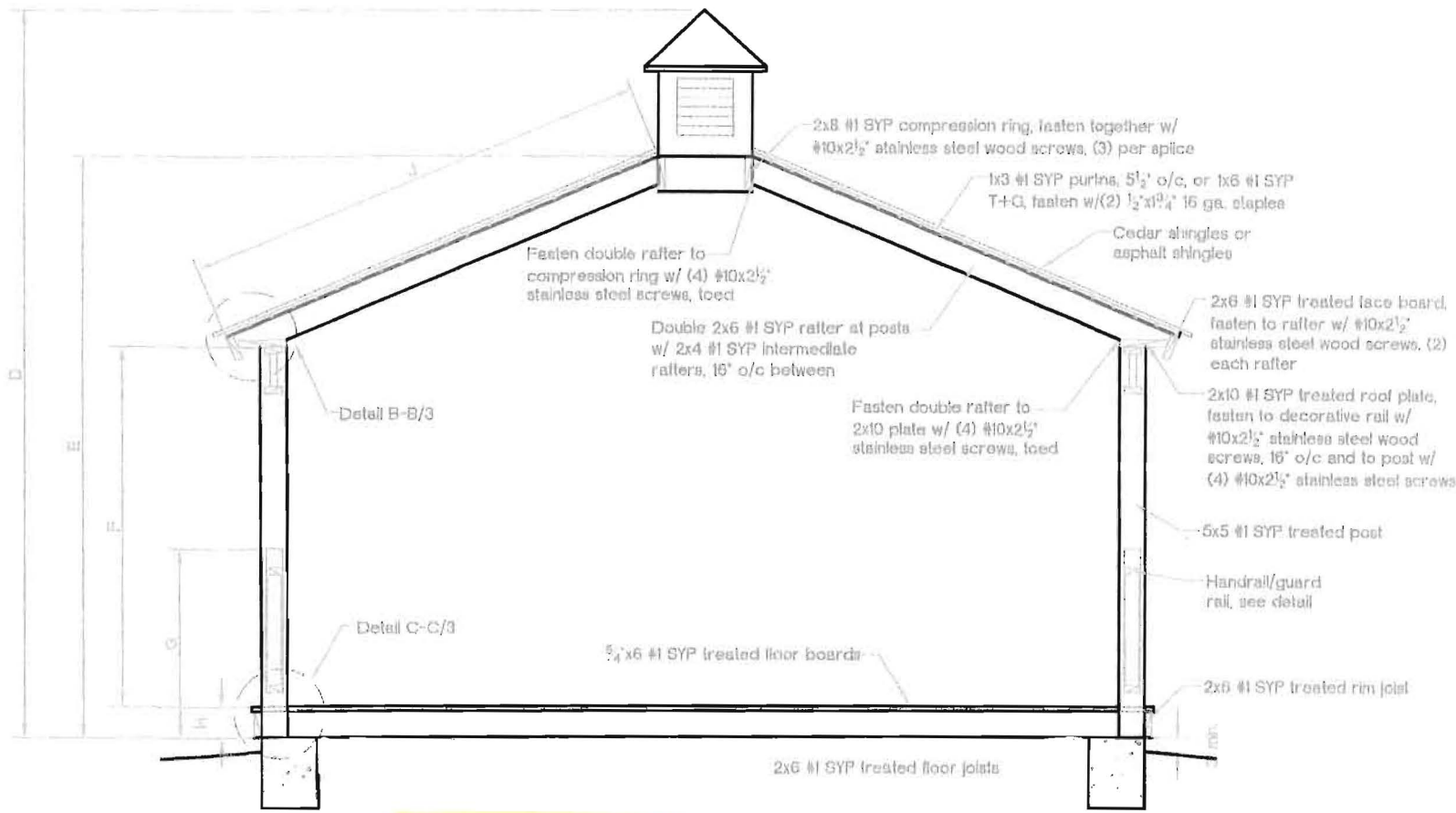
NTS

CONTRACTOR
Amish Country Gazebos
340 Hosteller Road
Marblehead, PA 17645
Ph: 800-700-1777
Fax: 717-665-0374

DRAWING TITLE:

PROJECT:

DATE	BY	APP



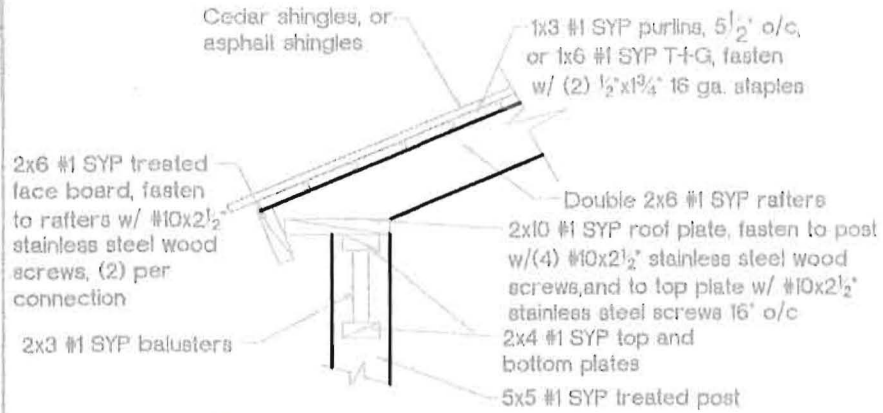
Cross Section A/2 NTS
(With floor)

CONTRACTOR
Amiah Country Gazebo
340 Hosteller Road
Marblehead, PA 17545
Ph: 800-700-1777
Fax: 717-665-0374

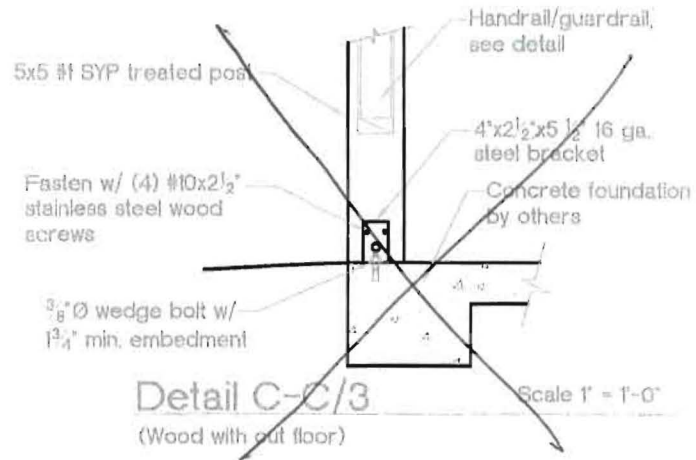
DRAWING TITLES

PROJECT:

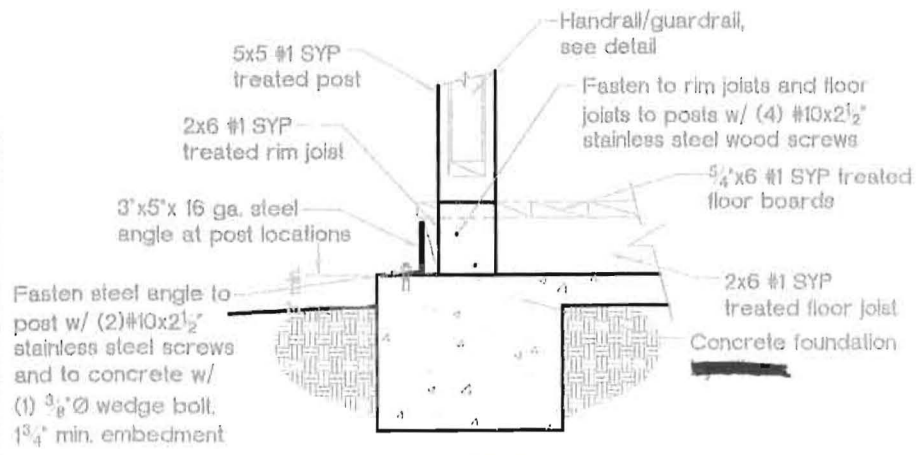
DATE	SCALE	BY



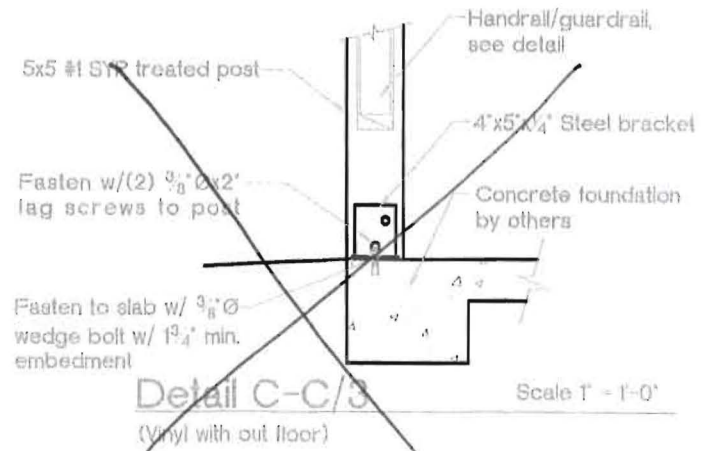
Detail B-B/3 Scale 1" = 1'-0"



Detail C-C/3 Scale 1" = 1'-0"
(Wood with out floor)



Detail C-C/3 Scale 1" = 1'-0"
(With floor)



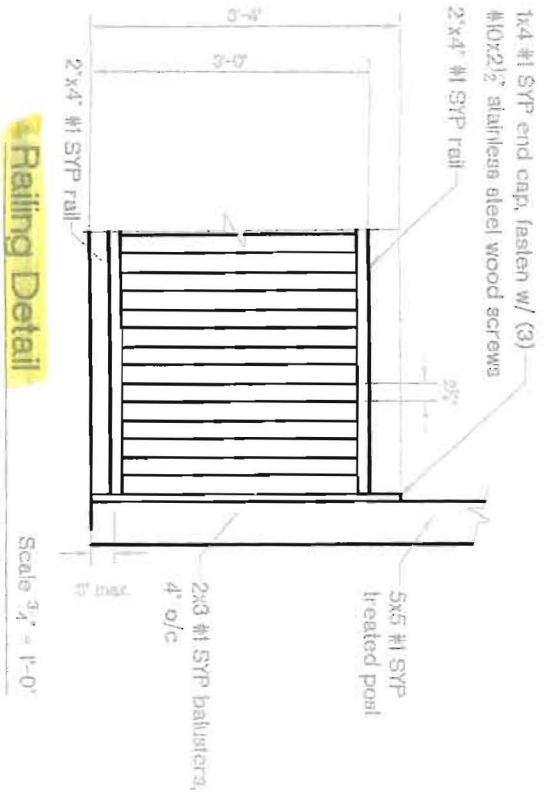
Detail C-C/3 Scale 1" = 1'-0"
(Viny with out floor)

CONTRACTOR
Amish Country Gazebo
340 Hosteller Road
Marheim, PA 17545
Ph: 800-700-1777
Fax: 717-685-0374

DRAWING TITLE:

PROJECT:

DATE	BY	CHKD



Railing Detail

CONTRACTOR
 Amish Country Gardens
 3400 Heidelberg Road
 Marietta, PA 17545
 Tel: 800-700-1777
 Fax: 717-664-0374

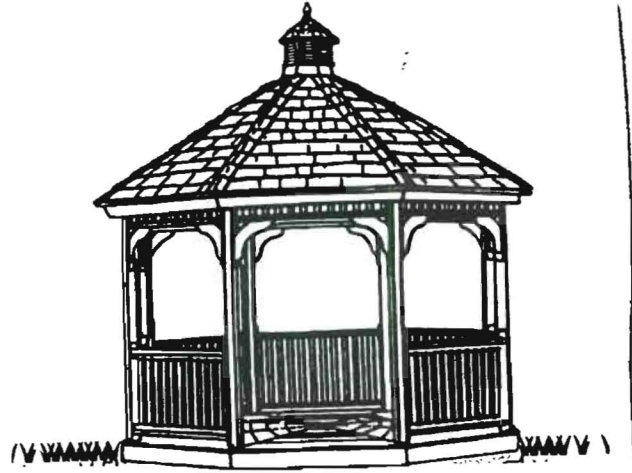
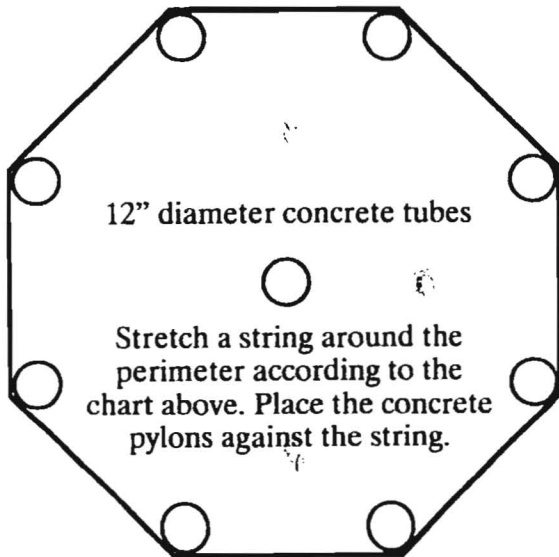
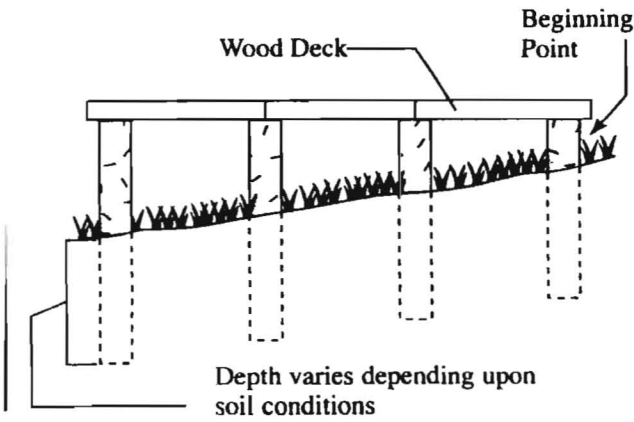
DRAWING TITLE

PROJECT

DATE	BY	CHKD

CONCRETE PYLONS

1. Dig 12" diameter holes at each octagonal point and in the center (9 holes total).
2. Beginning at the ground's highest point, plant a 12" diameter Quick-Form tube.
3. Securely plant the remainder of the tubes making sure the top of each is level with the top of the first tube that you planted in the ground.
4. Use rebar as needed.
5. Fill each tube with concrete and allow it to cure before placing your gazebo deck.
6. Use metal L brackets to secure the gazebo deck to the pylons.



TAX RECEIPT
City of Portland, Maine
P O Box 544
Portland ME 041120544
207-874-8856

Paid by: SAVASTANO ANTHONY &
JUDY-MARIE JTS
2983 HOLIDAY COURT
MORGAN HILL CA 95037

Receipt#: 51657 / 941033
Batch: DJR 3/14/2011 00
Date paid: 3/14/2011

Account ID: 12322 Parcel Id 083C- C-001-001
60 NANCY LN REAL ESTATE TAX
Owner: SAVASTANO ANTHONY & 83C-C-1
ACCOUNT # S06085 NANCY LN 60
GREAT DIAMOND ISLAND GREAT DIAMOND ISLAND
255200 SF

Year	Value	Rate	Base	Pen & Int	Coll fee	Total paid
2011 1 RE TAX	708500	17.92000	650.22	22.94		673.16
2011 2 RE TAX	708500	17.92000	6,348.16			6,348.16
Year total:			6,998.38	22.94		7,021.32

Printed: 3/14/11 11:43:23

Receipt total: 7,021.32

Tender: VALIDATED DEP

7,134.54

Thank you for your tax payment; City of Portland, Maine Treasury Staff

TAX RECEIPT
City of Portland, Maine
P O Box 544
Portland ME 041120544
207-874-8856

Paid by: SAVASTANO ANTHONY &
JUDY-MARIE JTS
2983 HOLIDAY COURT
MORGAN HILL CA 95037

Receipt#: 51657 / 941032
Batch: DJR 3/14/2011 00
Date paid: 3/14/2011

Account ID: 12306 Parcel Id 083C- A-002-001
NANCY LN REAL ESTATE TAX
Owner: SAVASTANO ANTHONY & 83C-A-2 NANCY LANE
ACCOUNT # S06083 NICHOLAS ST
GREAT DIAMOND ISLAND GREAT DIAMOND ISLAND
12940 SF

Year Value Rate Base Pen & Int Coll fee Total paid
2011 1 RE TAX 12400 17.92000 2.04 .07 2.11
2011 2 RE TAX 12400 17.92000 111.11 111.11
Year total: 113.15 .07 113.22

Printed: 3/14/11 11:43:22

Receipt total: 113.22

Tender: VALIDATED DEP 7,134.54

Thank you for your tax payment; City of Portland, Maine Treasury Staff

Morgan Hill Post Office
 Morgan Hill, California
 950379998
 0568370176 -0096
 02/10/2011 (800)275-8777 03:51:01 PM

MAILED 2-10-2011

Sales Receipt		
Product Description	Sale Qty	Unit Price Final Price
PORTLAND ME 04101		\$4.95
Zone-8 Priority Mail		
Small Flat Rate Env		
1.90 oz.		
Expected Delivery: Mon 02/14/11		
Delivery Confirmation		\$0.70
Label #:	03102640000204210762	
Issue PVI:		=====
		\$5.65
SAN RAFAEL CA 94903		\$4.95
Zone-1 Priority Mail		
Flat Rate Env		
2 lb. 7.80 oz.		
Issue PVI:		=====
		\$4.95
Total:		=====
		\$10.60
Paid by:		
Cash		\$50.00
Change Due:		-\$39.40

Order stamps at USPS.com/shop or call 1-800-Stamp24. Go to USPS.com/clicknship to print shipping labels with postage. For other information call 1-800-ASK-USPS.

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Bill#: 1000403557647
 Clerk: 08

All sales final on stamps and postage
 Refunds for guaranteed services only
 Thank you for your business

HELP US SERVE YOU BETTER

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TELL US ABOUT YOUR RECENT
 POSTAL EXPERIENCE

YOUR OPINION COUNTS

Customer Copy

U.S. Postal Service™ Delivery Confirmation™ Receipt

Postage and Delivery Confirmation fees must be paid before mailing.
 Article Opt To: (to be completed by mailer)
 Please Print Clearly
 389 Congress Portland

POSTAL CUSTOMER:
 Keep this receipt. For Inquiries:
 Access internet web site at
 www.usps.com®
 or call 1-800-222-1811

CHECK ONE (POSTAL USE ONLY)
 Priority Mail™ Service
 First-Class Mail® parcel
 Package Services parcel
 (See Reverse)



2920 1240 2000 0492 07ED
 DELIVERY CONFIRMATION NUMBER

DELIVERED to City Hall - Room 315
 389 CONGRESS, PORTLAND, ME ATTN ANN
 MACHATA
 2-14-2011
 AT 12:05PM
 CONFIRMED WITH Post office

SAVASTANO - GREAT DIAMOND ISLAND
CALECO PERMIT

PAGE 1 - MAILING 7/11/11 CONFIRMATION &
DELIVERY 7/14/11 CONFIRMATION

PAGE 2 - BUILDING PERMIT APPLICATION

PAGE 3 - GENERAL INFORMATION

PAGE 4 - FLOOR & ROOF FRAMING PLAN (PAGE 1)

PAGE 5 - CROSS SECTION PLANS (PAGE 2)

PAGE 6 - DETAILED DRAWINGS (PAGE 3)

PAGE 7 - RAILING DETAILS (PAGE 4)

PAGE 8 - CONCRETE PYLON DETAILS (PAGE 5)

PAGE 9 - PROPERTY SETBACKS (PAGE 6)

9 PAGES REC'D ON:

BY:

SAVASTANO - GREAT DIAMOND ISLAND
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FLOOD HAZARD DEVELOPMENT APPLICATION

Portland, **Maine**

(All applicants must complete entire application)

[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of _____, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: Judy & Anthony Savastano Address: 60 Nancy Lane

Phone No.: 766-2839 Portland, ME 04112

Applicant: Same as above Address: _____

Phone No.: _____

Contractor: Amish Country Gazebos Address: 340 Haskeller Rd.

Phone No.: 1-800-700-1777 (Liz) Marbleton, PA 17545

LEGAL DESCRIPTION

Is this part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: Chart 083C Block C Lot #: 001

Address: 60 Nancy Lane
Street/Road Name

Zip Code: Great Diamond Island
Town/Zip Code

General explanation of proposed development: build 16' octagon Gazebos

Estimated Value of Proposed Development: \$ 17,000

Proposed Lowest Floor elevation [for new or substantially improved structure]: N/A no development.

OTHER PERMITS

Are other permits required from State or Federal jurisdictions? Yes No
If yes, are these other permits attached? Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private
 Existing Proposed Not Applicable Type _____
Water Supply: Public Private B-9

(This section to be completed by Municipal Official)

LOCATION

Flooding Source (name of river, pond, ocean, etc.): Ocean

- V1-30 Zone
- VE Zone
- AE Zone
- A1-30 Zone
- A Zone
- AO Zone
- AH Zone
- FRINGE
- FLOODWAY (1/2 width of floodplain in A Zone)

Base Flood Elevation (bfe) at the site 11' NGVD [Required for New Construction or Substantial Improvement]

Lowest floor elevation of proposed or existing structure _____ NGVD [Required for New Construction or Substantial Improvement]

If proposed development is in an AE or A1-30 Zone and cross section data is available in the Flood Insurance Study, please note the nearest cross section reference letter and elevation of base flood at nearest cross section above and below the site.

Cross Section Letter	Base Flood Elevation
Above Site _____	Above Site <u>11</u>
Below Site _____	Below Site <u>11</u>

Basis of unnumbered A Zone bfe determination:

- From a Federal Agency: USGS USDA/NRCS USACE Other _____
- From a State Agency: MDOT Other _____
- Established by Professional Land Surveyor
- Established by Professional Engineer HEC/RAS HEC II HY 7 TR20 TR55 Quick-2 Other _____
- Highest Known Water Level
- Other (Explain) _____

VALUE

If the development involves work on an existing structure, enter the Market Value of existing structure before improvements:

\$ 298,900

- New Construction or Substantial Improvement
- Minor improvement or minor addition to existing development

TYPE OF DEVELOPMENT

Check the appropriate box to the left of the type(s) of development requested and complete information for each applicable line:

- | | | | |
|---|---------------|--|-----------------|
| <input type="checkbox"/> 1. Residential Structure | Dimensions | <input type="checkbox"/> 7. Filling ³ | Cubic Yards |
| <input type="checkbox"/> 1a. New Structure | _____ | <input type="checkbox"/> 8. Dredging | _____ |
| <input type="checkbox"/> 1b. Add to Structure | _____ | <input type="checkbox"/> 9. Excavation | _____ |
| <input type="checkbox"/> 1c. Renovations/repairs/maintenance | _____ | <input type="checkbox"/> 10. Levee | _____ |
| <input type="checkbox"/> 2. Non-Residential Structure | | <input type="checkbox"/> 11. Drilling | |
| <input type="checkbox"/> 2a. New Structure | _____ | <input type="checkbox"/> 12. Mining | Number of Acres |
| <input type="checkbox"/> 2b. Add to Structure | _____ | <input type="checkbox"/> 13. Dam: Water surface to be created | _____ |
| <input type="checkbox"/> 2c. Renovations/repairs/maintenance | _____ | <input type="checkbox"/> 14. Water Course Alteration | _____ |
| <input type="checkbox"/> 2d. Floodproofing | _____ | Note: Detailed description must be attached with copies of all applicable notifications, state and federal permits. | |
| <input checked="" type="checkbox"/> 3. Accessory Structure | <u>gazebo</u> | <input type="checkbox"/> 15. Storage of equipment or materials | _____ |
| <input type="checkbox"/> 4. Functionally Dependent Use: | | <input type="checkbox"/> 16. Sewage Disposal System | _____ |
| <input type="checkbox"/> 4a. Dock | _____ | <input type="checkbox"/> 17. Water Supply System | _____ |
| <input type="checkbox"/> 4b. Pier | _____ | <input type="checkbox"/> 18. Other: Explain | _____ |
| <input type="checkbox"/> 4c. Boat Ramp | _____ | | |
| <input type="checkbox"/> 4d. Other | _____ | | |
| <input type="checkbox"/> 5. Paving | _____ | | |
| <input type="checkbox"/> 6. Conditional Use (Lobster/Fish Shed seaward of mean high tide) | _____ | | |

Note: Conditional Use requires add'l. information due to specific standards, public hearing, and Planning Board review.

¹ Certain prohibitions apply in Velocity Zone

FLOOD HAZARD DEVELOPMENT PERMIT

For Minor Development

Portland, Maine
(For Development not considered a Substantial Improvement)

This Flood Hazard Development Permit allows minor development as provided in Article V.F.3. of the Floodplain Management Ordinance of Portland, Maine, for development in a Special Flood Hazard Area as defined in said ordinance. Development authorized by this permit must be adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, be constructed with materials resistant to flood damage and be constructed by methods and practices that minimize flood damage. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

Tax Map: 083C - C Lot #: 001

Project Description: build 16' octagon gazebo

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: Anthony Savast Date: 3/24/2011
Signature
or

Authorized Agent: _____ Date: _____
Signature

Issued by: _____ Date: _____

Permit #: _____

1 **Attach a Site Plan** – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement – describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner:  Date: 3/24/2011
 Signature

or
 Authorized Agent: _____ Date: _____
 Signature

(This section to be completed by Municipal Official)			
Date: Submitted _____;	Fee Paid _____;	Reviewed by CEO _____;	Reviewed by Planning Board _____
Permit # _____	Issued by _____	Date _____	

Maine Floodplain Management
Decision Tree for
Flood Hazard Development
Permits

Please check appropriate boxes.

Is the development in the floodplain
as shown on the Community's flood
map? yes no

If yes, go to page 2.

If no, no flood hazard permit
required.

(A completed copy of this form should accompany each
Flood Hazard Development Permit Application file)

Are other permits required (i.e., federal or state)?

- If yes, advise applicant of what additional permits are needed.
- Request copy for attachment to Flood Hazard Development Permit Application.
[Application may be made but permit shall not be issued until other permits are provided.]
Go to section 2.
- If no, proceed with Flood Hazard Development Permit Application.
Go to section 2.
-

Section 2

Is the development in a Special Flood Hazard Zone A, A1-30, AE, or AH but not in the floodway¹? A-43

yes no

If yes, go to page 3. If no, continue.

Is the development in Zone AO?

yes no

If yes, go to page 4. If no, continue.

Is the development in the Floodway?

yes no

If yes, go to page 5. If no, continue.

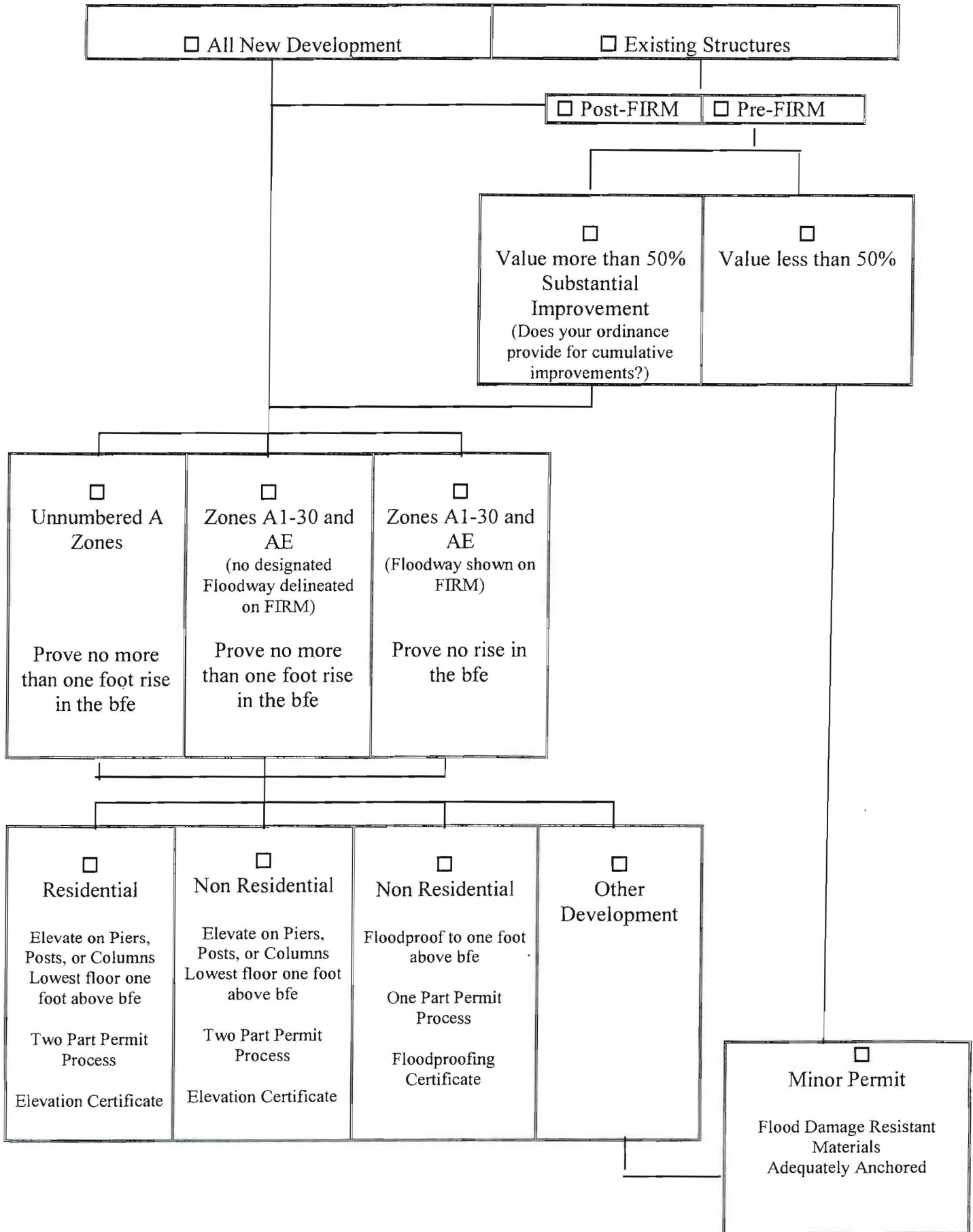
Is the development in Zone V1-30 or VE?

yes no

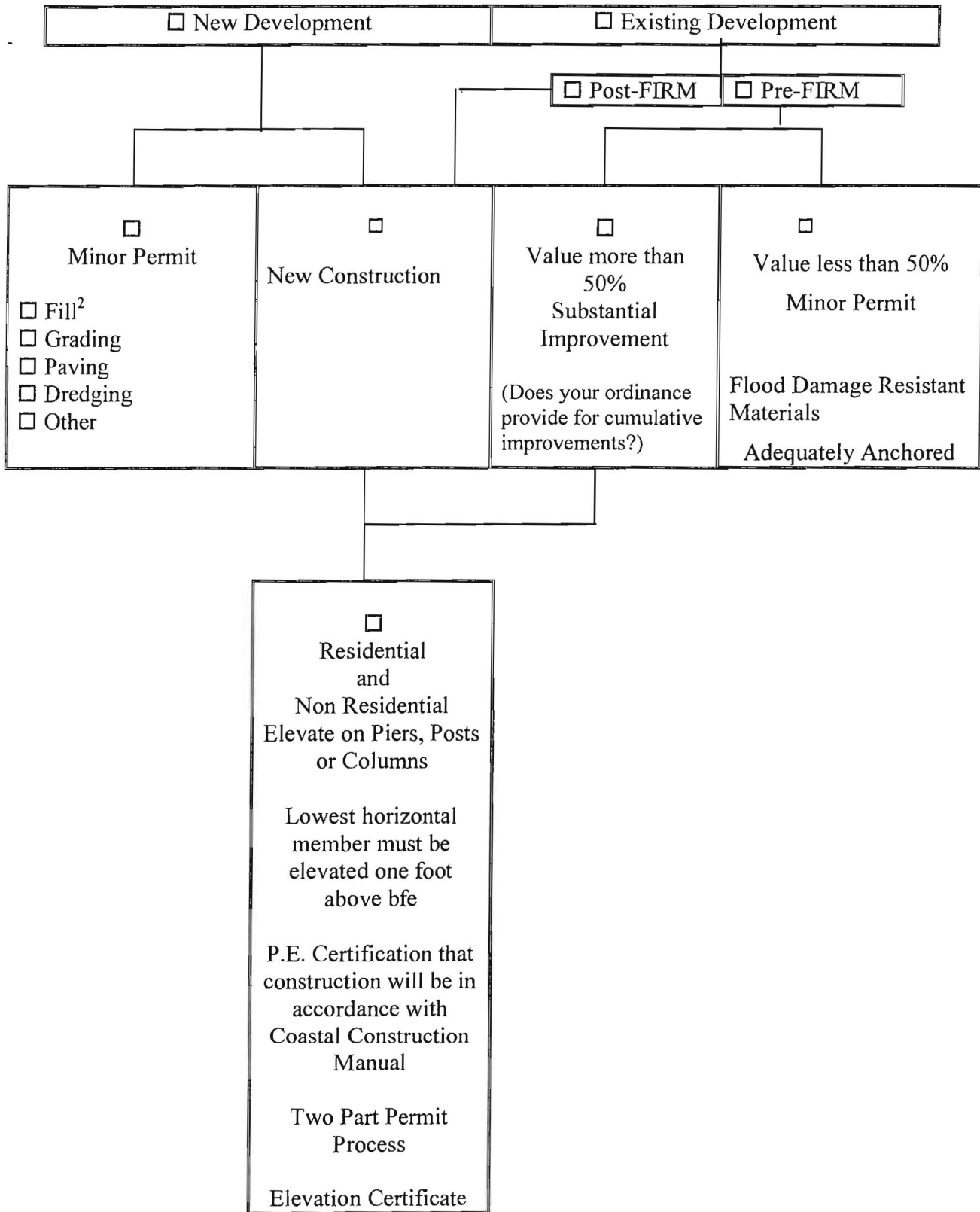
If yes, go to page 6. If no, start over.

¹ In Unnumbered A-Zones for riverine areas, the floodway is considered to be ½ the width of the floodplain as measured from the water's edge to the upland limit of the floodplain measured perpendicular to the stream or river.

Floodway



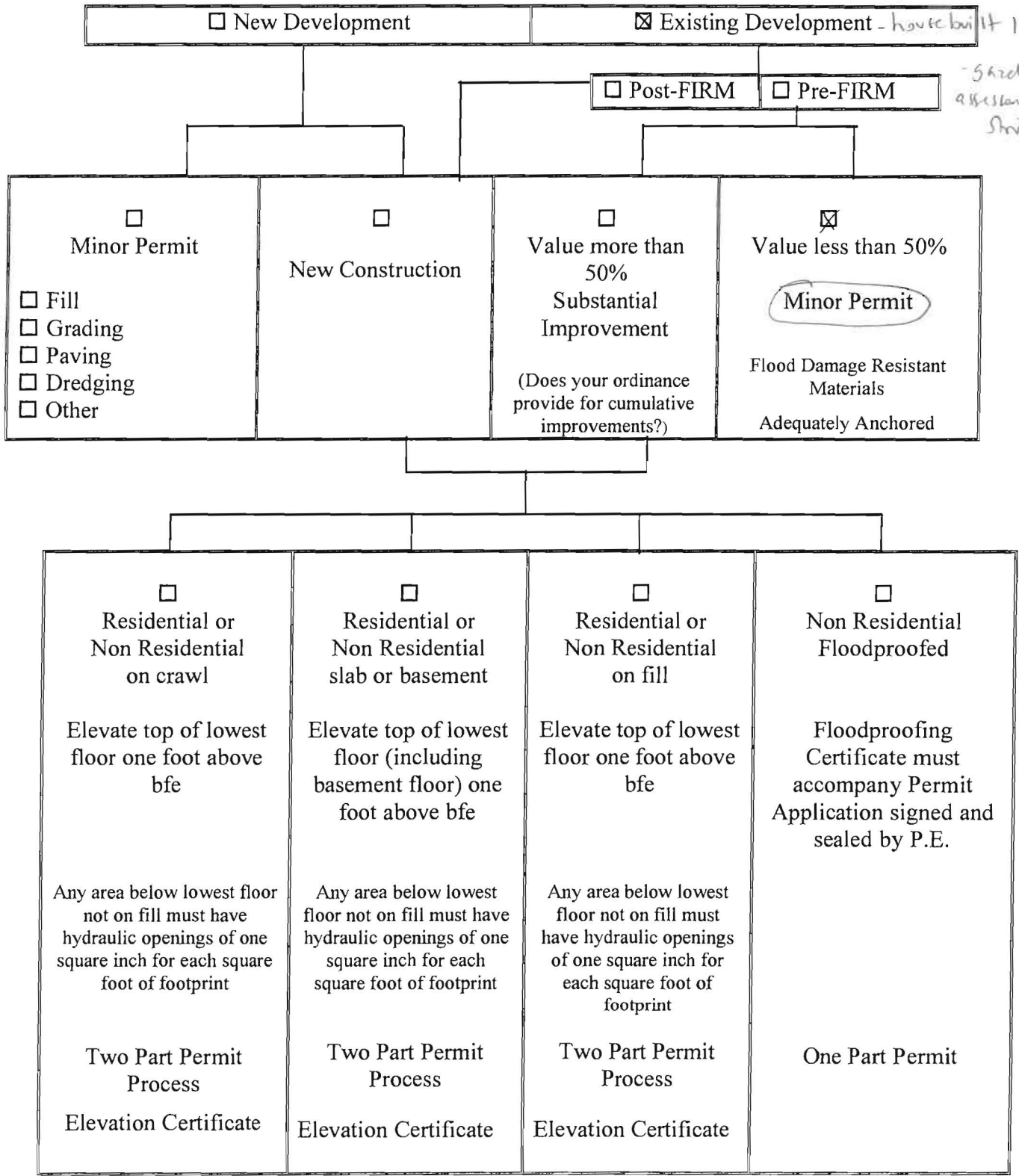
V1-30 and VE Zones



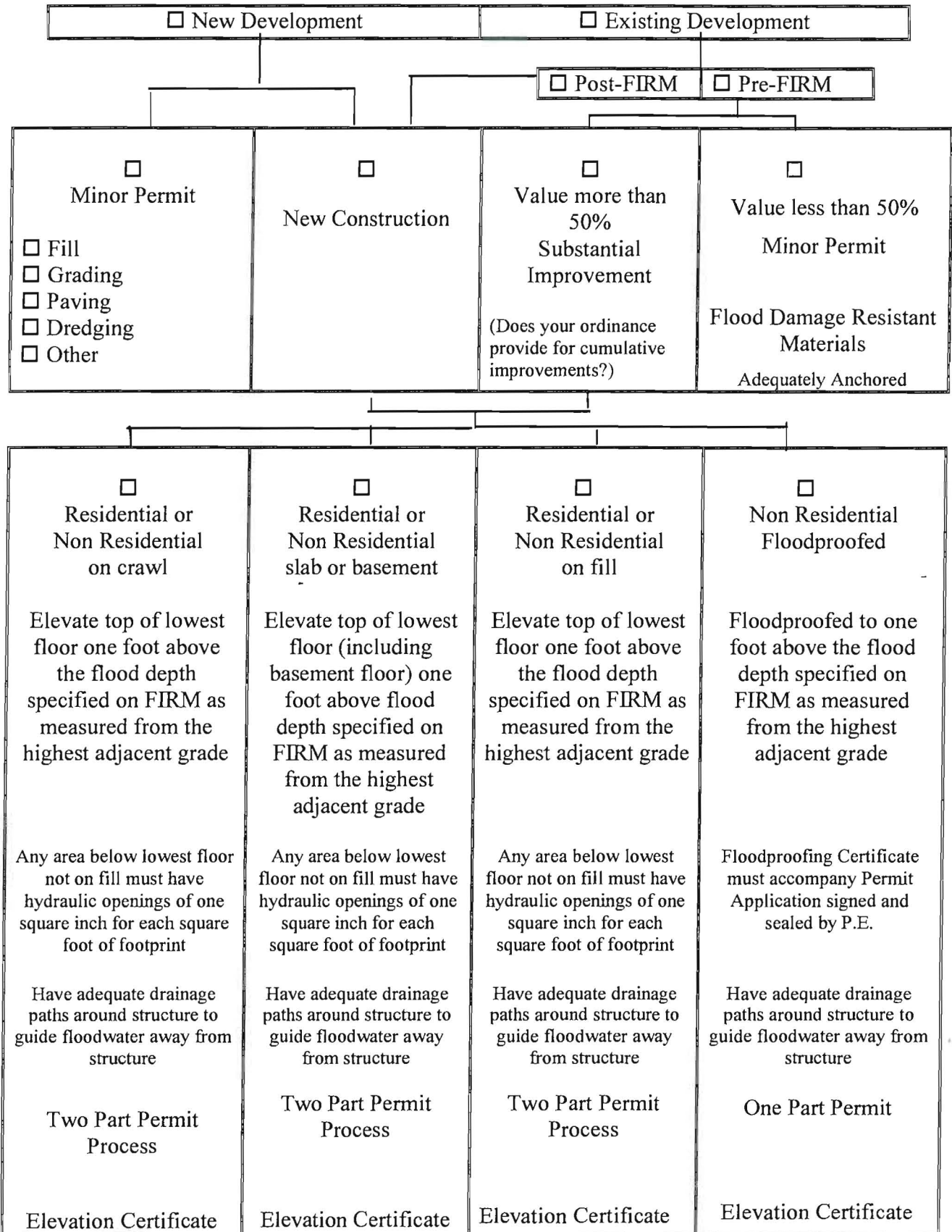
² Not for construction of a walled and roofed structure.

A, A1-30, AE and AH Zones [Not in Floodway]

5 acres 17,000
298,900 value
- 5 acres
a 1/2 story
structure



AO Zone



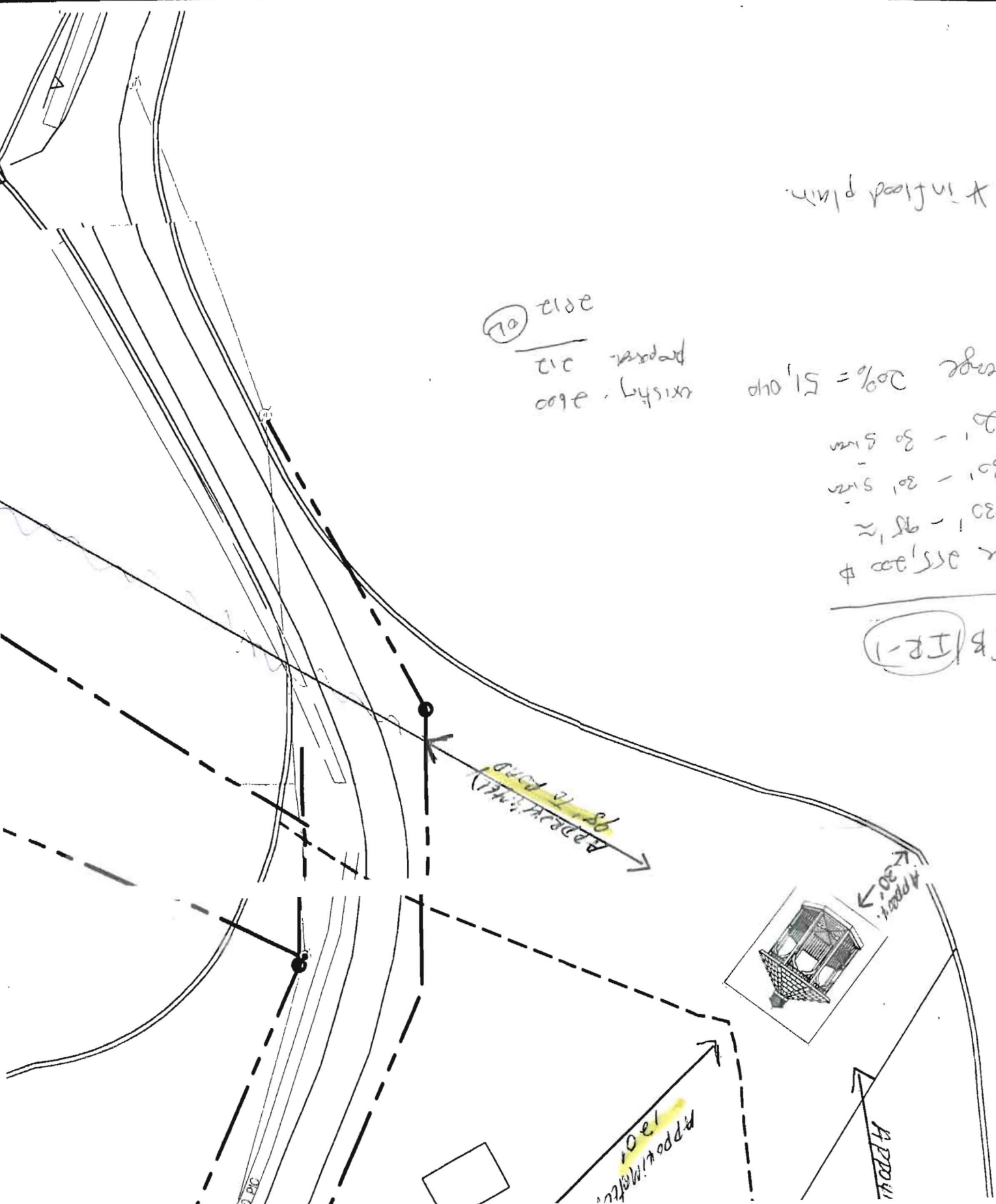
A in flood plain

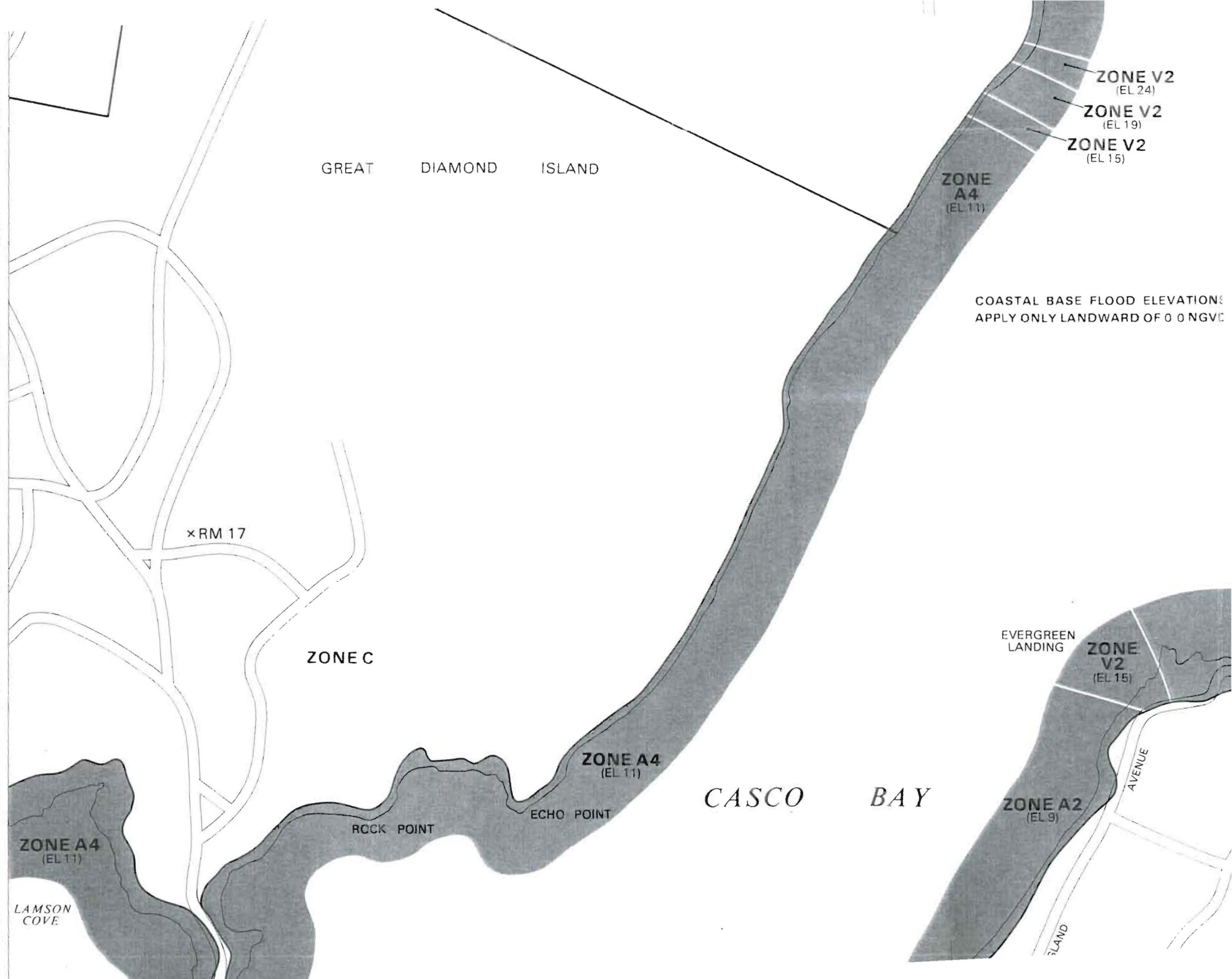
of coverage 20% = 51,040

of size 0.5,000 #
of 30' - 95' ~
w 30' - 30' size
w 20' - 30' size

2012
Krishna 2600
proposed 212
2012

IB/IR-1





GREAT DIAMOND ISLAND

ZONE V2
(EL 24)
ZONE V2
(EL 19)
ZONE V2
(EL 15)

ZONE
A4
(EL 11)

COASTAL BASE FLOOD ELEVATIONS
APPLY ONLY LANDWARD OF 0 0 NGVD

×RM 17

ZONE C

EVERGREEN
LANDING

ZONE
V2
(EL 15)

CASCO BAY

ZONE A4
(EL 11)

ROCK POINT

ECHO POINT

ZONE A2
(EL 9)

ZONE A4
(EL 11)

LAMSON
COVE

AVENUE

ISLAND

INSURANCE PROGRAM

RANCE RATE MAP

MAINE
COUNTY

R PANELS NOT PRINTED)

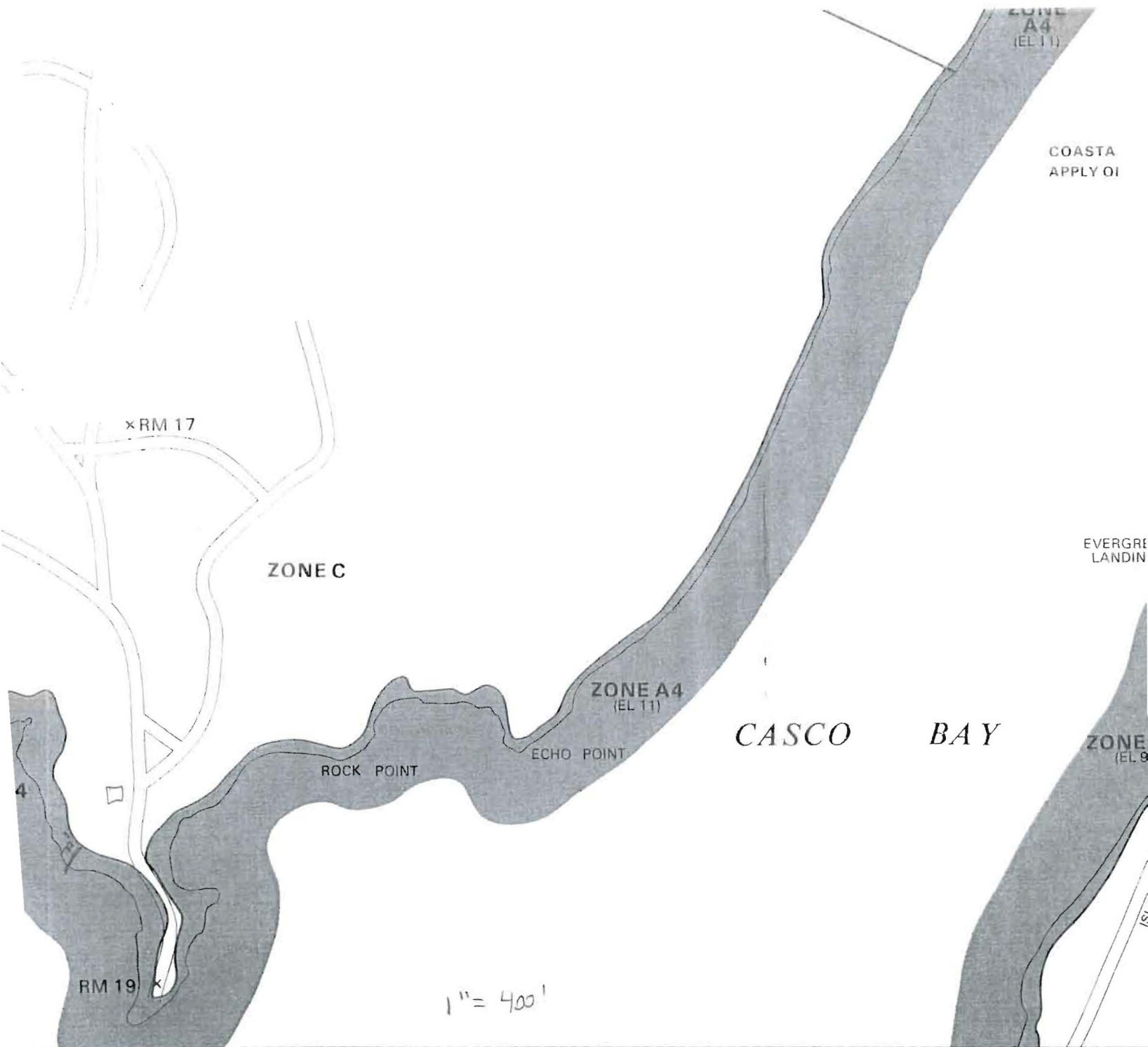
Y-PANEL NUMBER

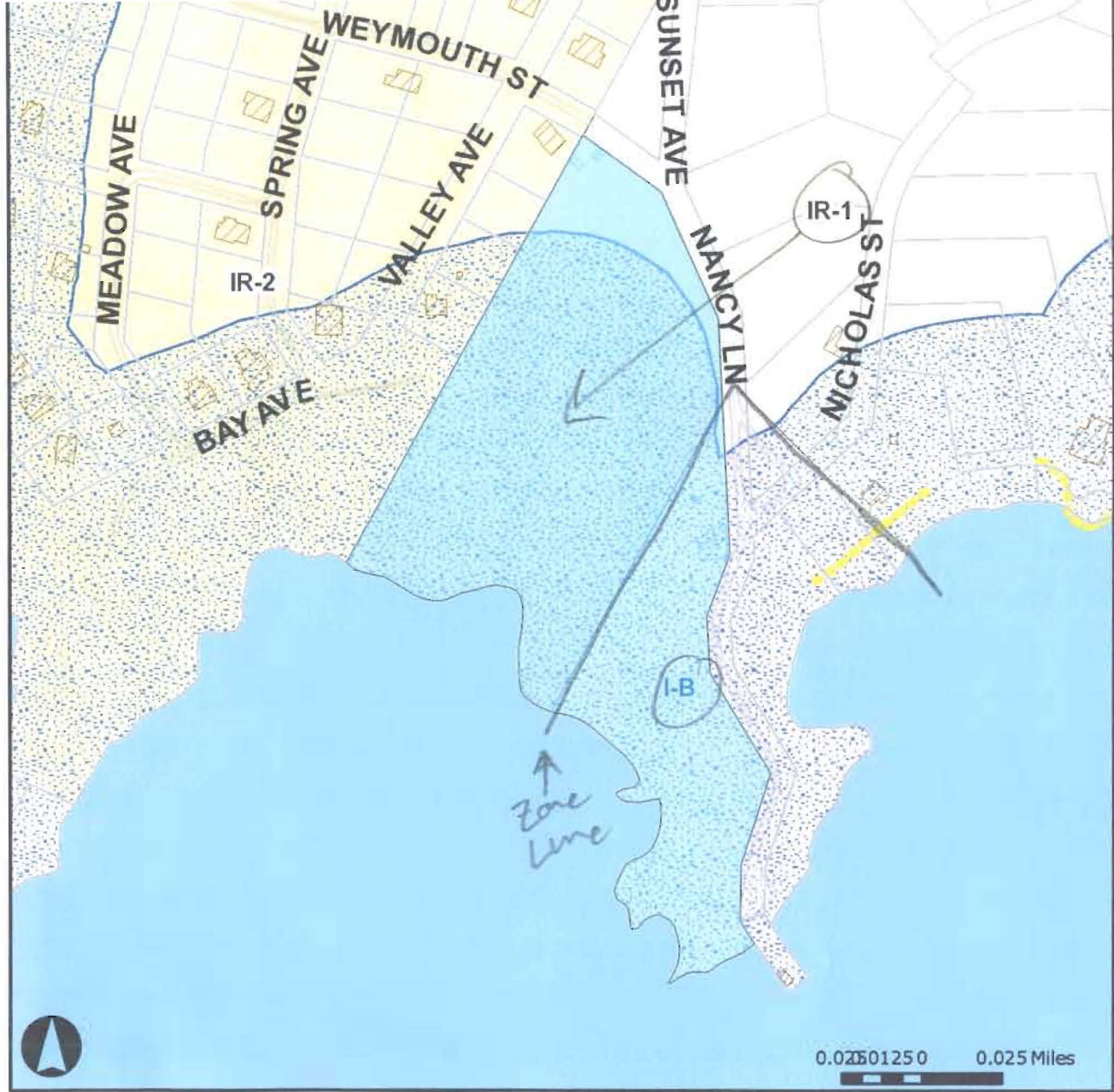
230051 0009 B

EFFECTIVE DATE:

JULY 17, 1986

Management Agency





Parcels



Interstate



Streets



Buildings



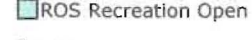
Stream Overlay Zone



Island Zoning



Zoning (continued)



Zoning (continued)

